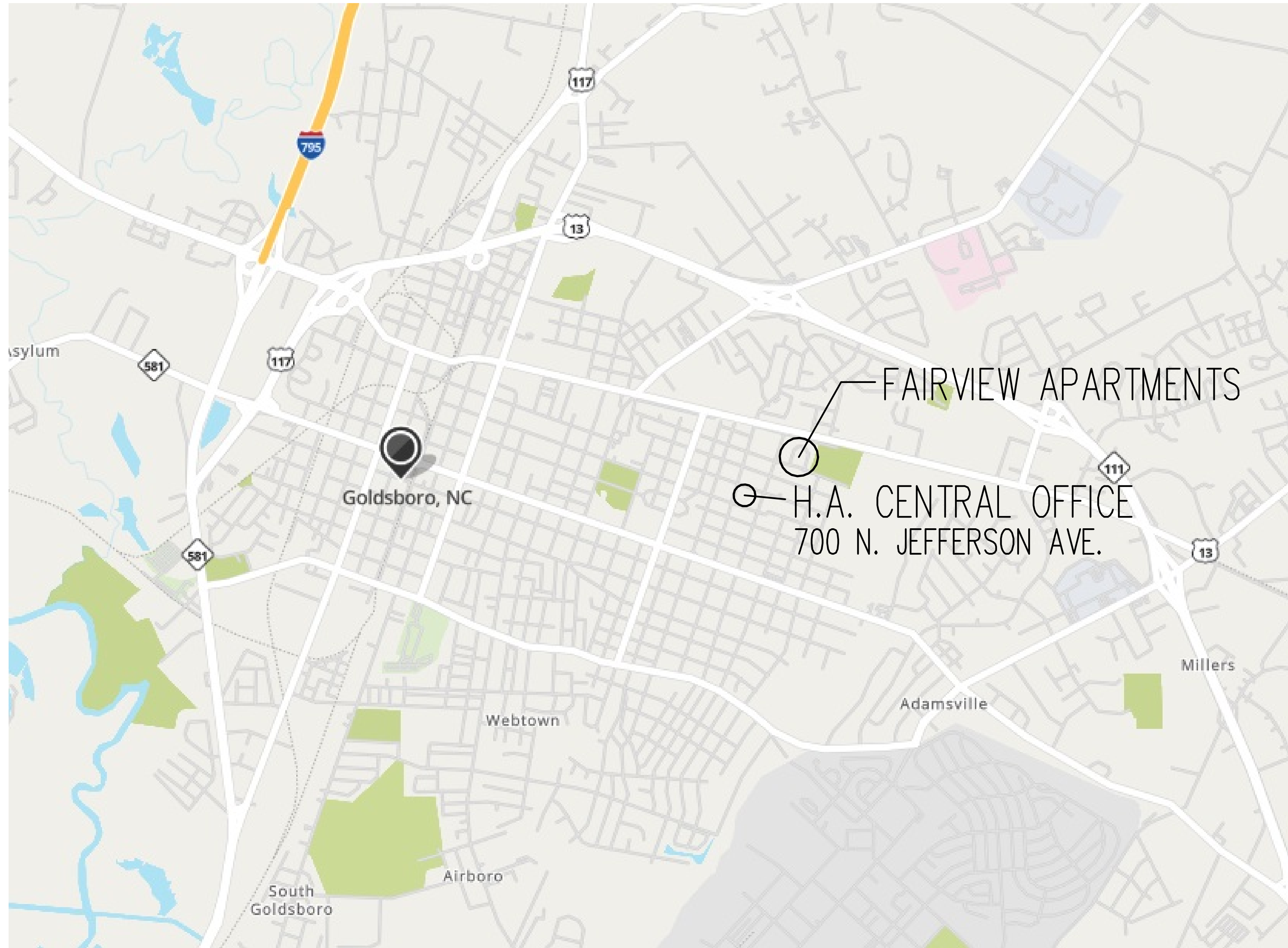
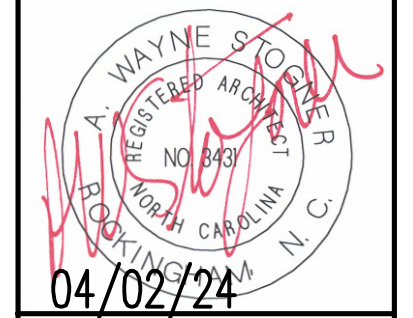


PROJECT LOCATION  
GOLDSBORO, NORTH CAROLINA



HOUSING AUTHORITY of the CITY OF GOLDSBORO  
RENOVATIONS — FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
GOLDSBORO, NORTH CAROLINA



Stogner Architecture, PA  
ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
615 East Broad Avenue, Rockingham, North Carolina  
Phone 910-895-6874 Fax 910-895-1111

Housing Authority of the  
City of Goldsboro  
RENOVATIONS — FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
GOLDSBORO NORTH CAROLINA

COVER

6041-B, C10, AEC

COMM. NO. 6041-B

DRAWN BY WBP

CHECKED BY AWS

DATE APRIL 2, 2024

SHEET NO.

C1.0



# PROJECT INFORMATION

## INDEX OF DRAWINGS

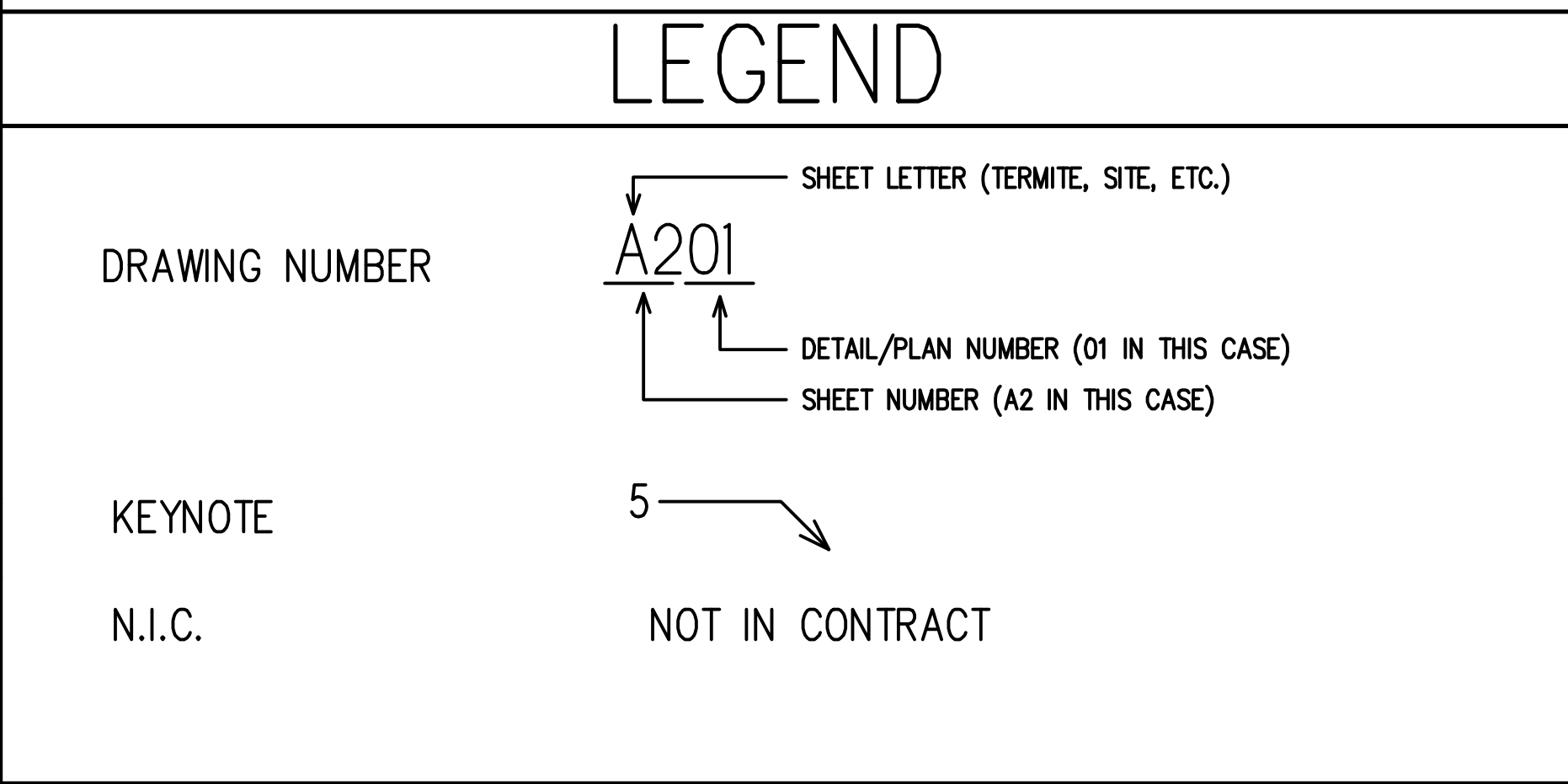
## SCOPE OF WORK

DWG NO	DRAWING TITLE
C1.0	COVER
C1.1	PROJECT INFORMATION, SCOPE OF WORK, INDEX OF DRAWINGS, LEGEND
S1.0	SITE PLAN - FAIRVIEW CIRCLE ; NC 15-1
S1.0A	ENLARGED SITE PLAN - FAIRVIEW CIRCLE ; NC 15-1
S1.0B	ENLARGED SITE PLAN - FAIRVIEW CIRCLE ; NC 15-1
S1.0C	ENLARGED SITE PLAN - FAIRVIEW CIRCLE ; NC 15-1
S1.0D	ENLARGED SITE PLAN - FAIRVIEW CIRCLE ; NC 15-1
S1.0E	ENLARGED SITE PLAN - FAIRVIEW CIRCLE ; NC 15-1
S1.1	SITE PLAN - FAIRVIEW CIRCLE ; NC 15-3
S1.1A	ENLARGED SITE PLAN - FAIRVIEW CIRCLE ; NC 15-3
S2.0	ENLARGED SITE PLAN - FAIRVIEW CIRCLE ; NC 15-1 & NC 15-3
S2.1	ENLARGED SITE PLAN - FAIRVIEW CIRCLE ; NC 15-1
S2.2	SITE DETAILS - FAIRVIEW CIRCLE ; NC 15-1 & NC 15-3
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A1.2	BLDG. #4 & #5, KEY PLAN - ROOF PLAN, WINDOW LOCATIONS ; NC 15-1
A1.3	BLDG. #6 & #7, KEY PLAN - ROOF PLAN, WINDOW LOCATIONS ; NC 15-1
A1.4	BLDG. #8 & #9, KEY PLAN - ROOF PLAN, WINDOW LOCATIONS ; NC 15-1
A1.5	BLDG. #14, KEY PLAN - ROOF PLAN, WINDOW LOCATIONS ; NC 15-1
A1.6	BLDG. #15, KEY PLAN - ROOF PLAN, WINDOW LOCATIONS ; NC 15-1
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A2.1	RENOVATION FLOOR PLAN, TWO BEDROOM UNIT - BUILDING TYPE "C" ; NC 15-1
A2.2	DEMOLITION FLOOR PLAN, TWO BEDROOM HANDICAP UNIT - BUILDING TYPE "C" ; NC 15-1
A2.3	RENOVATION FLOOR PLAN, TWO BEDROOM HANDICAP UNIT - BUILDING TYPE "C" ; NC 15-1
A2.4	BASIC FRONT ELEVATION, TWO BEDROOM UNIT - BUILDING TYPE "C" ; NC 15-1
A2.5	ALTERNATE #1 FRONT ELEVATION, TWO BEDROOM UNIT - BUILDING TYPE "C" ; NC 15-1
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A2.7	REAR ELEVATION, TWO BEDROOM HANDICAP UNIT - BUILDING TYPE "C" ; NC 15-1
A2.8	REVISED PORCH/ROOF PLAN, FRONT ELEVATION, TWO BEDROOM UNIT - BUILDING TYPE "C" ; NC 15-1
A3.0	DEMOLITION FLOOR PLAN, THREE BEDROOM UNIT - BUILDING TYPE "E" ; NC 15-1
A3.1	RENOVATION FLOOR PLAN, THREE BEDROOM UNIT - BUILDING TYPE "E" ; NC 15-1
A3.2	DEMOLITION/RENOVATION FLOOR PLAN, THREE BEDROOM UNIT - BUILDING TYPE "E-1" ; NC 15-1
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A3.4	ALTERNATE #1 FRONT ELEVATION, THREE BEDROOM UNIT - BUILDING TYPE "E" ; NC 15-1
A3.5	ALTERNATE #2 FRONT ELEVATION, THREE BEDROOM UNIT - BUILDING TYPE "E" ; NC 15-1
A3.6	REVISED PORCH/ROOF PLAN, FRONT ELEVATION, THREE BEDROOM UNIT - BUILDING TYPE "E" ; NC 15-1
A4.0	DEMOLITION FLOOR PLAN, FOUR BEDROOM UNIT - BUILDING TYPE "F" ; NC 15-1
A4.1	RENOVATION FLOOR PLAN, FOUR BEDROOM UNIT - BUILDING TYPE "F" ; NC 15-1
A4.2	DEMOLITION/RENOVATION FLOOR PLAN, FOUR BEDROOM UNIT - BUILDING TYPE "F-1" ; NC 15-1
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A4.4	ALTERNATE #1 FRONT ELEVATION, FOUR BEDROOM UNIT - BUILDING TYPE "F" ; NC 15-1
A4.5	REVISED PORCH/ROOF PLAN, FRONT ELEVATION, FOUR BEDROOM UNIT - BUILDING TYPE "F" ; NC 15-1
A5.0	PORCH ROOF DETAILS - BUILDING TYPE "C" & "E" ; NC 15-1
A5.1	PORCH ROOF DETAILS - BUILDING TYPE "C" ; NC 15-3
A5.2	PORCH ROOF DETAILS - BUILDING TYPE "F" ; NC 15-1
A5.2	PORCH ROOF DETAILS - BUILDING TYPE "F", TYPICAL SOFFIT & RAKE DETAIL ; NC 15-1
A5.3	EXISTING/DEMO SECTION AT TYP. WINDOW ; NC 15-1 & NC 15-3
A5.4	NEW/RENO SECTION AT TYP. WINDOW ; NC 15-1 & NC 15-3
A5.4A	EXISTING/DEMO SECTION AT WINDOW ; NC 15-1 & NC 15-3
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A5.6	EXISTING/DEMO SECTION AT DOOR ; NC 15-1 & NC 15-3
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A6.0	BATHROOM ELEVATIONS, TWO BEDROOM UNIT ; NC 15-1
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A6.3	BATHROOM ELEVATIONS, FOUR BEDROOM UNIT ; NC 15-1
A6.4	BATHROOM KEYNOTES, BATHROOM DETAILS ; NC 15-1
A7.0	CABINET KEYNOTES, CABINET ELEVATIONS, TWO BEDROOM UNIT & TWO BEDROOM HANDICAP UNIT ; NC 15-1
A7.1	CABINET ELEVATIONS, THREE BEDROOM UNIT & FOUR BEDROOM UNIT ; NC 15-1
A7.1A	CABINET ELEVATIONS, FOUR BEDROOM UNIT ; NC 15-1
A7.2	CABINET DETAILS ; NC 15-1 & NC 15-3
A7.3	HANDICAP CABINET DETAILS ; NC 15-1 & NC 15-3

DWG NO	DRAWING TITLE
A10.0	BLDG. "C-A" & "C", KEY PLAN - ROOF PLAN, WINDOW LOCATIONS ; NC 15-3
A11.0	DEMOLITION FLOOR PLAN, ONE BEDROOM UNIT - BUILDING TYPE "A" ; NC 15-3
A11.1	RENOVATION FLOOR PLAN, ONE BEDROOM UNIT - BUILDING TYPE "A" ; NC 15-3
A11.2	BASIC FRONT ELEVATION, ONE BEDROOM UNIT - BUILDING TYPE "A" ; NC 15-3
A11.3	REVISED PORCH/ROOF PLAN, FRONT ELEVATION, ONE BEDROOM UNIT - BUILDING TYPE "A" ; NC 15-3
A12.0	DEMOLITION FLOOR PLAN, THREE BEDROOM UNIT - BUILDING TYPE "C" ; NC 15-3
A12.1	RENOVATION FLOOR PLAN, THREE BEDROOM UNIT - BUILDING TYPE "C" ; NC 15-3
A12.2	DEMOLITION/RENOVATION FLOOR PLAN, THREE BEDROOM HANDICAP UNIT - BUILDING TYPE "C" ; NC 15-3
A12.3	BASIC FRONT ELEVATION, THREE BEDROOM UNIT - BUILDING TYPE "C" ; NC 15-3
A12.4	ALTERNATE #1 FRONT ELEVATION, THREE BEDROOM UNIT - BUILDING TYPE "C" ; NC 15-3
A12.5	REVISED PORCH/ROOF PLAN, FRONT ELEVATION, THREE BEDROOM UNIT - BUILDING TYPE "C" ; NC 15-3
A14.0	BATHROOM ELEVATIONS, ONE BEDROOM UNIT ; NC 15-3
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A14.2	BATHROOM ELEVATIONS, THREE BEDROOM HANDICAP UNIT ; NC 15-3
A15.0	CABINET ELEVATIONS, ONE BEDROOM UNIT ; NC 15-3
A15.1	CABINET ELEVATIONS, THREE BEDROOM UNIT & THREE BEDROOM HANDICAP UNIT ; NC 15-3
<b>PLUMBING</b>	
P0.0	PLUMBING NOTES, LEGEND AND SCHEDULE
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P1.1	PLUMBING BUILDING 2 & 3 PLANS NC 15-1
P1.2	PLUMBING BUILDING 4 & 5 PLANS NC 15-1
P1.3	PLUMBING BUILDING 6 & 7 PLANS NC 15-1
P1.4	PLUMBING BUILDING 8 & 9 PLANS NC 15-1
P1.5	PLUMBING BUILDING 14 PLANS NC 15-1
P1.6	PLUMBING BUILDING 15 PLANS NC 15-1
P2.0	PLUMBING UNIT PLANS NC 15-1
P2.1	PLUMBING UNIT PLANS NC 15-1
P3.0	PLUMBING UNIT PLANS NC 15-1
P3.1	PLUMBING UNIT PLANS NC 15-1
P4.0	PLUMBING UNIT PLANS NC 15-1
P4.1	PLUMBING UNIT PLANS NC 15-1
P10.0	PLUMBING BUILDING C & C-A PLANS NC 15-3
P11.0	PLUMBING UNIT PLANS NC 15-3
P12.0	PLUMBING UNIT PLANS NC 15-3
P12.1	PLUMBING UNIT PLANS NC 15-3
<b>ELECTRICAL</b>	
E0.0	ELECTRICAL LEGEND, NOTES AND SCHEDULE
E0.1	ELECTRICAL DETAILS
E1.0	ELECTRICAL BUILDING 1 PLANS NC 15-1
E1.1	ELECTRICAL BUILDING 2 & 3 PLANS NC 15-1
E1.2	ELECTRICAL BUILDING 4 & 5 PLANS NC 15-1
E1.3	ELECTRICAL BUILDING 6 & 7 PLANS NC 15-1
E1.4	ELECTRICAL BUILDING 8 & 9 PLANS NC 15-1
E1.5	ELECTRICAL BUILDING 14 PLANS NC 15-1
E1.6	ELECTRICAL BUILDING 15 PLANS NC 15-1
E2.0	ELECTRICAL UNIT PLANS NC 15-1
E2.1	ELECTRICAL UNIT PLANS NC 15-1
E3.0	ELECTRICAL UNIT PLANS NC 15-1
E3.1	ELECTRICAL UNIT PLANS NC 15-1
E4.0	ELECTRICAL UNIT PLANS NC 15-1
E4.1	ELECTRICAL UNIT PLANS NC 15-1
E10.0	ELECTRICAL BUILDING C & C-A PLANS NC 15-3
E11.0	ELECTRICAL UNIT PLANS NC 15-3
E12.0	ELECTRICAL UNIT PLANS NC 15-3
E12.1	ELECTRICAL UNIT PLANS NC 15-3
E13.0	ELECTRICAL UNIT PANEL SCHEDULES
E14.0	ELECTRICAL BUILDING RISER DIAGRAMS
E14.1	ELECTRICAL BUILDING RISER DIAGRAMS
E14.2	ELECTRICAL BUILDING RISER DIAGRAMS
E14.3	ELECTRICAL BUILDING RISER DIAGRAMS
<b>MECHANICAL</b>	
M0.0	MECHANICAL NOTES, SCHEDULE & LEGEND
M0.1	MECHANICAL DETAILS
M1.0	MECHANICAL BUILDING 1 PLANS NC 15-1
M1.1	MECHANICAL BUILDING 2 & 3 PLANS NC 15-1
M1.2	MECHANICAL BUILDING 4 & 5 PLANS NC 15-1
M1.3	MECHANICAL BUILDING 6 & 7 PLANS NC 15-1
M1.4	MECHANICAL BUILDING 8 & 9 PLANS NC 15-1
M1.5	MECHANICAL BUILDING 14 PLANS NC 15-1
M1.6	MECHANICAL BUILDING 15 PLANS NC 15-1
M2.0	MECHANICAL UNIT PLANS NC 15-1
M2.1	MECHANICAL UNIT PLANS NC 15-1
M3.0	MECHANICAL UNIT PLANS NC 15-1
M3.1	MECHANICAL UNIT PLANS NC 15-1
M4.0	MECHANICAL UNIT PLANS NC 15-1
M4.1	MECHANICAL UNIT PLANS NC 15-1
M10.0	MECHANICAL BUILDING C & C-A PLANS NC 15-3
M11.0	MECHANICAL UNIT PLANS NC 15-3
M12.0	MECHANICAL UNIT PLANS NC 15-3
M12.1	MECHANICAL UNIT PLANS NC 15-3

THE WORK SHALL CONSIST OF THE FOLLOWING ITEMS AND ALL OTHER WORK AS SHOWN ON THE PLANS AND IN THE PROJECT MANUAL.

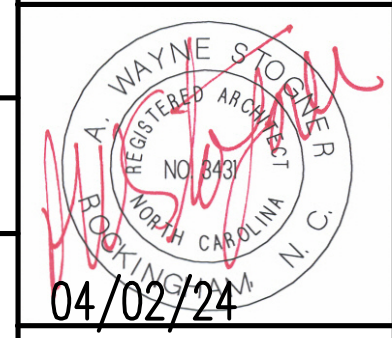
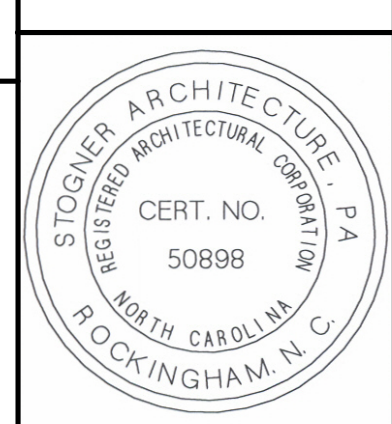
1. PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO RENOVATE EXISTING APARTMENT UNITS.
2. PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO PROVIDE ALL SITE WORK AS SHOWN ON THE PLANS.
3. PROVIDE ALL OTHER WORK AS SHOWN ON PLANS, IN THE PROJECT MANUAL AND AS REQUIRED BY CODES.



## GENERAL NOTES

GENERAL CONTRACTOR TO FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ORDERING MATERIALS OR BEGINNING WORK. NOTIFY ARCHITECT OF ANY INCONSISTENCIES.

DRAWINGS ARE TO BE PRINTED AT 22 x 34 SIZE, ADJUST SCALE FOR HALF SIZE PRINTS



**Stogner Architecture, PA**  
 ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
 615 East Broad Avenue, Rockingham, North Carolina  
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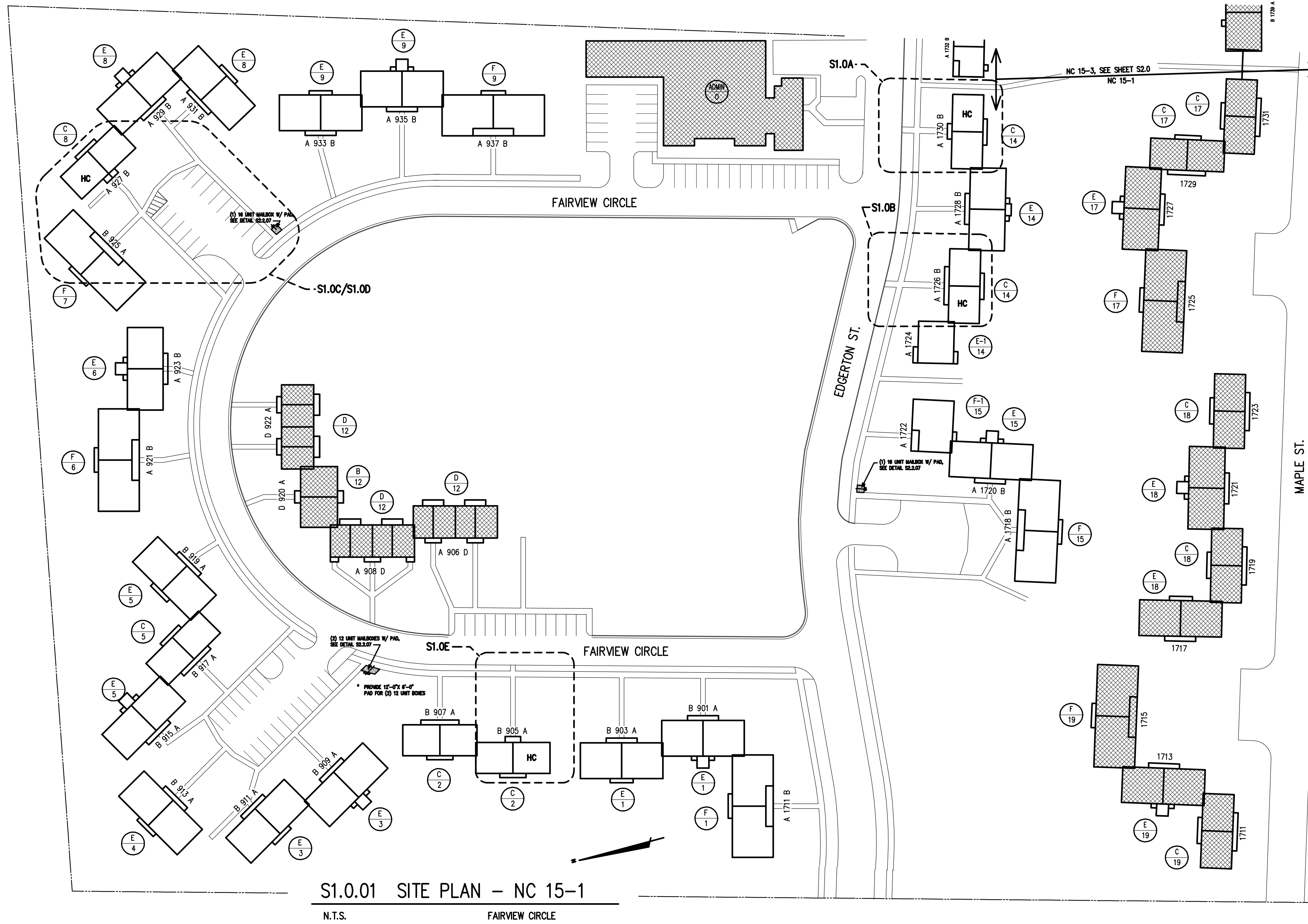
**Housing Authority of the City of Goldsboro**  
 RENOVATIONS - FAIRVIEW APARTMENTS  
 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
 GOLDSBORO NORTH CAROLINA

PROJECT INFORMATION, SCOPE OF WORK, INDEX OF DRAWINGS, LEGEND
6041-B, C1.1, AEC
COMM. NO. 6041-B
DRAWN BY WBP
CHECKED BY AWS
DATE APRIL 2, 2024
SHEET NO. C1.1

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S1.0.01 SITE PLAN - NC 15-1  
N.T.S. FAIRVIEW CIRCLE

BUILDING SCHEDULE - NC 15-1, FAIRVIEW CIRCLE							
BUILDINGS		DISTRIBUTION OF UNITS					
TYPE	COMPOSITION	NO.	1 BR 2 STORY	2 BR 1 STORY	2 BR 2 STORY	3 BR 4 BR	TOTAL
B	1 1	1	4				4
C	2 2	11		22			22
D	2 2 2 2	3			12		12
E	3 3	18				36	36
E-1	3	1				1	1
F	4 4	7				14	14
F-1	4	1				1	1
ADMIN.	ADMINISTRATION BUILDING	1					
TOTALS		43	4	22	12	37	90

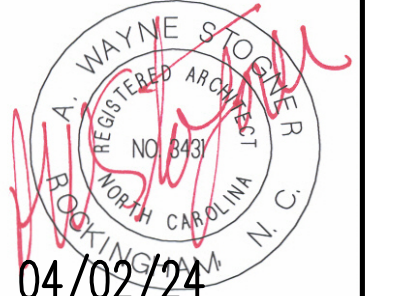
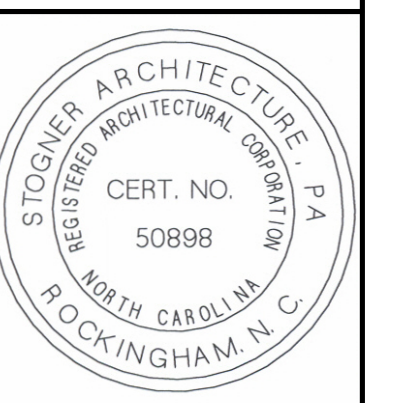
**BUILDING LEGEND**

- (A 1) INDICATES BUILDING TYPE
- (A 1) INDICATES BUILDING GROUP NUMBER
- 500 INDICATES APARTMENT UNIT NUMBER
- HC INDICATES HANDICAP ACCESSIBLE APARTMENT
- H/V INDICATES HEARING/VISUAL APARTMENT
- [Cross-hatch symbol] INDICATES BUILDINGS NOT IN CONTRACT

**GENERAL SITE NOTES**

PROVIDE NEW LOAM, SEED, STRAW AT ALL BARE GROUND & DISTURBED AREAS THROUGHOUT SITE. OVERSEED ALL LAWN AREAS, AERATE (INCLUDING BARE GROUND AREAS), FERTILIZE THROUGHOUT SITE.

PROVIDE TEMPORARY SECURITY FENCE AROUND WORK AREAS, RELOCATE AS WORK PROGRESSES



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 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
 GOLDSBORO NORTH CAROLINA

SITE PLAN - FAIRVIEW CIRCLE ;

NC 15-1

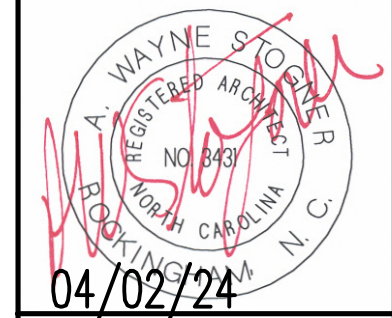
6041-B	.AEC
COMM. NO.	6041-B
DRAWN BY	WBP
CHECKED BY	AWS
DATE	APRIL 2, 2024
SHEET NO.	S1.0



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SITE DEMOLITION/RENOVATION KEYNOTES

SEE SHEET S2.0 FOR KEYNOTES & DETAILS



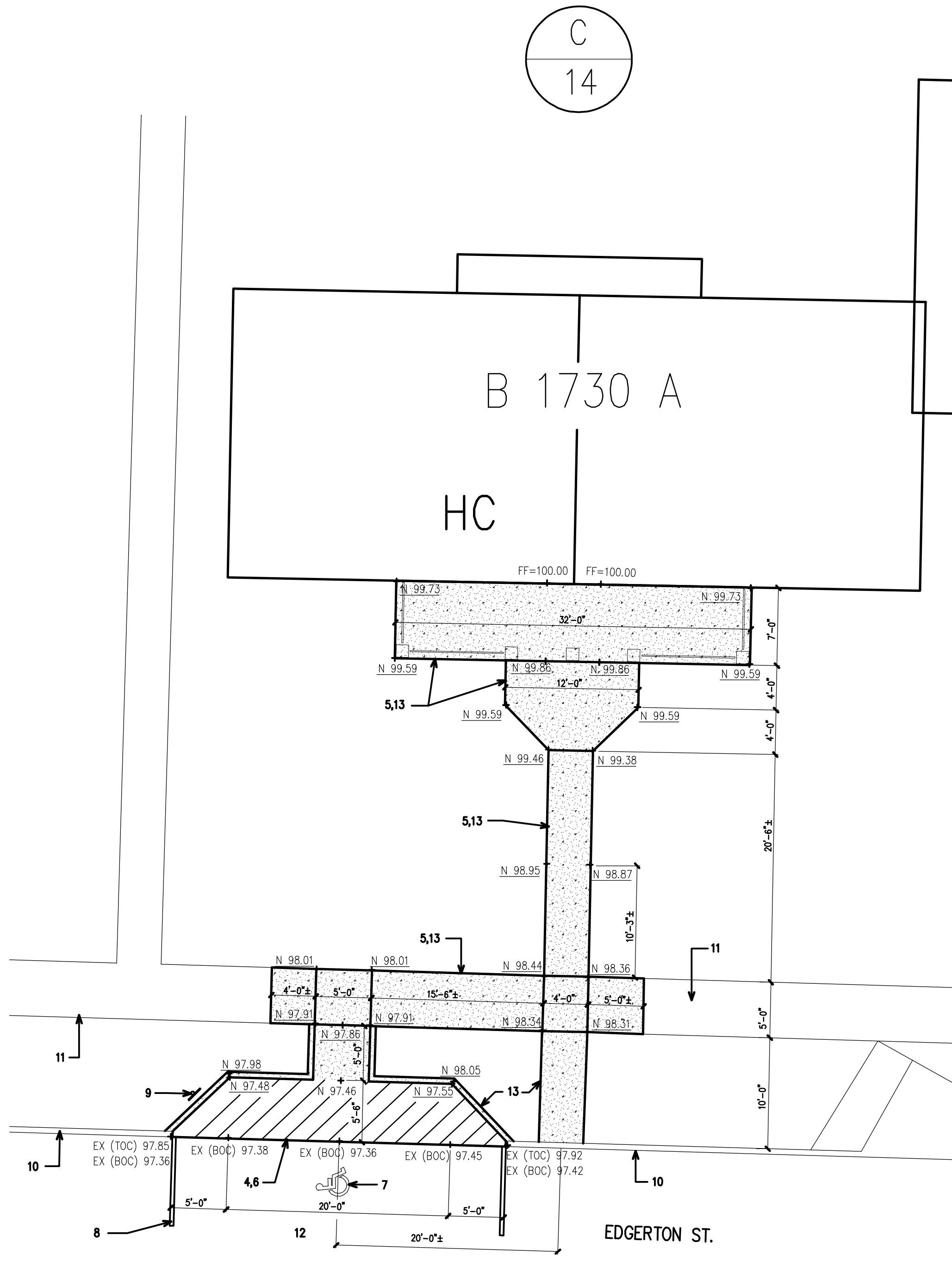
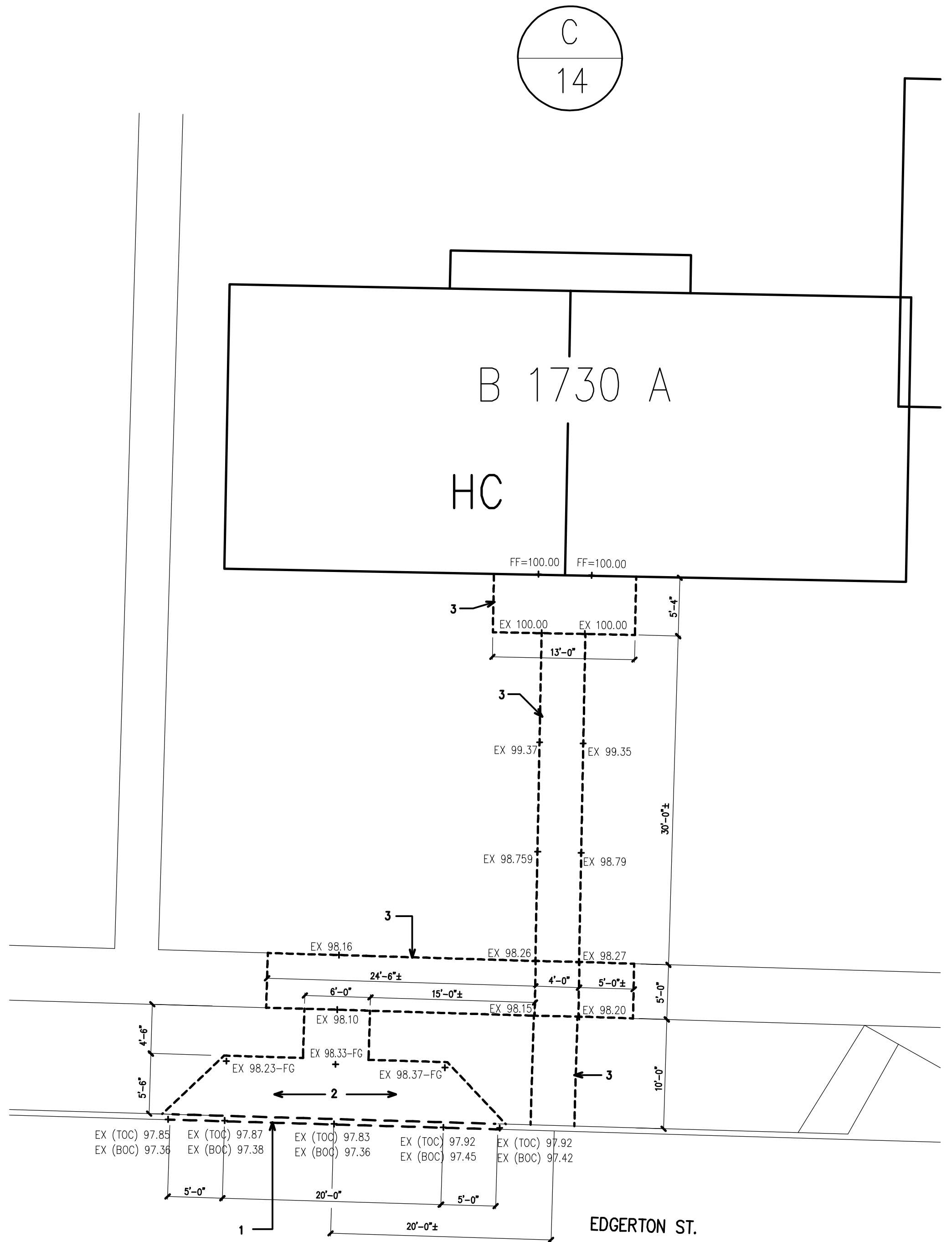
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GOLDSBORO NORTH CAROLINA

ENLARGED SITE PLAN -  
FAIRVIEW CIRCLE ;

NC 15-1  
6041-B .AEC  
COMM. NO. 6041-B  
DRAWN BY WBP  
CHECKED BY AWS  
DATE APRIL 2, 2024  
SHEET NO.

S1.0A



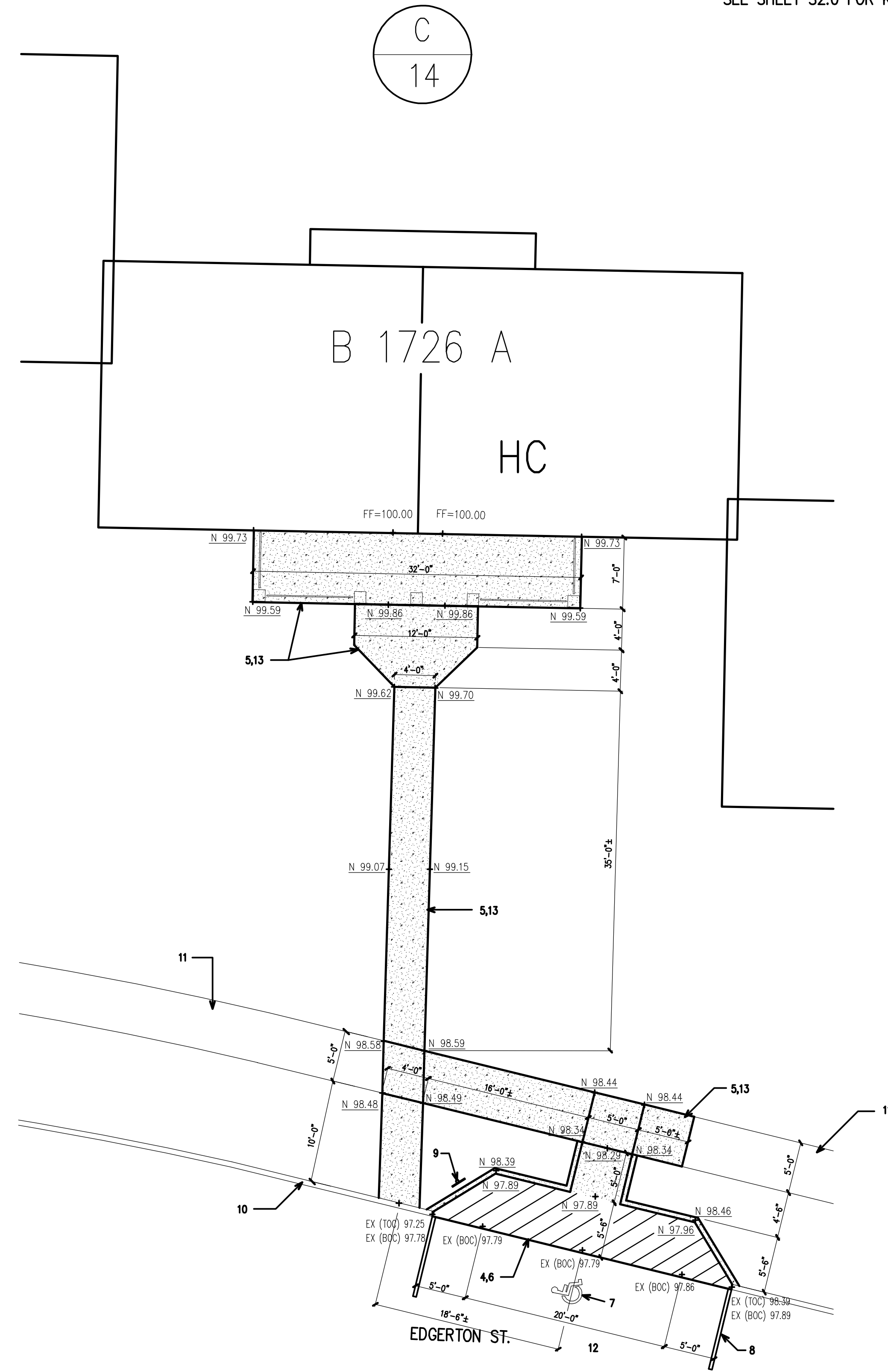
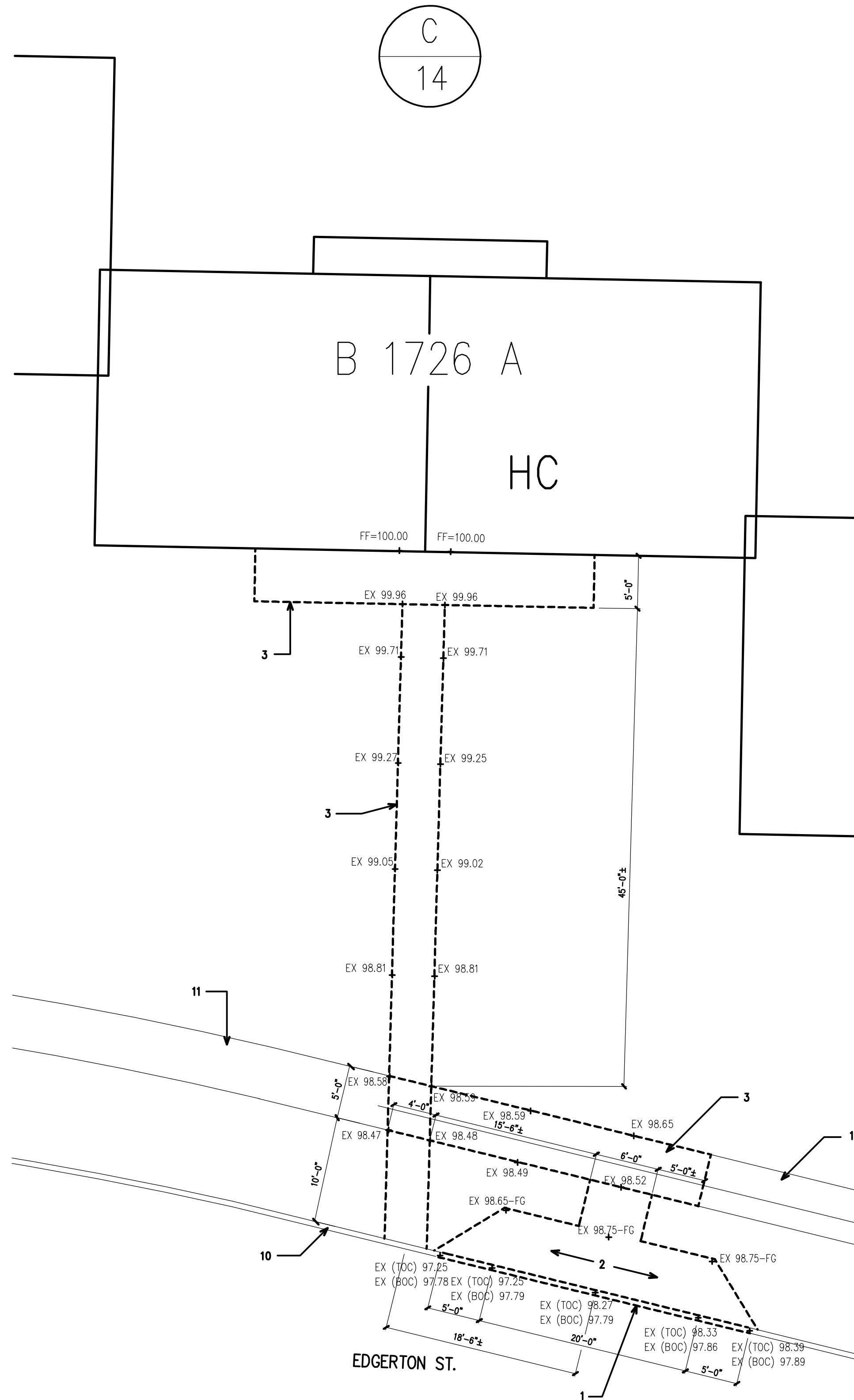
S1.0A.01 ENLARGED (DEMOLITION/RENOVATION) SITE PLAN - NC 15-1  
N.T.S. FAIRVIEW CIRCLE (EDGERTON ST.)



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SITE DEMOLITION/RENOVATION KEYNOTES

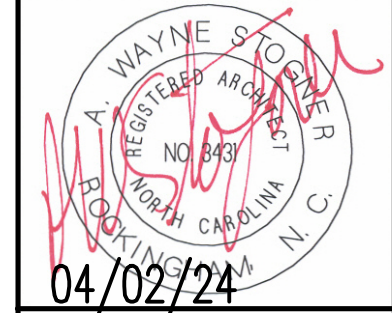
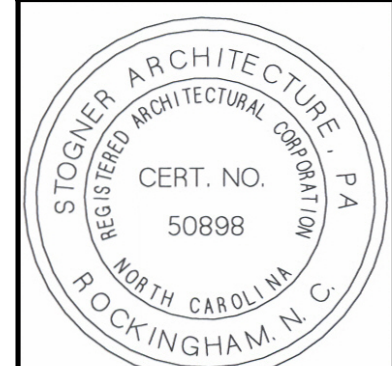
SEE SHEET S2.0 FOR KEYNOTES & DETAILS



S1.0B.01 ENLARGED (DEMOLITION/RENOVATION) SITE PLAN - NC 15-1

N.T.S.

FAIRVIEW CIRCLE (EDGERTON ST.)



04/02/24

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 GOLDSBORO NORTH CAROLINA

ENLARGED SITE PLAN - FAIRVIEW CIRCLE ;

NC 15-1
6041-B\ .AEC
COMM. NO. 6041-B
DRAWN BY WBP
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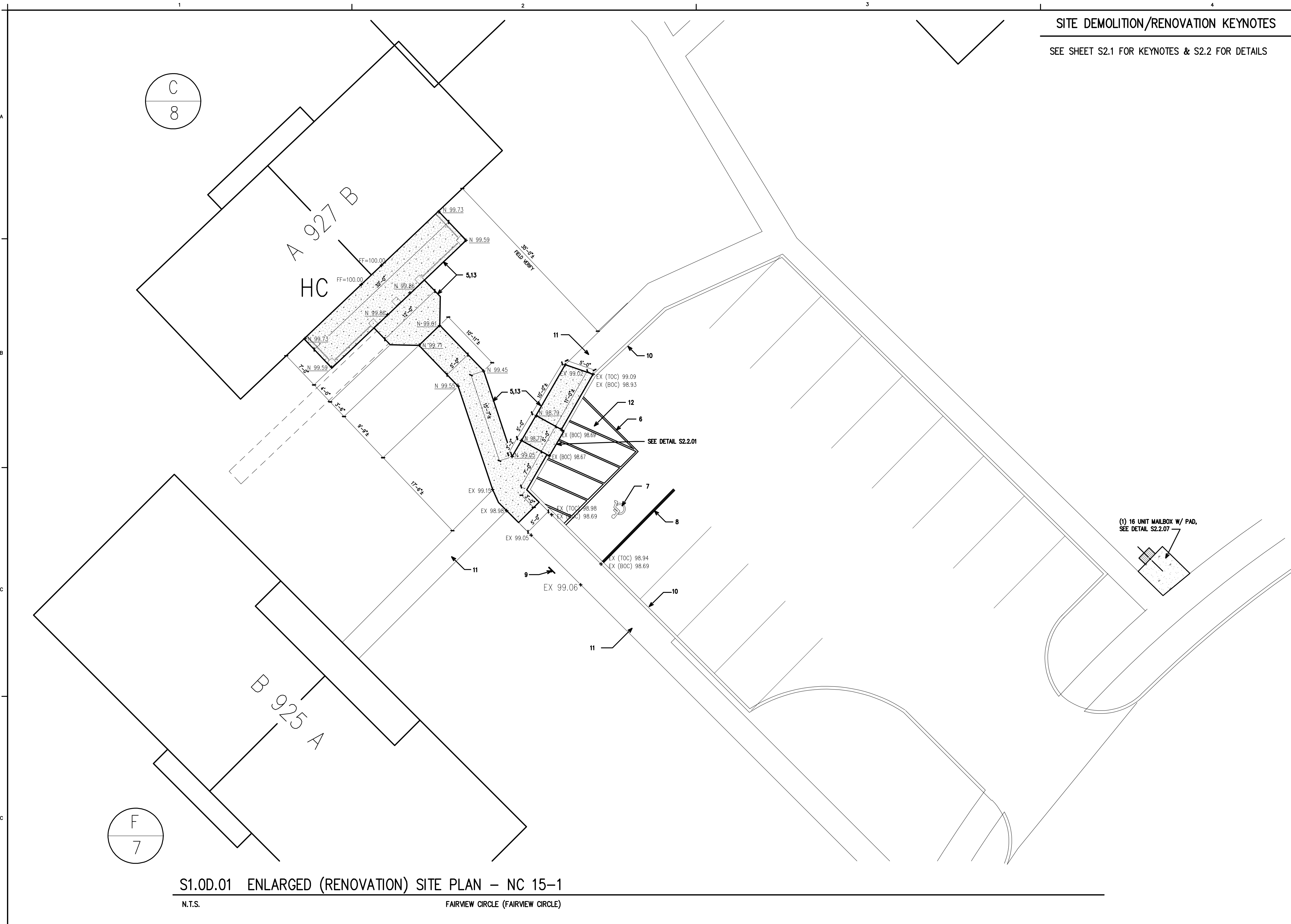
S1.0B





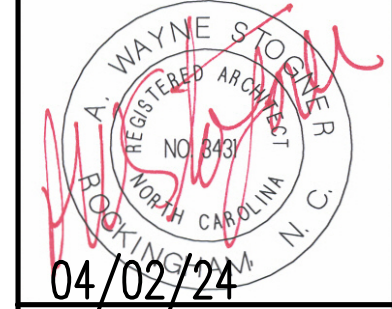


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**SITE DEMOLITION/RENOVATION KEYNOTES**

SEE SHEET S2.1 FOR KEYNOTES & S2.2 FOR DETAILS



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 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
 GOLDSBORO NORTH CAROLINA

ENLARGED SITE PLAN - FAIRVIEW CIRCLE ;

NC 15-1
6041-B\ .AEC
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DRAWN BY WBP
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SHEET NO. S1.0D

**S1.0D.01 ENLARGED (RENOVATION) SITE PLAN - NC 15-1**

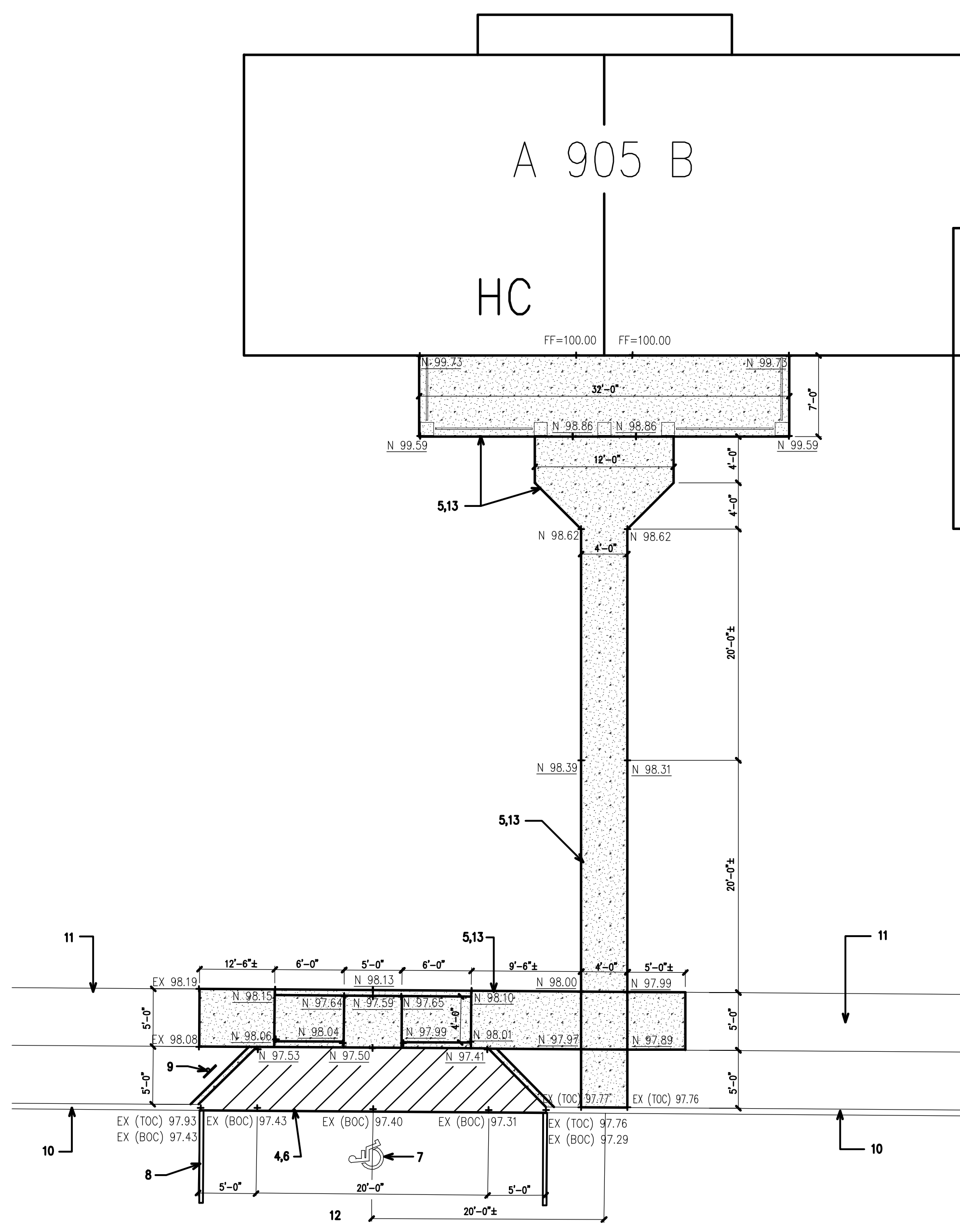
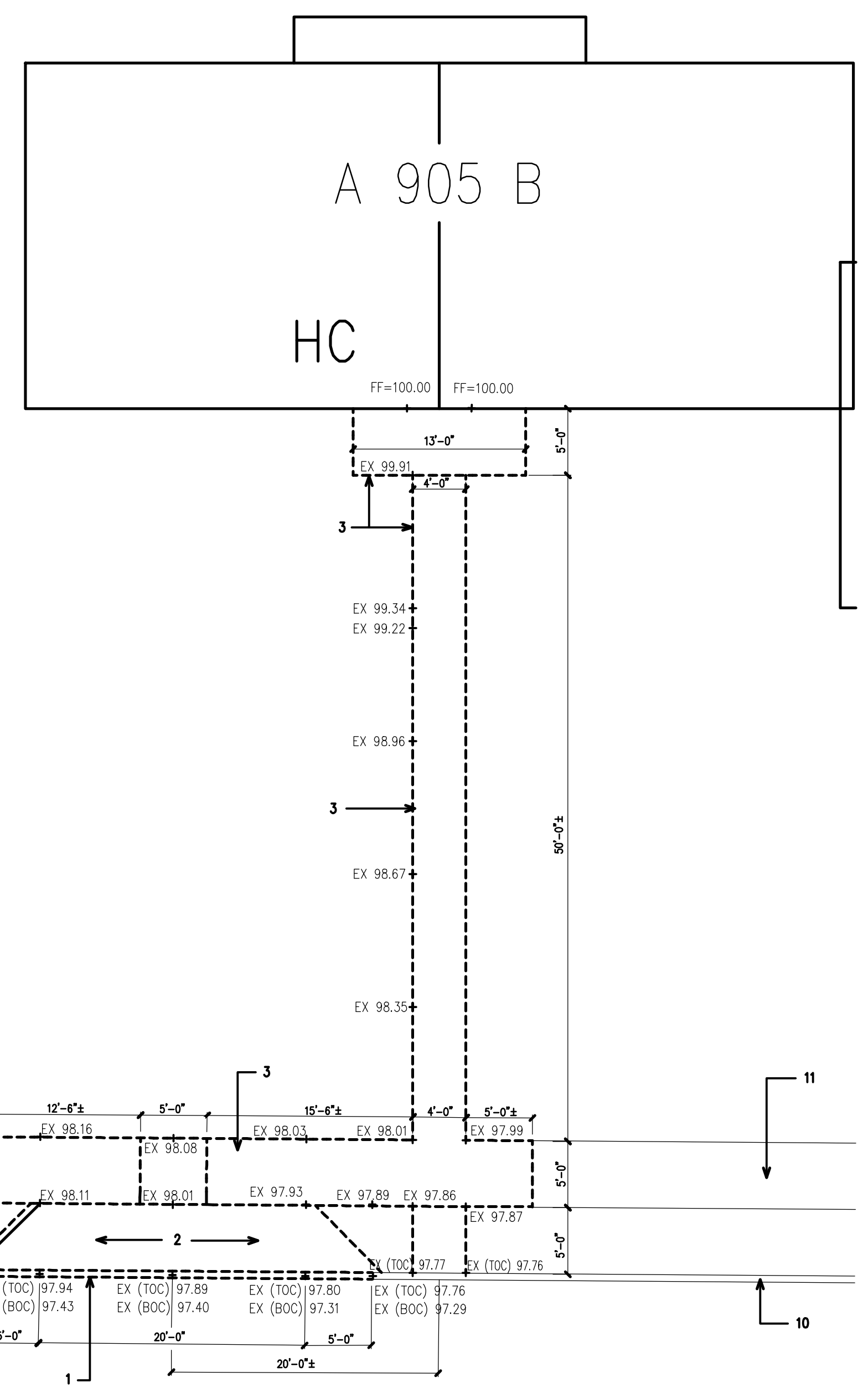
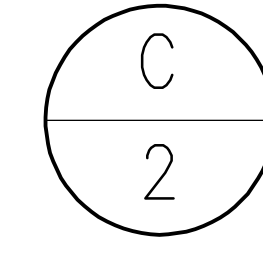
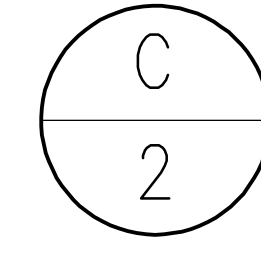
N.T.S. FAIRVIEW CIRCLE (FAIRVIEW CIRCLE)



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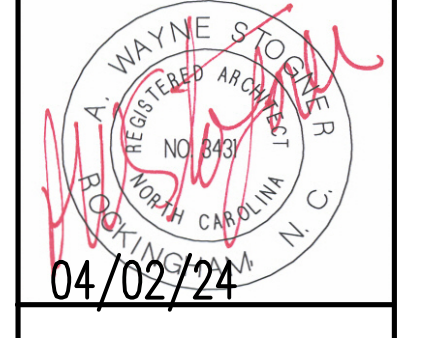
SITE DEMOLITION/RENOVATION KEYNOTES

SEE SHEET S2.1 FOR KEYNOTES & S2.2 FOR DETAILS



NOTE: CONTRACTOR TO FIELD VERIFY APPROXIMATE DIMENSIONS GIVEN  
WILL ALLOW PROPER SLOPES TO BE OBTAINED FOR HANDICAP ACCESSIBILITY

S1.0E.01 ENLARGED (DEMOLITION/RENOVATION) SITE PLAN – NC 15-1  
N.T.S. FAIRVIEW CIRCLE (FAIRVIEW CIRCLE)



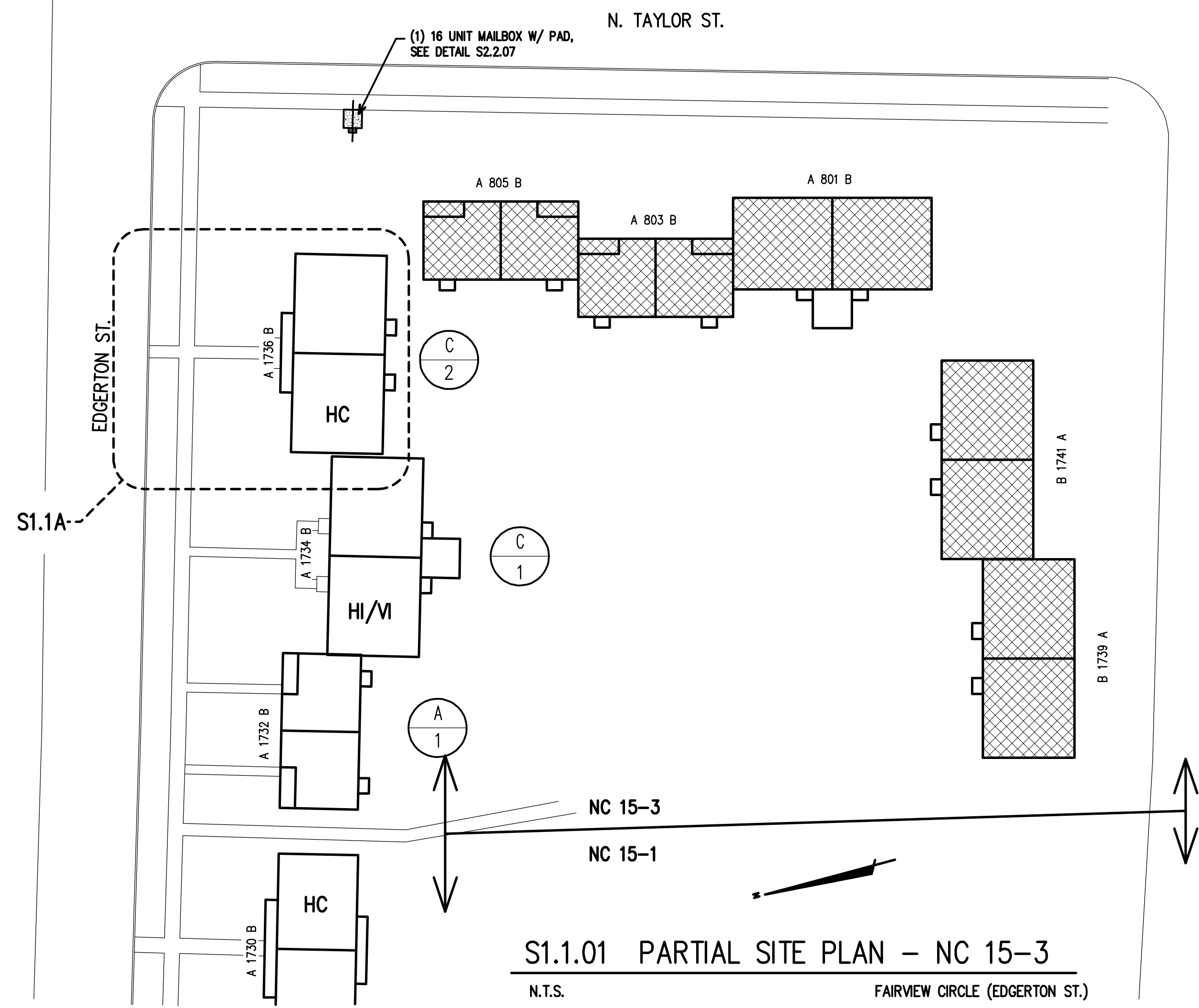
Stogner Architecture, PA  
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615 East Broad Avenue, Rockingham, North Carolina  
Phone 910-895-6874 Fax 910-895-1111

Housing Authority of the  
City of Goldsboro  
RENOVATIONS – FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
GOLDSBORO NORTH CAROLINA

ENLARGED SITE PLAN – FAIRVIEW CIRCLE ;	
NC 15-1	
6041-B\ .AEC	
COMM. NO. 6041-B	
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S1.1.01 PARTIAL SITE PLAN - NC 15-3  
N.T.S. FAIRVIEW CIRCLE (EDGERTON ST.)

**PARTIAL BUILDING SCHEDULE - NC 15-3, EDGERTON ST.**

BUILDINGS		DISTRIBUTION OF UNITS					
TYPE	COMPOSITION	NO.	1 BR	2 BR	3 BR		TOTAL
A	1 1	1	2				2
C	3 3	3			6		6
TOTALS		4	2	0	6		8

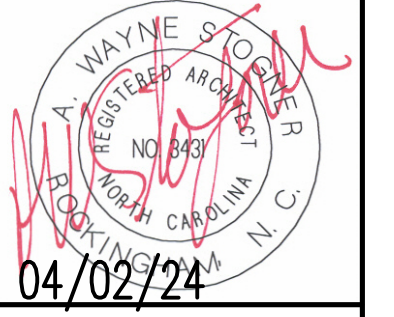
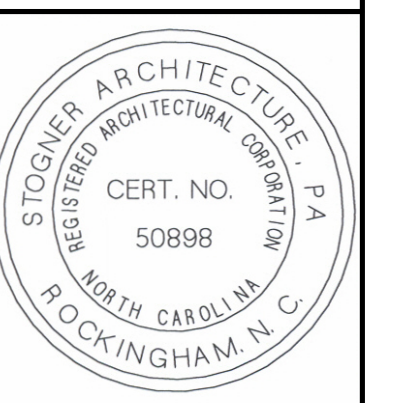
**BUILDING LEGEND**

- INDICATES BUILDING TYPE
- INDICATES BUILDING NUMBER
- INDICATES SHEET NUMBER FOR BLDG. ELEVATION/FLOOR PLAN
- INDICATES APARTMENT UNIT NUMBER
- INDICATES HANDICAP ACCESSIBLE APARTMENT
- INDICATES HEARING/VISUAL APARTMENT
- INDICATES BUILDINGS NOT IN CONTRACT

**GENERAL SITE NOTES**

PROVIDE NEW LOAM, SEED, STRAW AT ALL BARE GROUND & DISTURBED AREAS THROUGHOUT SITE. OVERSEED ALL LAWN AREAS, AERATE (INCLUDING BARE GROUND AREAS), FERTILIZE THROUGHOUT SITE.

PROVIDE TEMPORARY SECURITY FENCE AROUND WORK AREAS, RELOCATE AS WORK PROGRESSES



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**Housing Authority of the City of Goldsboro**  
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 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
 GOLDSBORO NORTH CAROLINA

SITE PLAN - FAIRVIEW CIRCLE ;

NC 15-3

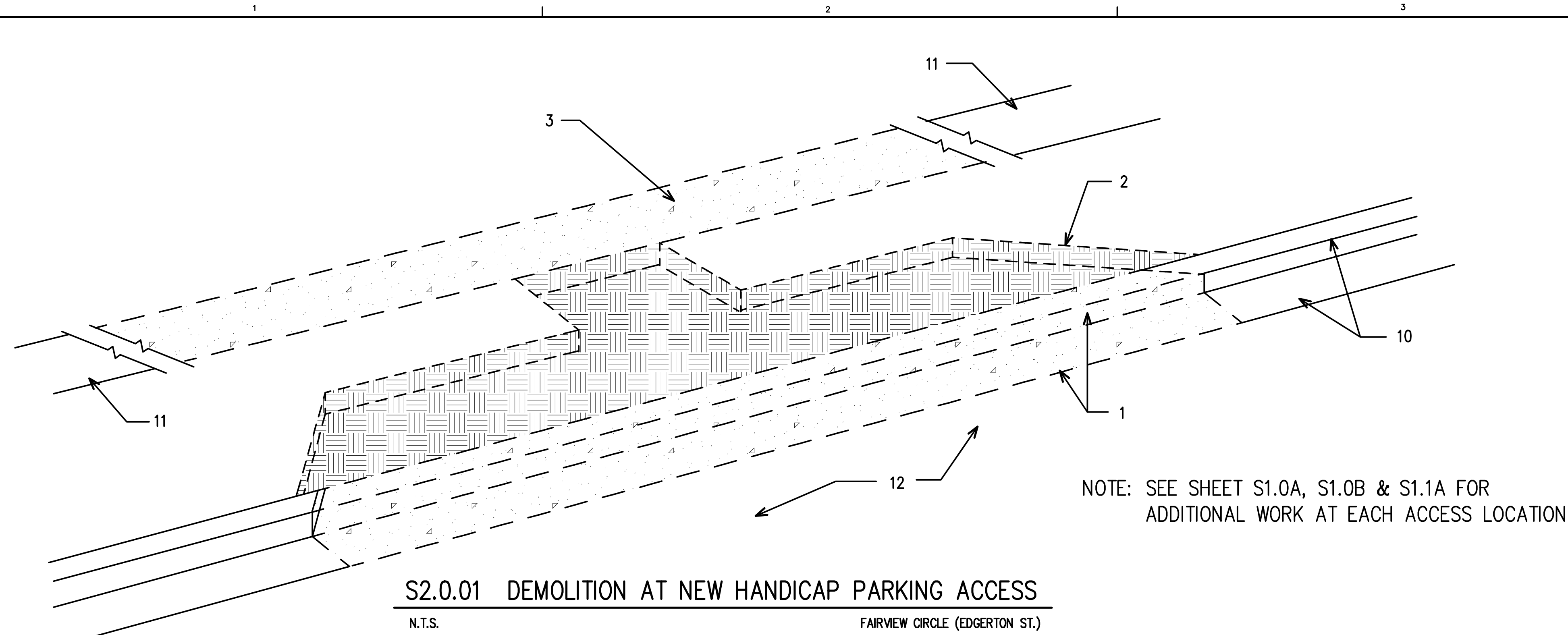
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COMM. NO.	6041-B
DRAWN BY	WBP
CHECKED BY	AWS
DATE	APRIL 2, 2024
SHEET NO.	S1.1



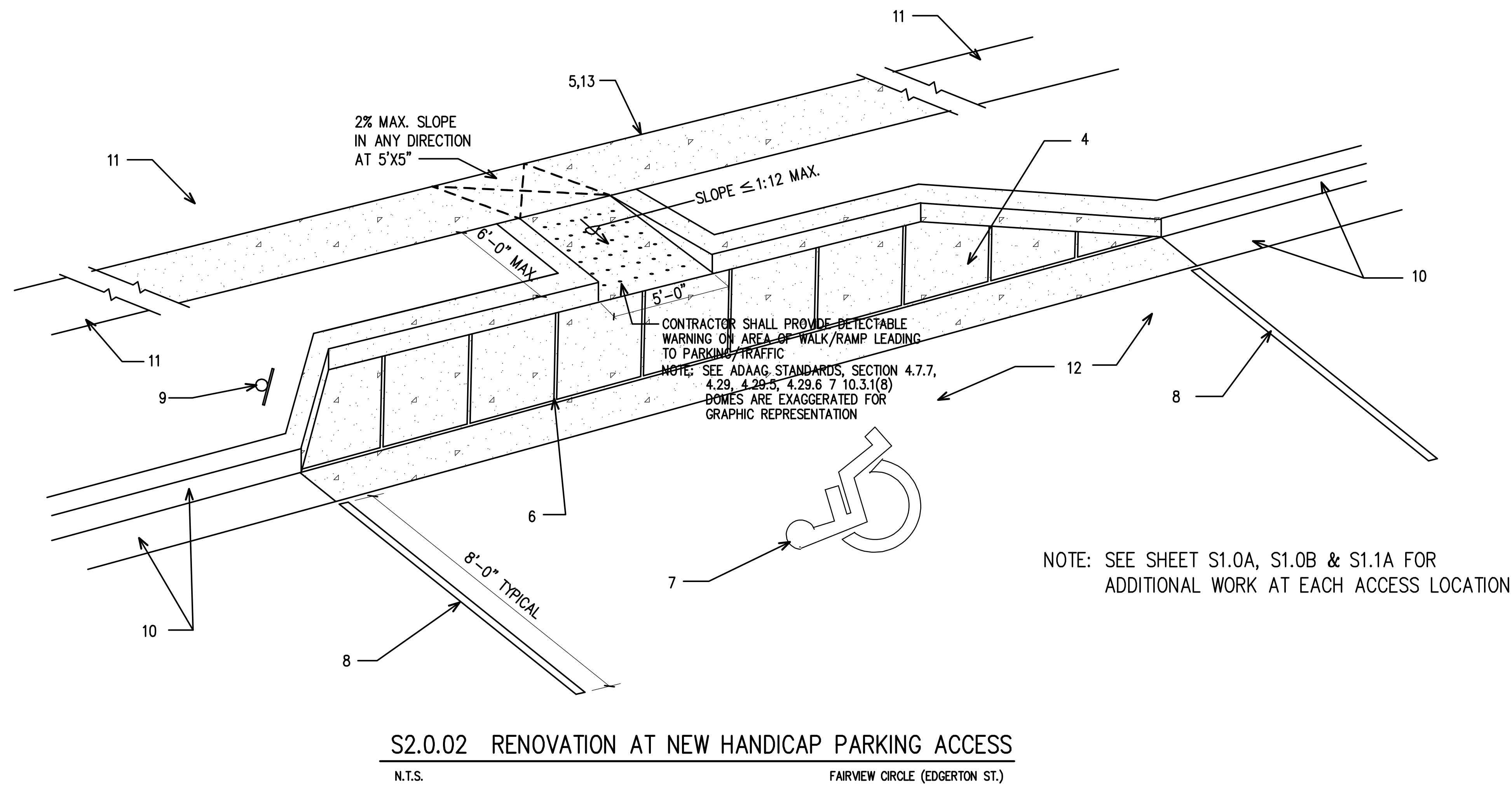




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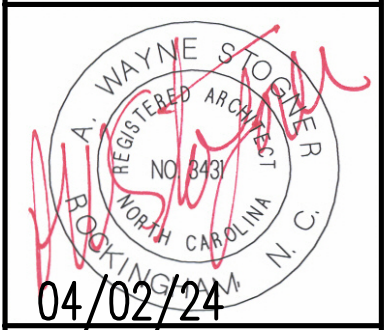
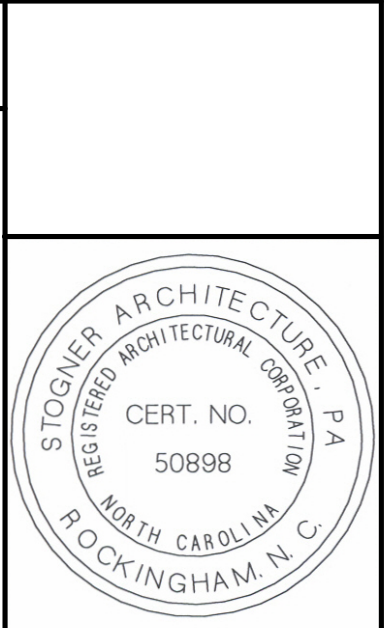
**S2.0.01 DEMOLITION AT NEW HANDICAP PARKING ACCESS**  
N.T.S. FAIRVIEW CIRCLE (EDGERTON ST.)



**S2.0.02 RENOVATION AT NEW HANDICAP PARKING ACCESS**  
N.T.S. FAIRVIEW CIRCLE (EDGERTON ST.)

**SITE DEMOLITION/RENOVATION KEYNOTES**

1. REMOVE EXISTING CONCRETE CURB/GUTTER AS SHOWN FOR NEW HANDICAP ACCESS.
2. REMOVE EXISTING GRADE FOR NEW HANDICAP ACCESS ADJACENT TO NEW/EXISTING WALK.
3. REMOVE EXISTING CONCRETE WALK FOR NEW HANDICAP ACCESS.
4. PROVIDE NEW 6" THK. 3000 PSI CONCRETE W/ FIBROUS REINFORCEMENT AT NEW HANDICAP ACCESS. MAX. SLOPE 2% IN ANY DIRECTION.
5. PROVIDE NEW 4" THK. 3000 PSI CONCRETE W/ FIBROUS REINFORCEMENT WALK W/ MAX. 2% CROSS-SLOPE.  
SEE A5.0, A5.1, & A5.2 FOR REVISED PORCH DETAILS.
6. PROVIDE 3" WHITE DIAGONAL STRIPING AT 24" O.C. AT ACCESS ASILE.
7. PROVIDE NEW PAINTED INTERNATIONAL SYMBOL OF ACCESS/HANDICAP SYMBOL AT PARKING SPACE - COLOR (WHITE).
8. PROVIDE NEW 4"W. WHITE PAINTED STRIPING AT HANDICAP SPACE.
9. PROVIDE NEW HANDICAP PARKING SIGN.
10. EXISTING CONCRETE CURB/GUTTER TO REMAIN.
11. EXISTING CONCRETE WALK TO REMAIN, SEE SITE PLAN.
12. EXISTING ASPHALT TO REMAIN, CUT & PATCH AS REQUIRED TO CREATE NEW HANDICAP ACCESS.
13. PROVIDE NEW TOPSOIL ALONG ALL WALKS WHERE ADJACENT SOIL IS GREATER THAN 1/2" BELOW SURFACE OF WALK. EXTEND NEW SOIL OUT 24" MIN. FROM VERTICAL EDGE OF WALK AT 2% THEN TAPER DOWN @  $\le 5\%$  SLOPE, SEE S2.2.02. PROVIDE SEED AND STRAW.
14. PROVIDE NEW LOAM, SEED, STRAW AT ALL BARE GROUND & DISTURBED AREAS THROUGHOUT SITE. OVERSEED ALL LAWN AREAS, AERATE (INCLUDING BARE GROUND AREAS), FERTILIZE THROUGHOUT SITE.



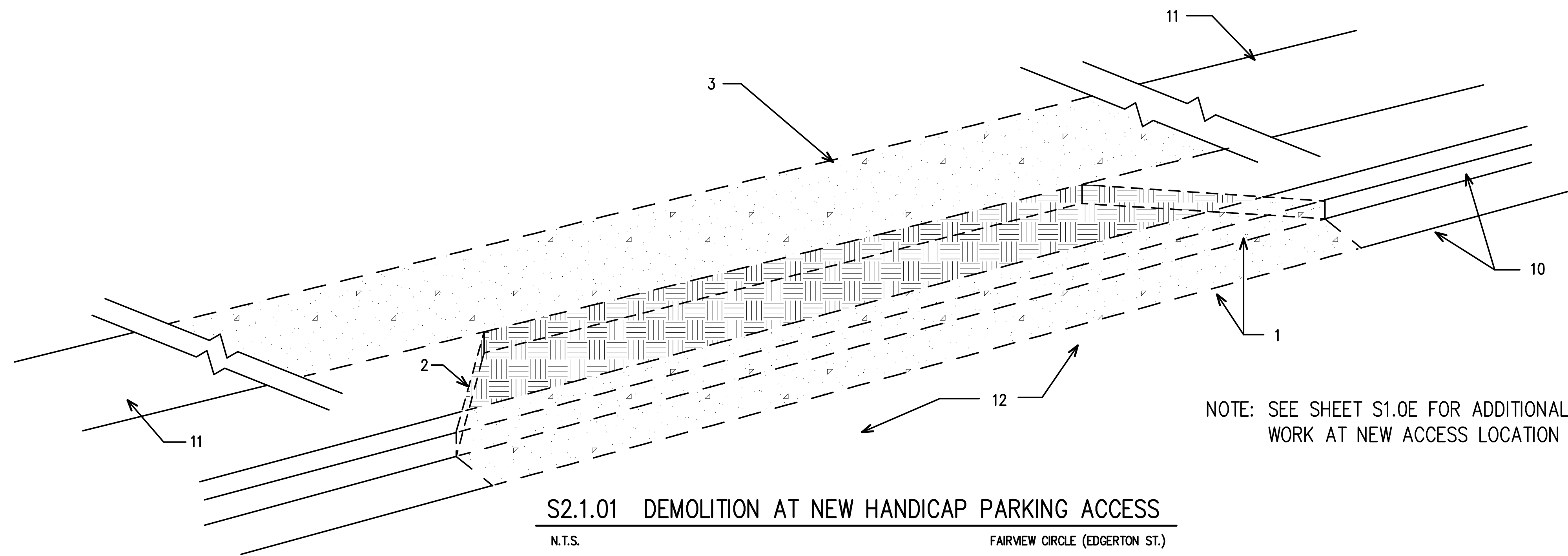
**Stogner Architecture, PA**  
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ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
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**Housing Authority of the City of Goldsboro**  
RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
GOLDSBORO NORTH CAROLINA

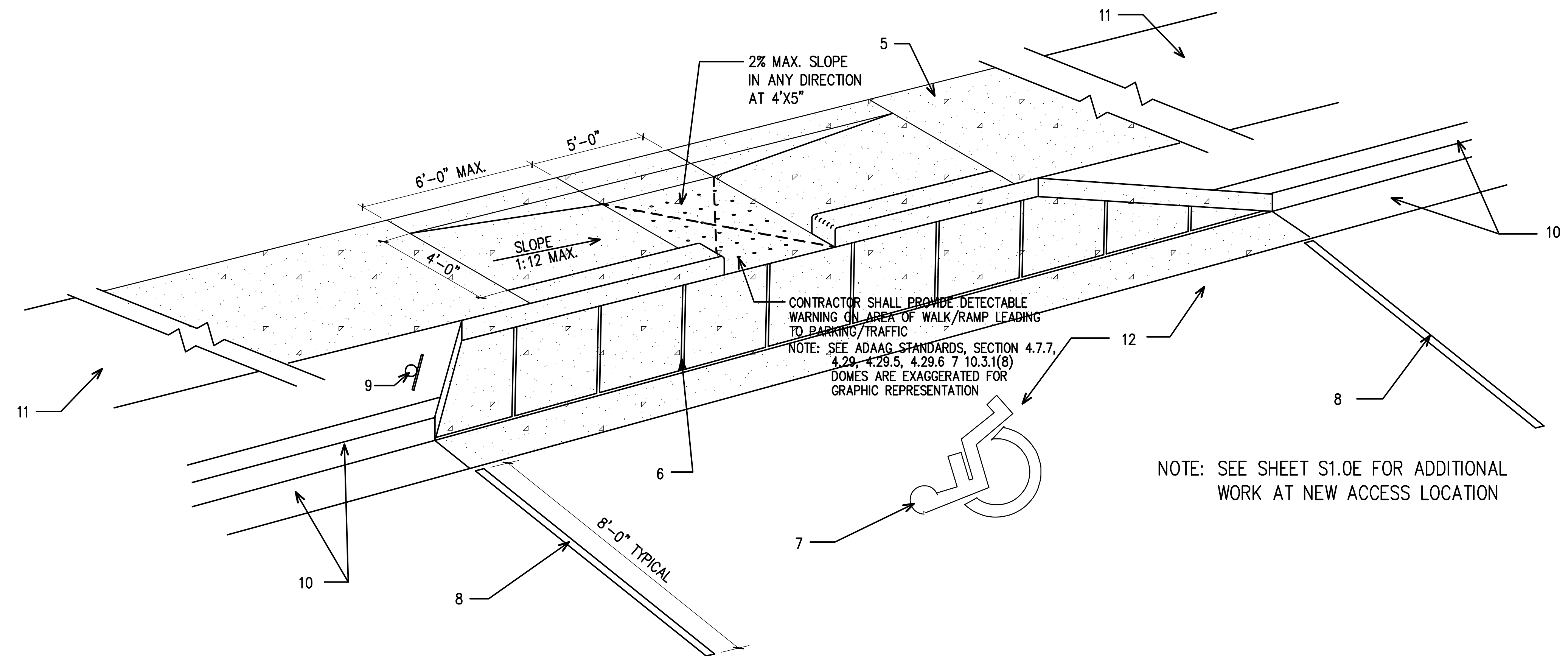
ENLARGED SITE PLAN - FAIRVIEW CIRCLE ;	
NC 15-1 & NC 15-3	
6041-B\ .AEC	
COMM. NO. 6041-B	
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CHECKED BY AWS	
DATE APRIL 2, 2024	
SHEET NO.	S2.0



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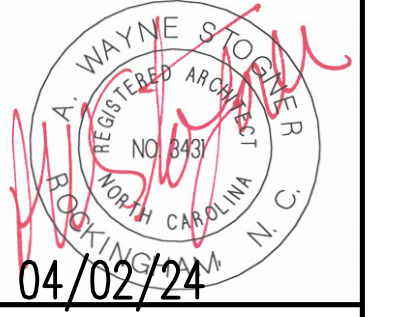
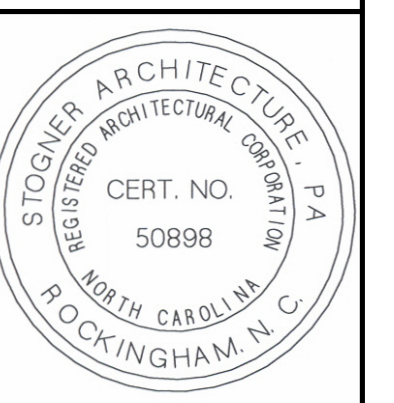
**S2.1.01 DEMOLITION AT NEW HANDICAP PARKING ACCESS**  
N.T.S. FAIRVIEW CIRCLE (EDGERTON ST.)



**S2.1.02 RENOVATION AT NEW HANDICAP PARKING ACCESS**  
N.T.S. FAIRVIEW CIRCLE (FAIRVIEW CIRCLE)

**SITE DEMOLITION/RENOVATION KEYNOTES**

1. REMOVE EXISTING CONCRETE CURB/GUTTER AS SHOWN FOR NEW HANDICAP ACCESS.
2. REMOVE EXISTING GRADE FOR NEW HANDICAP ACCESS ADJACENT TO NEW/EXISTING WALK.
3. REMOVE EXISTING CONCRETE WALK FOR NEW HANDICAP ACCESS.
4. PROVIDE NEW 6" THK. 3000 PSI CONCRETE W/ FIBROUS REINFORCEMENT AT NEW HANDICAP ACCESS. MAX. SLOPE 2% IN ANY DIRECTION.
5. PROVIDE NEW 4" THK. 3000 PSI CONCRETE W/ FIBROUS REINFORCEMENT WALK W/ MAX. 2% CROSS-SLOPE.  
SEE A5.0, A5.1, & A5.2 FOR REVISED PORCH DETAILS.
6. PROVIDE 3" WHITE DIAGONAL STRIPING AT 24" O.C. AT ACCESS ASILE.
7. PROVIDE NEW PAINTED INTERNATIONAL SYMBOL OF ACCESS/HANDICAP SYMBOL AT PARKING SPACE - COLOR (WHITE).
8. PROVIDE NEW 4"W. WHITE PAINTED STRIPING AT HANDICAP SPACE.
9. PROVIDE NEW HANDICAP PARKING SIGN.
10. EXISTING CONCRETE CURB/GUTTER TO REMAIN.
11. EXISTING CONCRETE WALK TO REMAIN, SEE SITE PLAN.
12. EXISTING ASPHALT TO REMAIN, CUT & PATCH AS REQUIRED TO CREATE NEW HANDICAP ACCESS.
13. PROVIDE NEW TOPSOIL ALONG ALL WALKS WHERE ADJACENT SOIL IS GREATER THAN 1/2" BELOW SURFACE OF WALK. EXTEND NEW SOIL OUT 24" MIN. FROM VERTICAL EDGE OF WALK AT 2% THEN TAPER DOWN @  $\leq$  5% SLOPE, SEE S2.2.02. PROVIDE SEED AND STRAW.
14. PROVIDE NEW LOAM, SEED, STRAW AT ALL BARE GROUND & DISTURBED AREAS THROUGHOUT SITE. OVERSEED ALL LAWN AREAS, AERATE (INCLUDING BARE GROUND AREAS), FERTILIZE THROUGHOUT SITE.

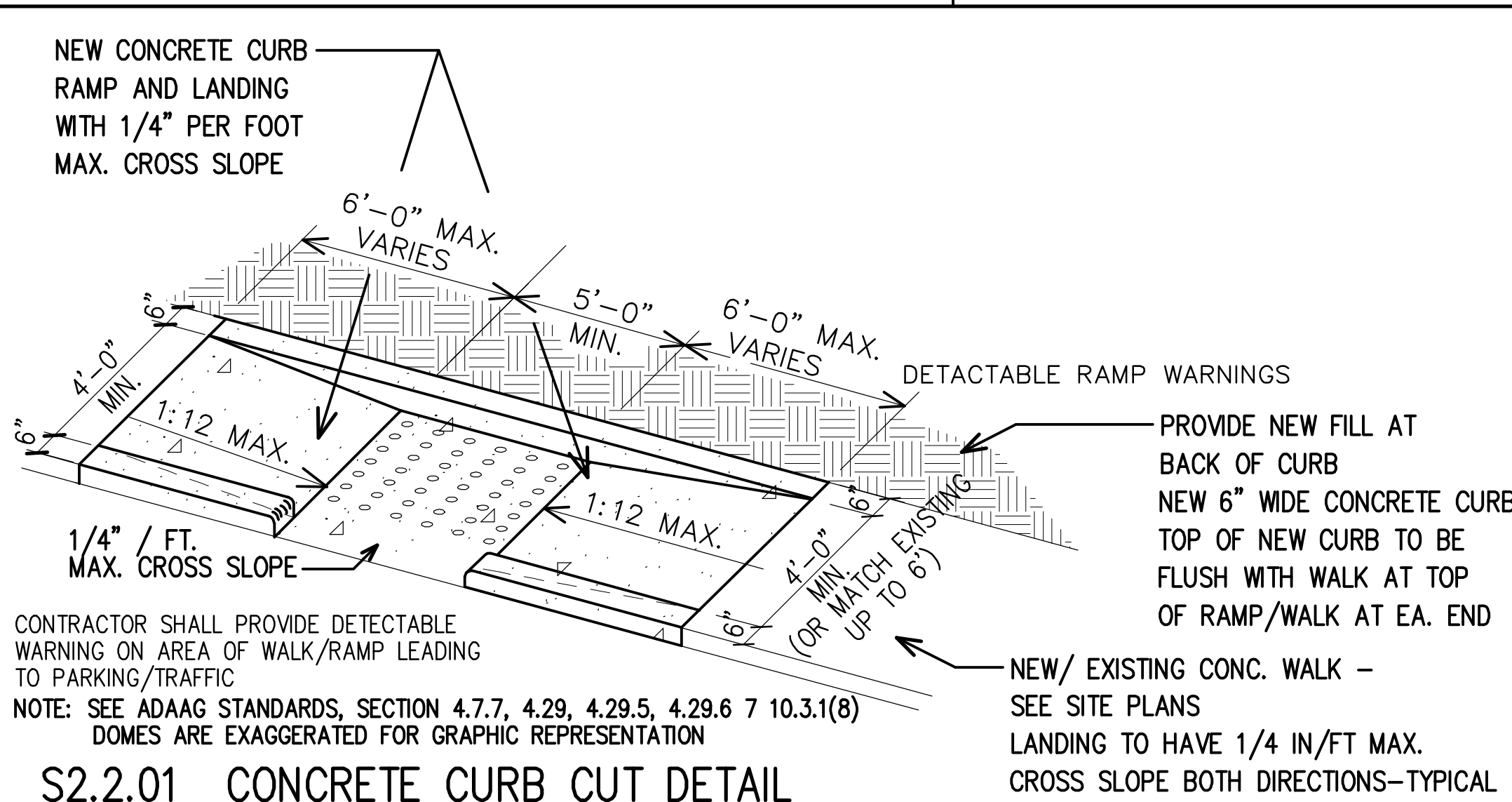


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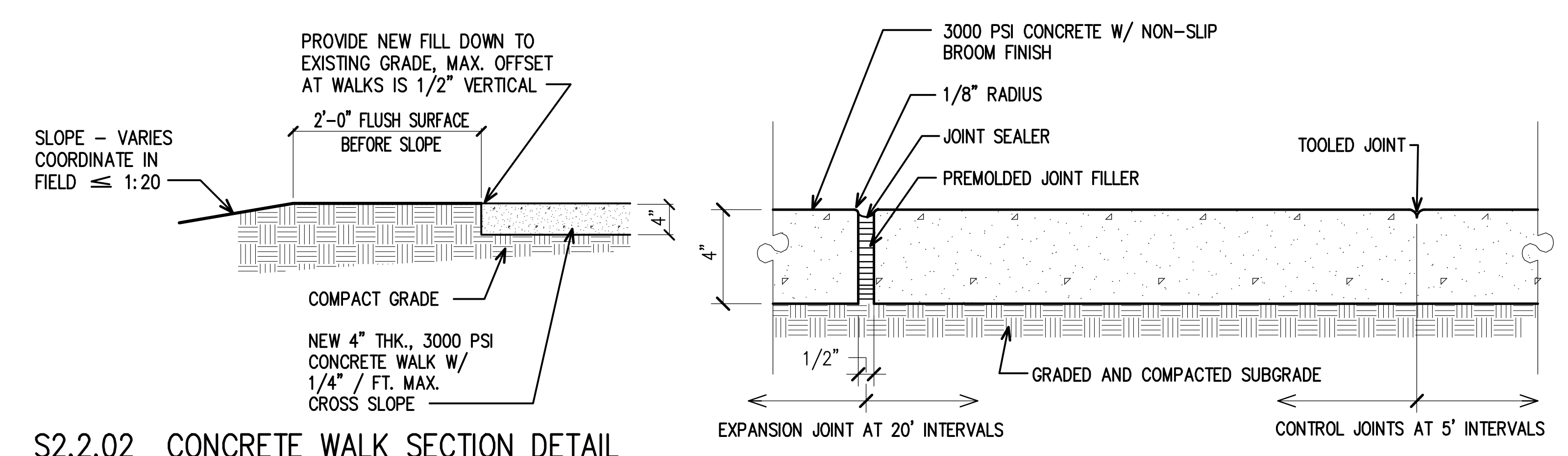
**Housing Authority of the City of Goldsboro**  
RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
GOLDSBORO NORTH CAROLINA

ENLARGED SITE PLAN - FAIRVIEW CIRCLE ;	
NC 15-1	
6041-B\ .AEC	
COMM. NO. 6041-B	
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DATE APRIL 2, 2024	
SHEET NO.	S2.1

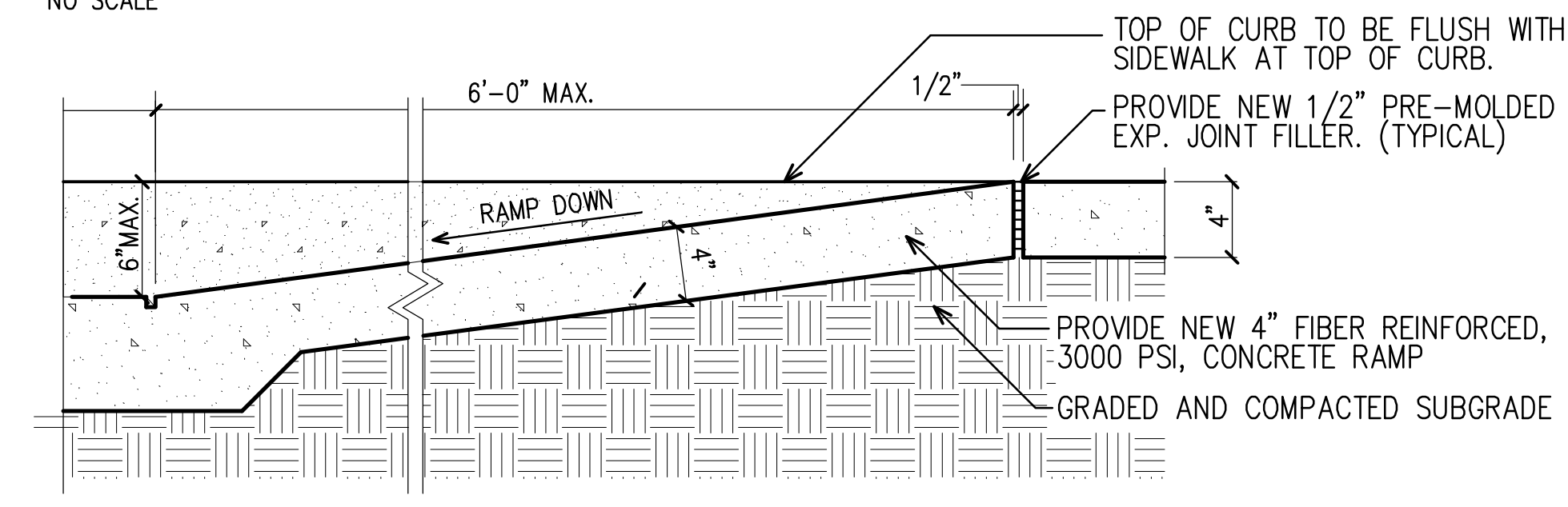




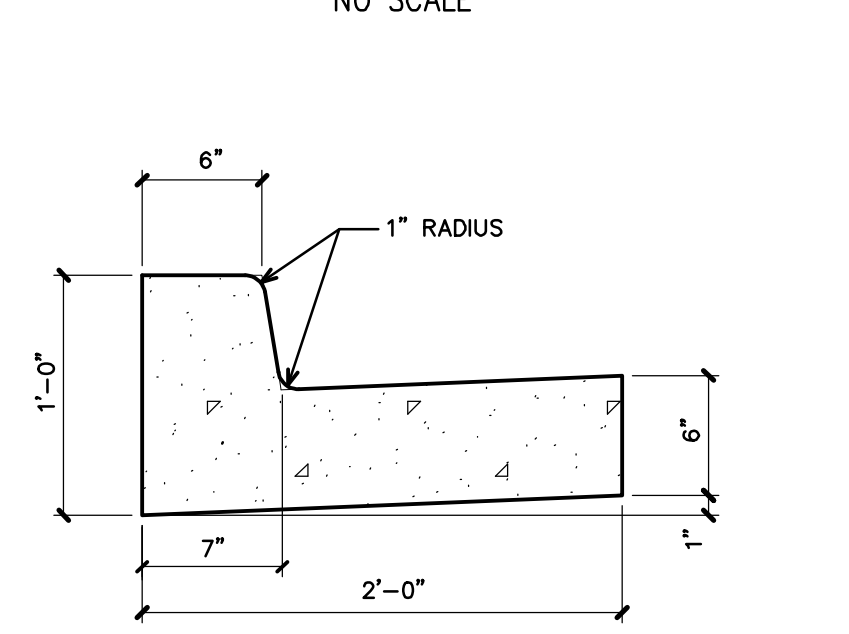
**S2.2.01 CONCRETE CURB CUT DETAIL**  
NO SCALE



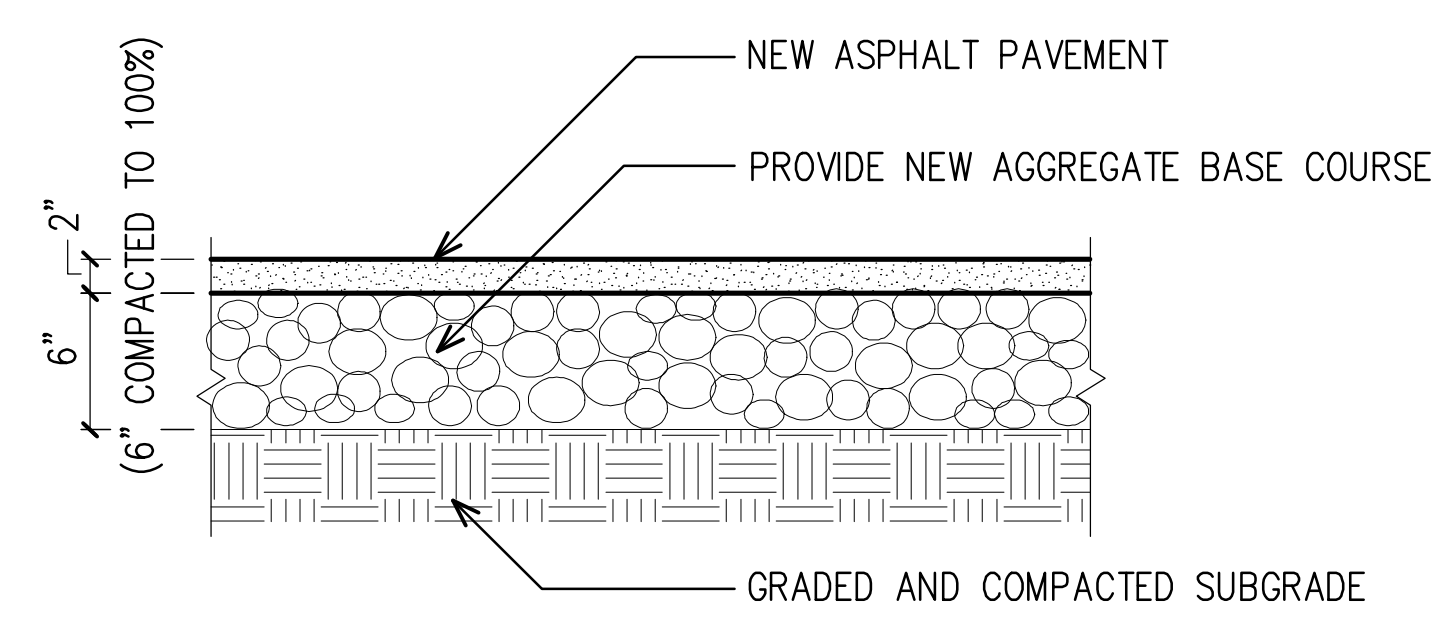
**S2.2.02 CONCRETE WALK SECTION DETAIL**  
NO SCALE



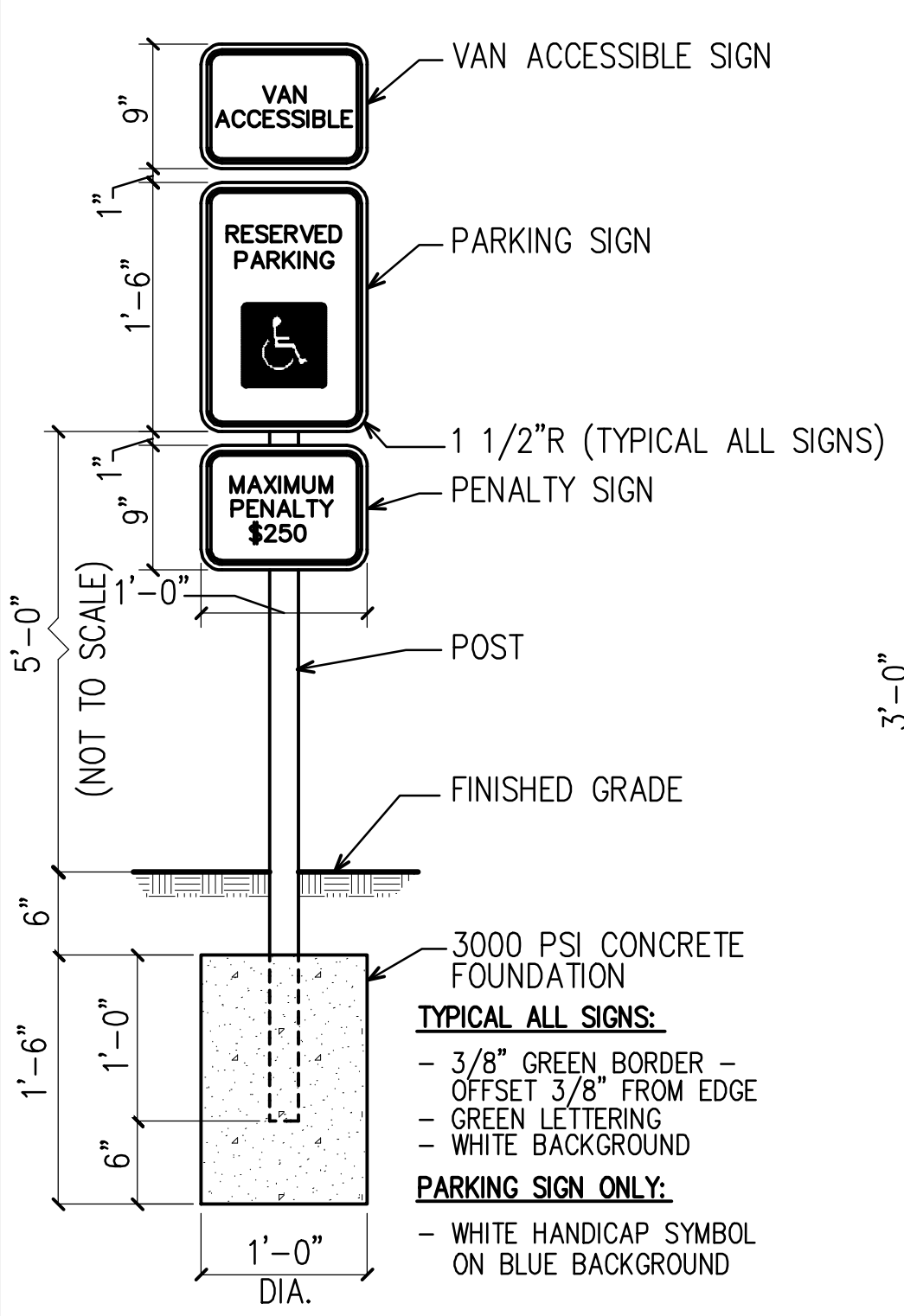
**S2.2.03 CONCRETE CURB CUT SECTION DETAIL**  
NO SCALE



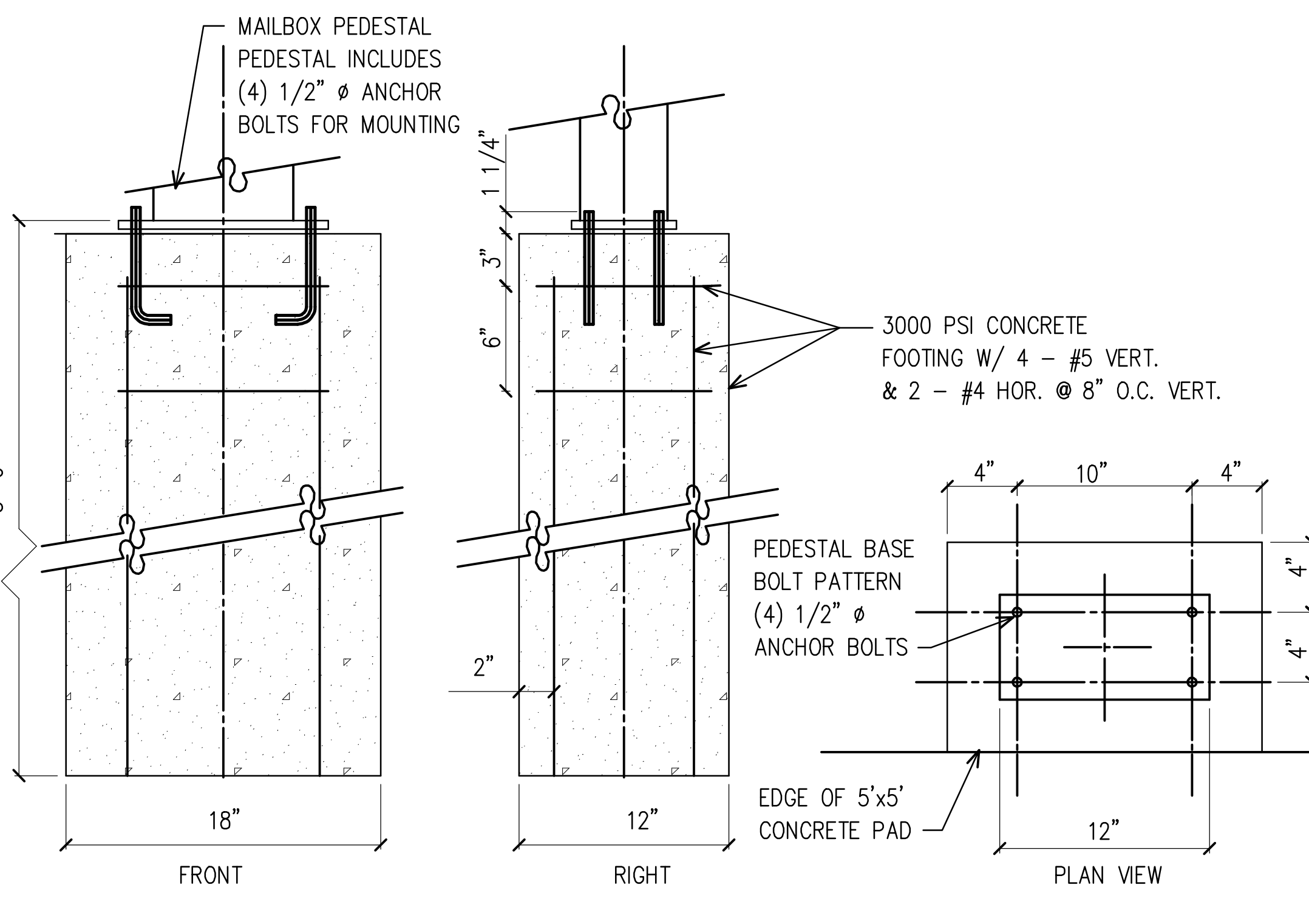
**S2.2.04 TYP. CURB/GUTTER DETAIL**  
NO SCALE



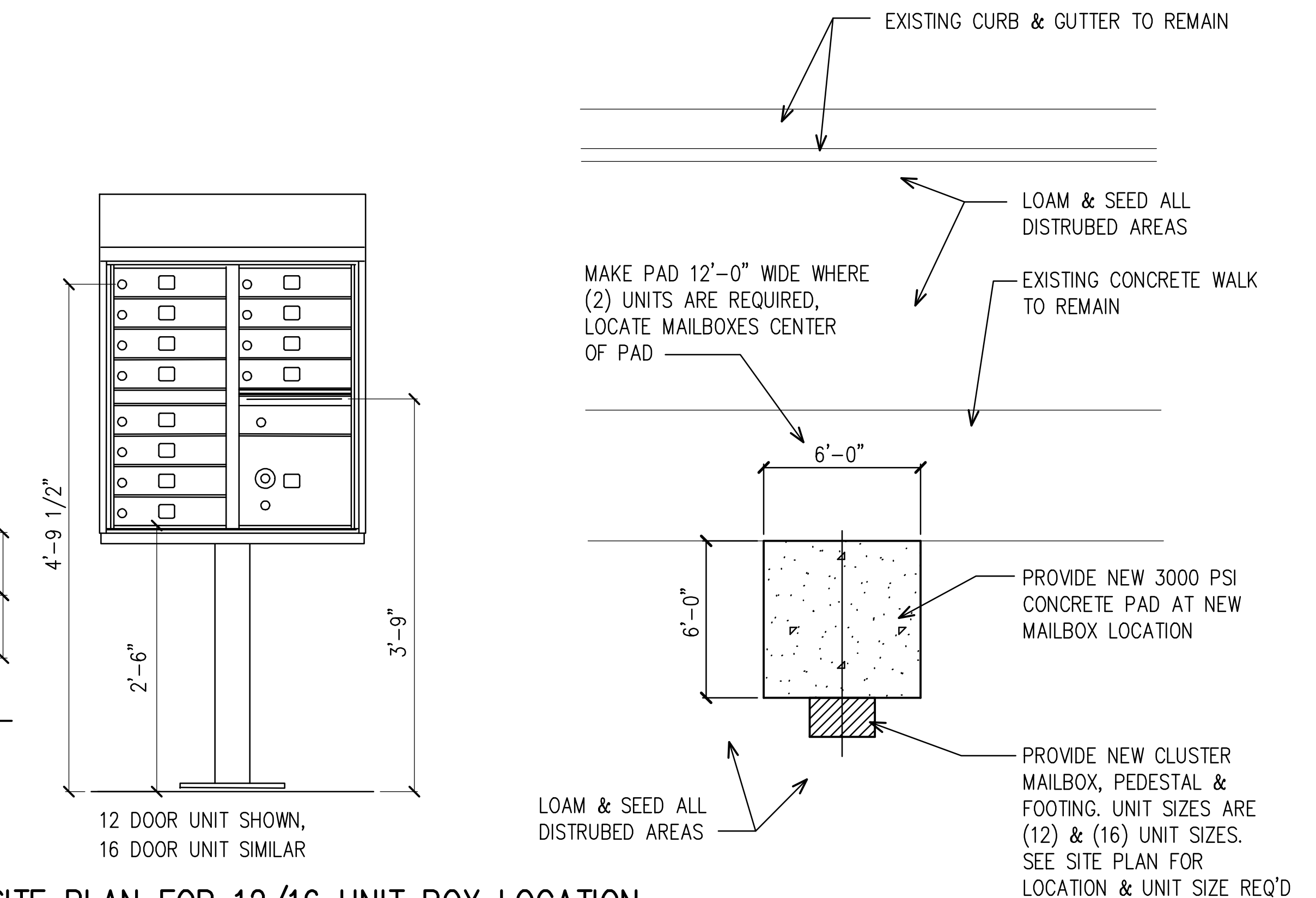
**S2.2.05 ASPHALT PAVING DETAIL**  
NO SCALE



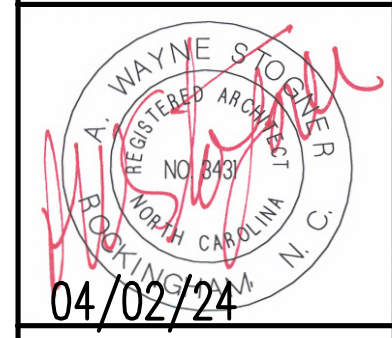
**S2.2.06 H.C. PARKING SIGN DETAIL**  
NO SCALE



**S2.2.07 FOUNDATION DETAILS OF PEDESTAL MOUNTED MAILBOX – SEE SITE PLAN FOR 12/16 UNIT BOX LOCATION**  
NO SCALE



**S2.2.08 MAILBOX FOUNDATION AND INSTALLATION**  
NO SCALE



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NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
GOLDSBORO NORTH CAROLINA

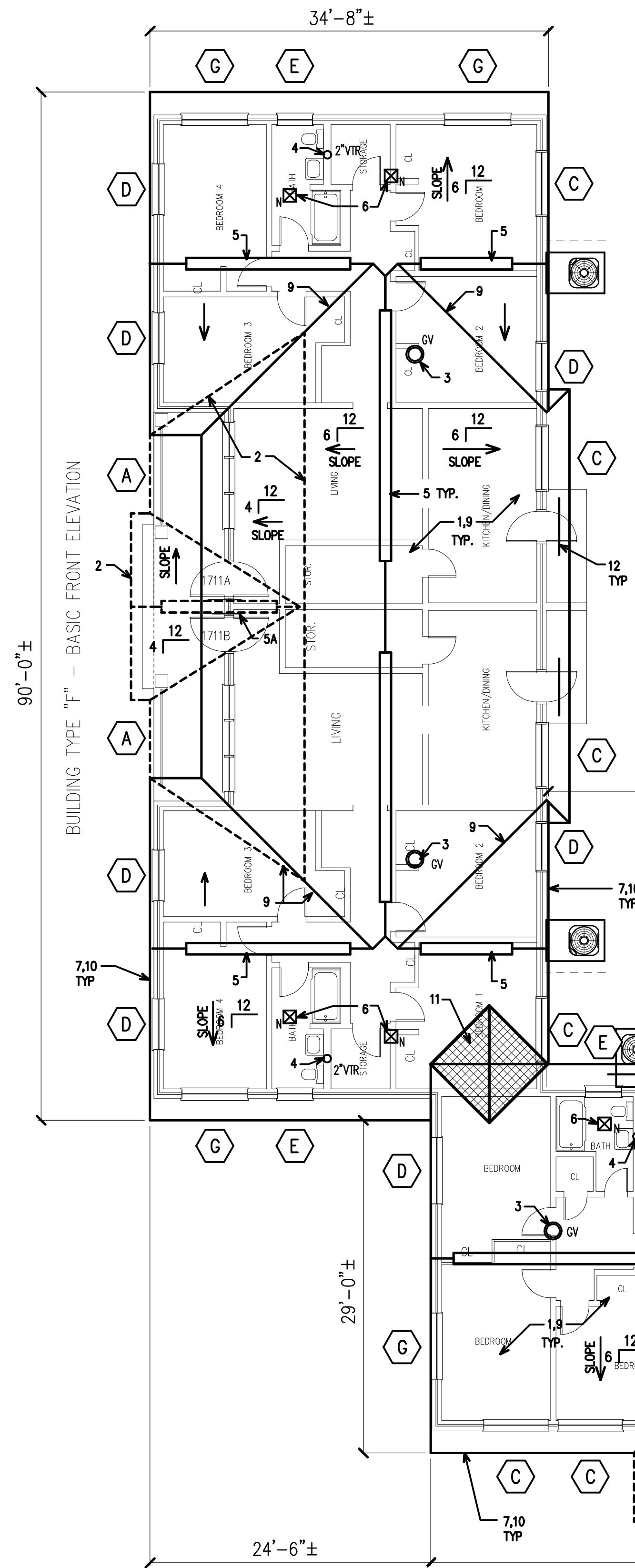
**SITE DETAILS - FAIRVIEW CIRCLE ;**  
NC 15-1 & NC 15-3  
6041-BX .AEC  
COMM. NO. 6041-B  
DRAWN BY WBP  
CHECKED BY AWS  
DATE APRIL 2, 2024

SHEET NO. **S2.2**

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ROOFING LEGEND	
	INDICATES ROOF SLOPE
	INDICATES APPROX. LOCATION OF EXISTING METER BASE TYPICALLY MTD ON GABLE END OF BUILDING
	INDICATES NEW EXHAUST VENT CAP
	INDICATES EXISTING METAL GAS VENT, REMOVE & PATCH ROOF DECK. SEE ROOF PLANS FOR LOCATIONS
	INDICATES PLUMBING VENT (APPROX SIZE), SEE ROOF PLANS FOR LOCATIONS
	INDICATES EXISTING/NEW RIDGE VENT
	INDICATES NEW GUTTER, DOWNSPOUT & SPLASH BLOCK. (X-X) INDICATE LENGTH OF GUTTER
	INDICATES NEW FRAMING, DECK, ROOF SHINGLES

**GENERAL ROOFING NOTES**

A. ALL UNDERLAYMENT MUST BE COMPLETELY REMOVED TO INSPECT DECKING, REPLACE ROTTEN DECKING AS NEEDED, ARCHITECT/OWNER TO VERIFY AS WORK PROCEEDS.

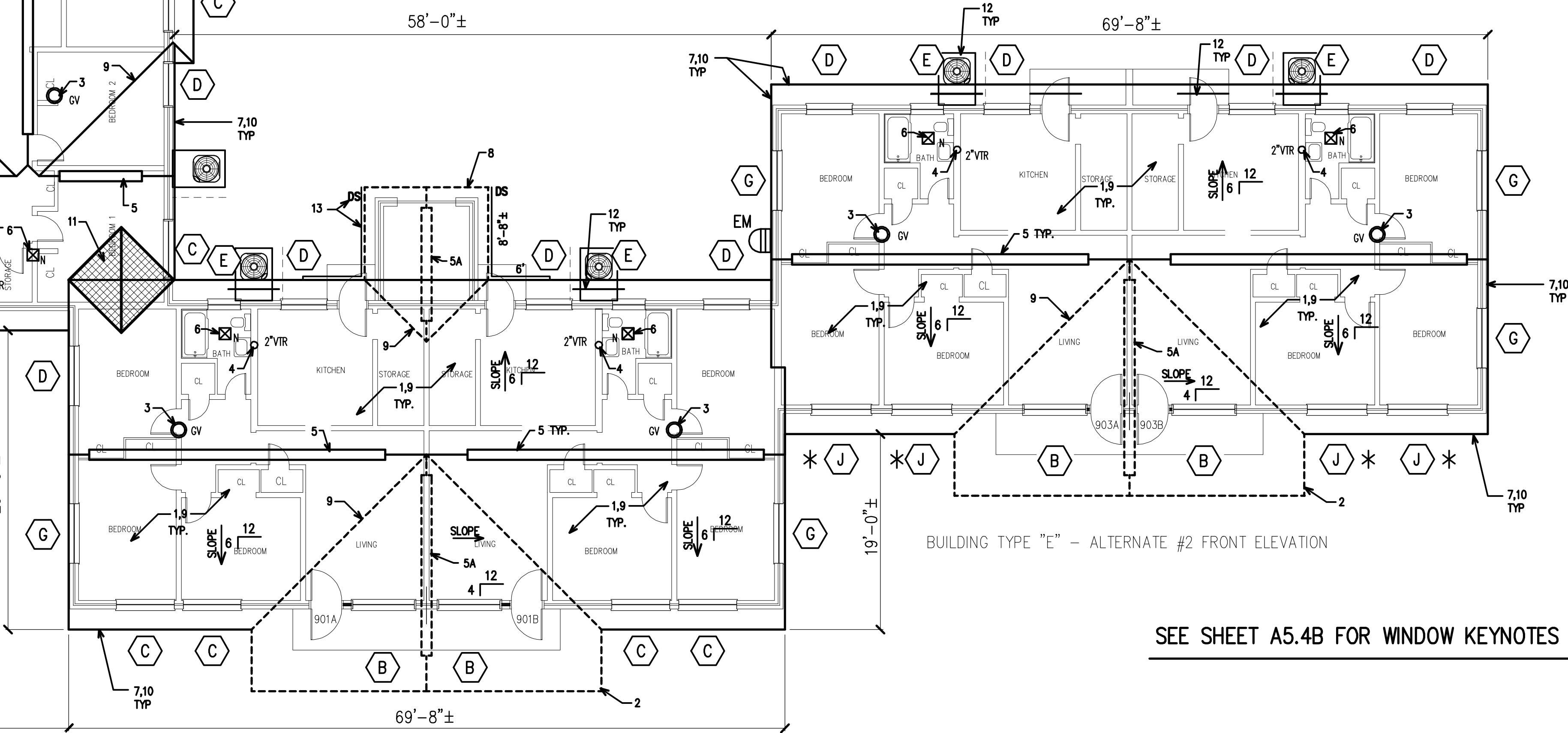
B. DIMENSIONS SHOWN ARE APPROXIMATE, CONTRACTOR SHALL VERIFY EXACT DIMENSIONS.

C. CONTRACTOR SHALL REMOVE ALL ROOF DEBRIS FROM PROJECT SITE & DISPOSE OF LEGALLY.

D. PROVIDE 36" WIDE WATERPROOF UNDERLAYMENT AT EAVE & VALLEY, PROVIDE NEW 18" WIDE WATERPROOF UNDERLAYMENT AT BUILDING OFFSET & RAKE

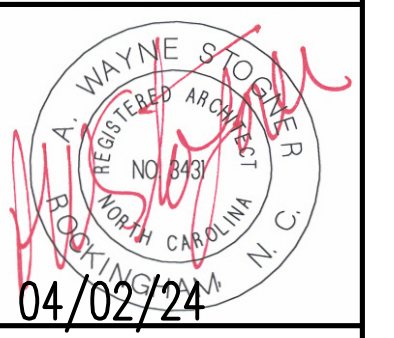
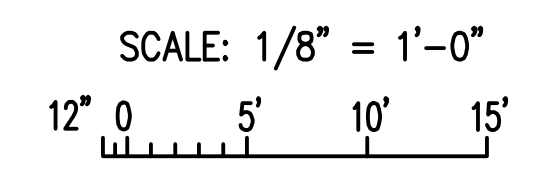
E. CONTRACTOR TO COORDINATE REMOVAL OF SATELLITE DISH/BRKT W/ OWNER.

- ROOF KEYNOTES**
- REMOVE EXISTING SHINGLES & UNDERLAYMENT. INSPECT ROOF DECK, REPLACE ANY ROTTEN DECKING, TYPICALLY 1X6 T&G BD'S. SECURE LOOSE DECKING & PROVIDE NEW PLY. WD. OVERLAY ON EXISTING ROOF DECK. PROVIDE ENTIRE BLDG. W/ NEW UNDERLAYMENT & SHINGLES.
  - PROVIDE NEW PORCH ROOF, PROVIDE NEW FRAMING, DECK & ROOF SHINGLES. SEE ELEVATIONS & DETAILS.
  - EXISTING GAS VENT STACK. REMOVE EXISTING STACK, CAP & FLASHING. PATCH EXISTING ROOF DECK.
  - EXISTING PLUMBING VENT. REMOVE EXISTING VENT PIPE FLASHING. PROVIDE NEW VENT PIPE FLASHING ON NEW PVC VENT PIPE.
  - REMOVE EXISTING RIDGE VENT., PROVIDE NEW POLYETHYLENE RIDGE VENT, TYPICAL. STOP RIDGE CUT 4' FROM SERARATION WALL.
  - CUT RIDGE SLOT 2" WIDE & PROVIDE NEW POLYETHYLENE RIDGE VENT.
  - PROVIDE NEW EXHAUST VENT CAP, CONTRACTOR TO CUT 5"Ø HOLE FOR NEW DUCT BY OTHERS, INSTALL NEW EXHAUST VENT CAP AS NEW UNDERLAYMENT & SHINGLES ARE INSTALLED.
  - REMOVE EXISTING DRIP EDGE, INSPECT ROOF DECK AT PERIMETER OF ROOF. REMOVE & REPLACE ROTTEN WOOD AS OCCURS. PROVIDE NEW PREFINISHED MTL. DRIP EDGE. SEE KEYNOTE #10 FOR WORK AT SOFFIT/ROOF EDGE.
  - REMOVE EXISTING FLAT ROOF AT BOILER ROOM. PROVIDE NEW ROOF FRAMING, DECKING, UNDERLAYMENT & SHINGLES. NOTE: BLDG C/1 EDGERTON ST. HAS SLOPE ROOF AT BOILER ROOM, REMOVE EXISTING, PROVIDE NEW SHINGLES & UNDERYMENT.
  - PROVIDE NEW FILM SURFACED WATERPROOF UNDERLAYMENT. PROVIDE 18" WIDE AT RAKE & 36" WIDE AT EAVE & VALLEY.
  - REMOVE EXISTING PLY. WD./VINYL SOFFIT, REMOVE EXISTING FRIEZE BD. W/ MTL. WRAP. PROVIDE NEW 2X6 WD. FASCIA BD. CONT. W/ 2X6 PERP. AT 16" O.C., PROVIDE PREFINISHED MTL. WRAP ON WD. FASCIA. PROVIDE NEW PERFORATED HARDI SOFFIT COVERED W/ NEW PERFORATED VINYL SOFFIT & VINYL TRIM. EXISTING ROOF DECK TO BE TRIMMED BACK FLUSH TO NEW 2X6 FASCIA BD.
  - PROVIDE NEW ROOF CRICKET AS SHOWN. SEE BLDG'S #1 & #15.
  - REMOVE EXISTING RAIN DIVERTERS AT ROOF DECK ABOVE ENTRY DOORS. PROVIDE NEW RAIN DIVERTERS AT ROOF ABOVE ENTRY DOORS & MECHANICAL UNITS.
  - AT BUILDINGS WITH BOILER ROOM AT BACK OF BLDG., PROVIDE 4" ALUMINUM GUTTER, DOWNSPOUT & CONCRETE SPLASH BLOCK.



SEE SHEET A5.4B FOR WINDOW KEYNOTES & LEGEND

**A1.0.01 BUILDING GROUP #1, KEY PLAN ; NC 15-1**  
 SCALE 1/8" = 1'-0" FAIRVIEW CIRCLE

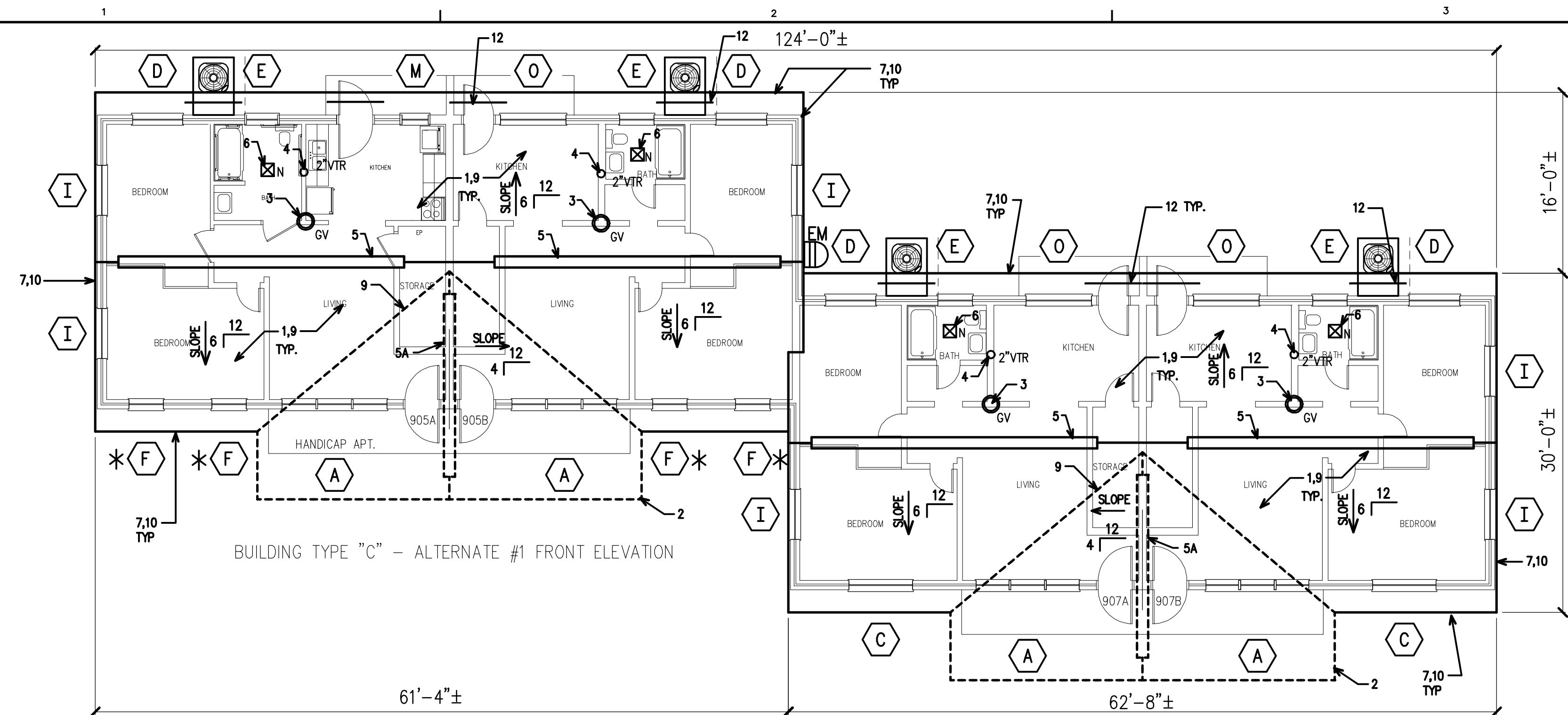


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 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
 GOLDSBORO NORTH CAROLINA

BLDG. GROUP #1, KEY PLAN - ROOF PLAN, WINDOW LOCATIONS ; NC 15-1
6041-B, A10.AEC
COMM. NO. 6041-B
DRAWN BY WBP
CHECKED BY AWS
DATE APRIL 2, 2024
SHEET NO. A1.0

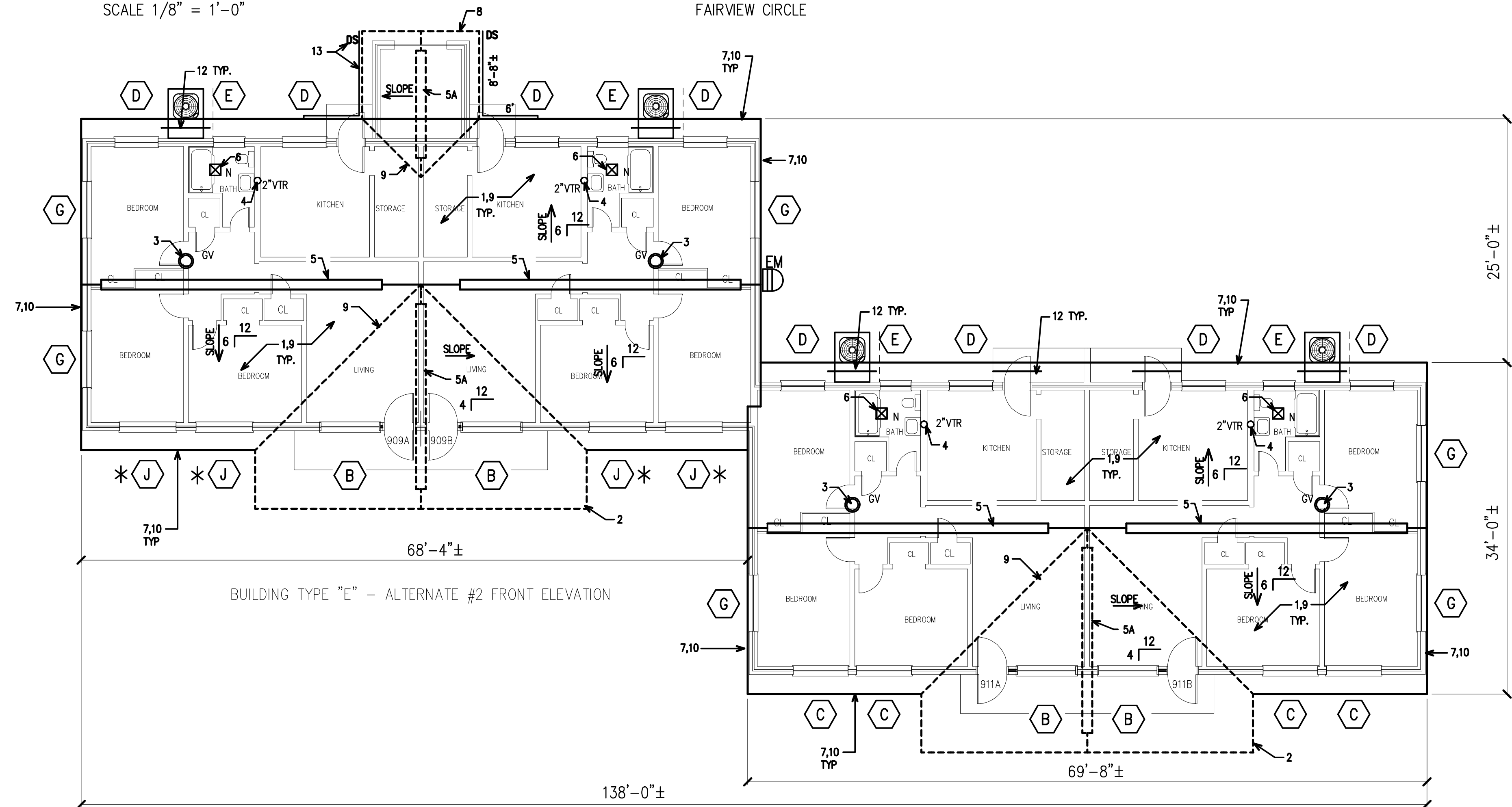




**A1.1.01 BUILDING GROUP #2, KEY PLAN ; NC 15-1** BUILDING TYPE "C" - BASIC FRONT ELEVATION

SCALE 1/8" = 1'-0"

FAIRVIEW CIRCLE



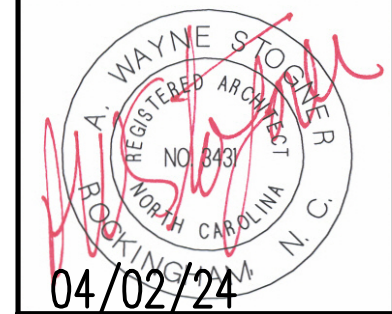
**A1.1.02 BUILDING GROUP #3, KEY PLAN ; NC 15-1** BUILDING TYPE "E" - ALTERNATE #1 FRONT ELEVATION

SCALE 1/8" = 1'-0"

FAIRVIEW CIRCLE

**ROOF KEYNOTES**

SEE SHEET A1.0 FOR ROOF KEYNOTES & LEGEND



04/02/24

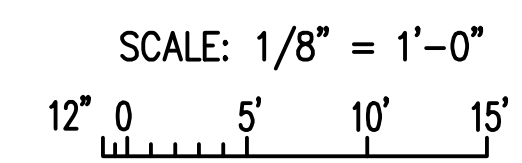
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 RENOVATIONS - FAIRVIEW APARTMENTS  
 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
 GOLDSBORO NORTH CAROLINA

BLDG. GROUP #2 & #3,  
 KEY PLAN -  
 ROOF PLAN, WINDOW  
 LOCATIONS ;  
 NC 15-1

6041-B, A1.1, AEC  
 COMM. NO. 6041-B  
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**A1.1**

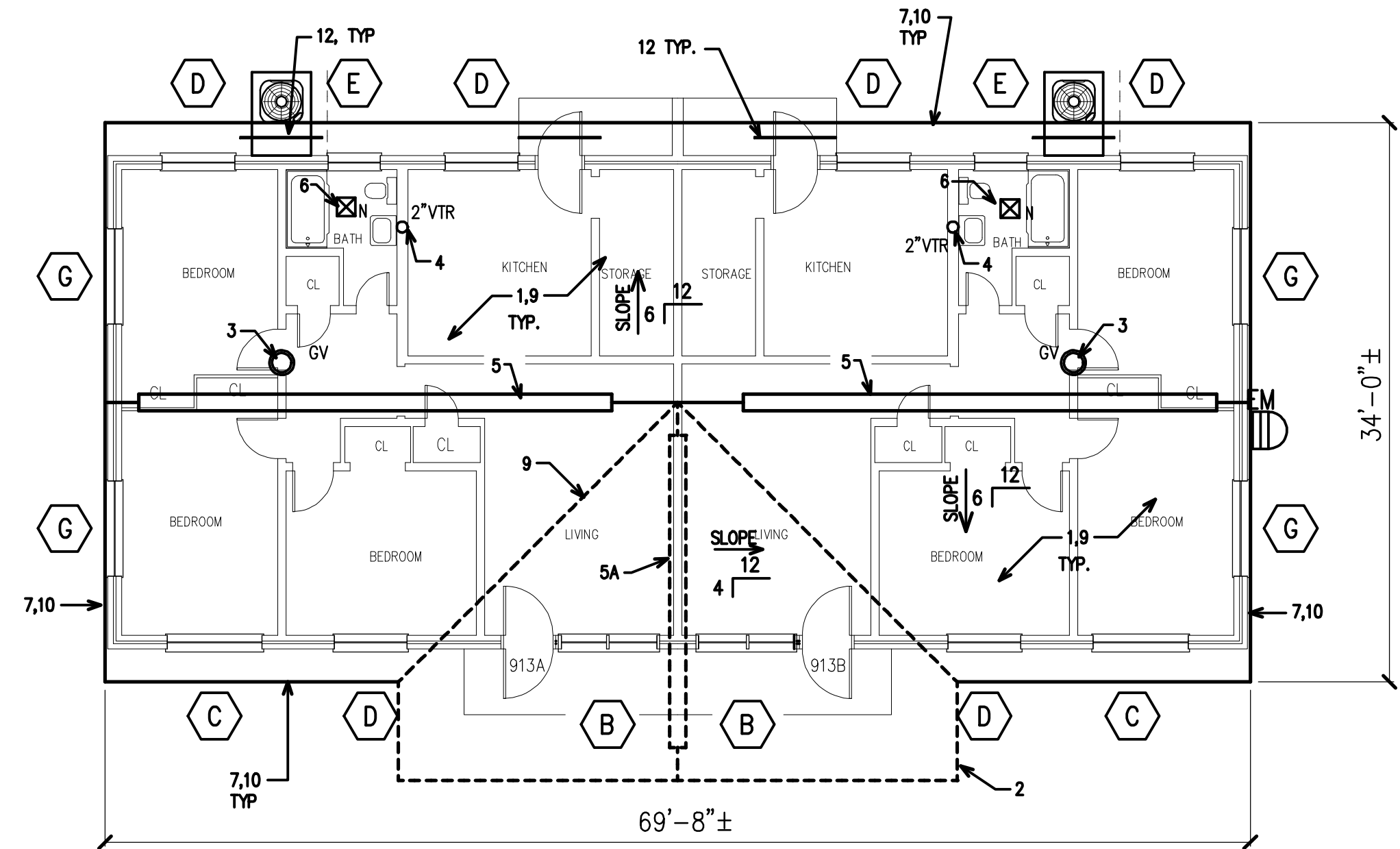


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ROOF KEYNOTES  
SEE SHEET A1.0 FOR ROOF KEYNOTES & LEGEND

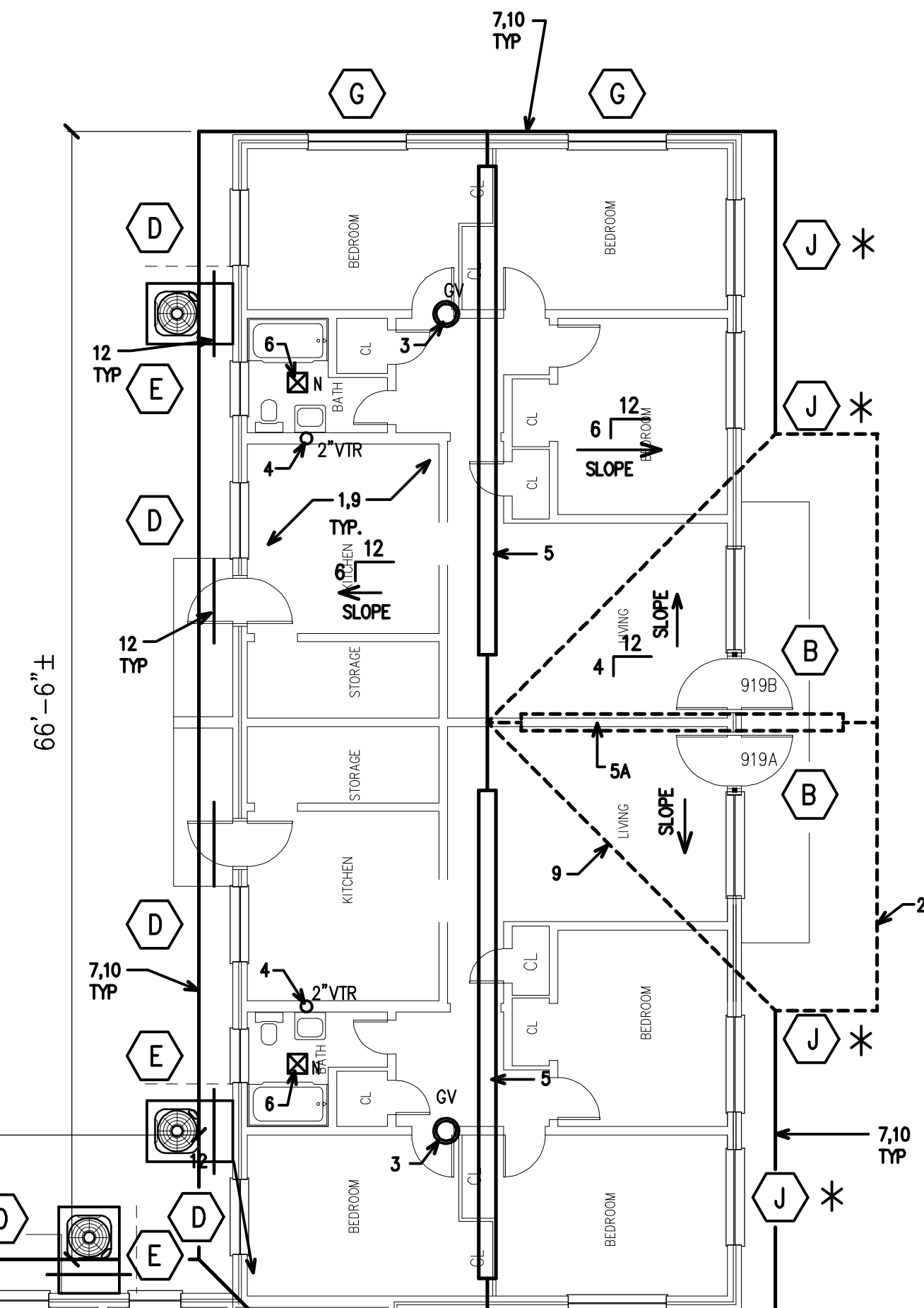


BUILDING TYPE "E" - BASIC FRONT ELEVATION

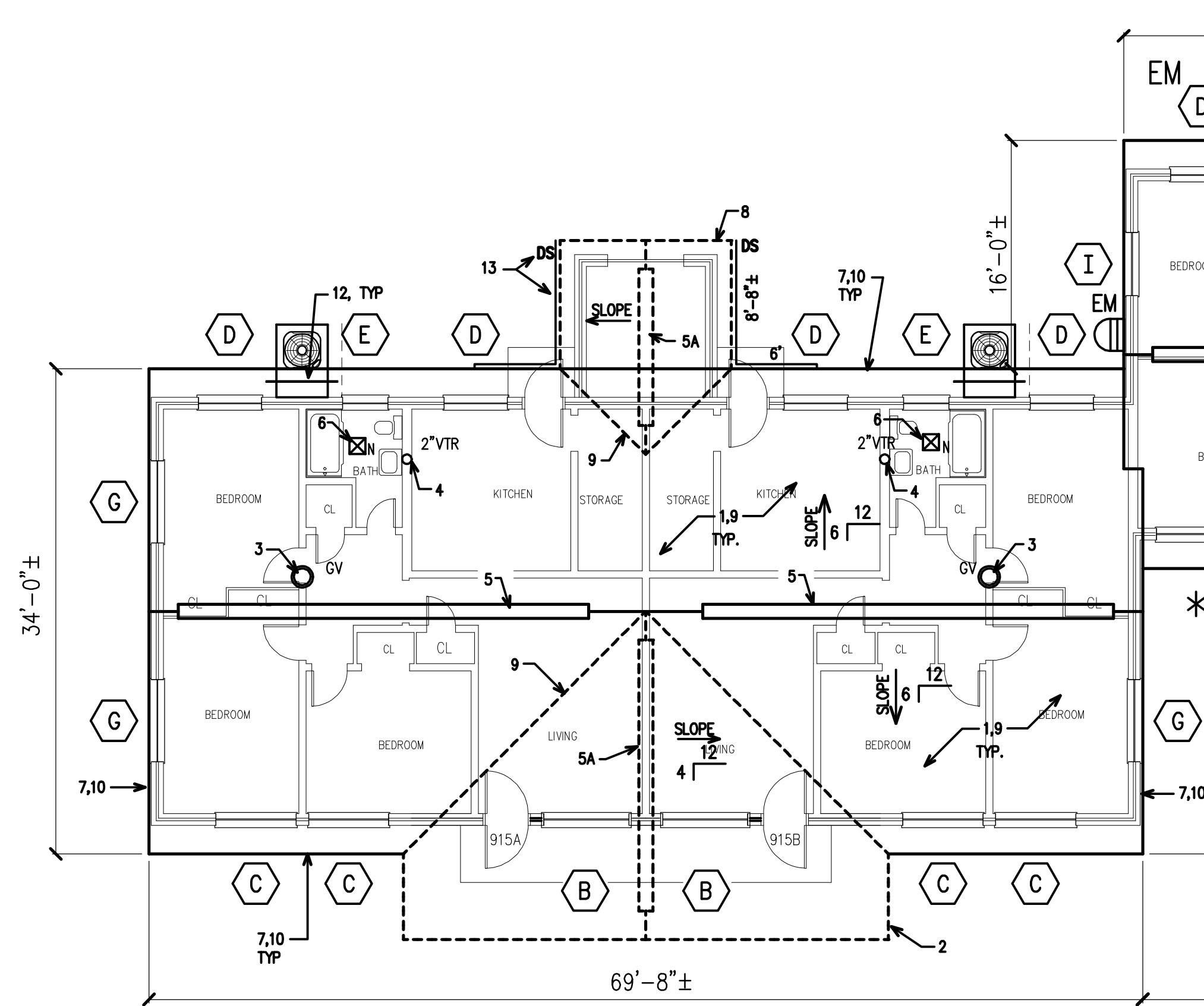
**A1.2.01 BUILDING GROUP #4, KEY PLAN ; NC 15-1**

SCALE 1/8" = 1'-0"

FAIRVIEW CIRCLE



BUILDING TYPE "E" - ALTERNATE #2 FRONT ELEVATION

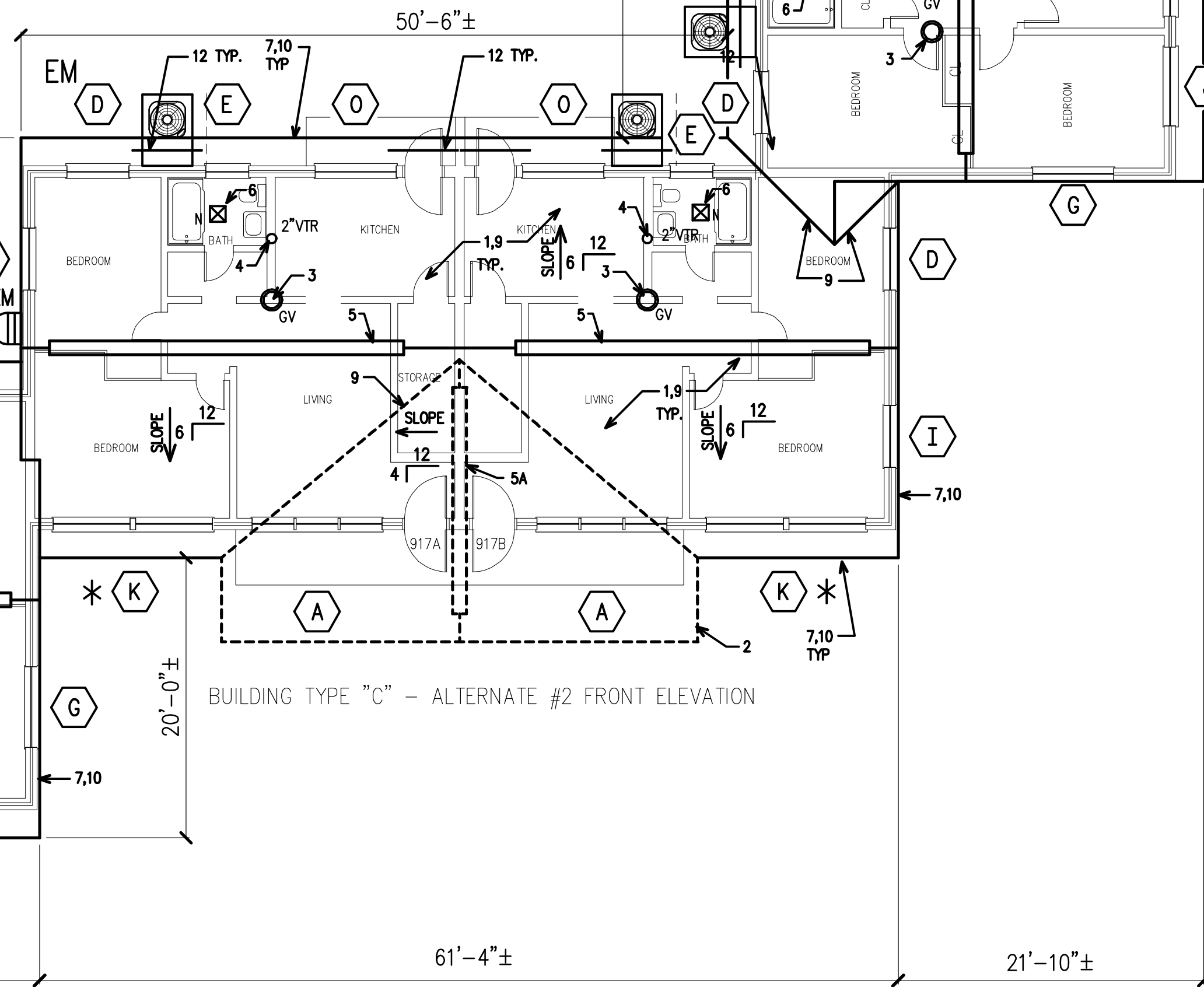


BUILDING TYPE "E" - ALTERNATE #1 FRONT ELEVATION

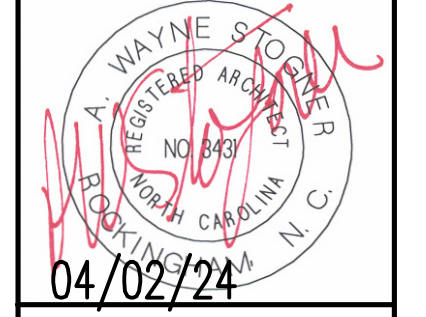
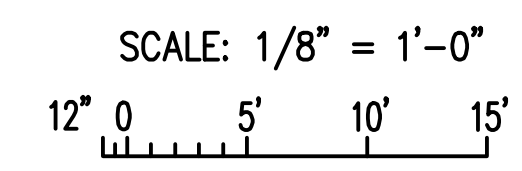
**A1.2.02 BUILDING GROUP #5, KEY PLAN ; NC 15-1**

SCALE 1/8" = 1'-0"

FAIRVIEW CIRCLE



BUILDING TYPE "C" - ALTERNATE #2 FRONT ELEVATION



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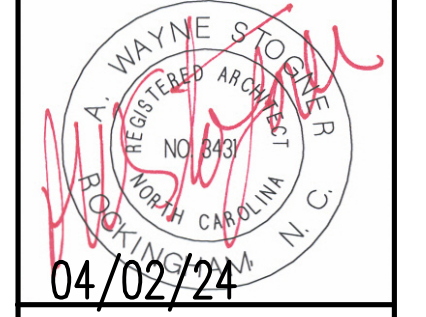
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NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
GOLDSBORO NORTH CAROLINA

BLDG. GROUP #4 & #5, KEY PLAN - ROOF PLAN, WINDOW LOCATIONS ; NC 15-1
6041-B, A1.2.AEC
COMM. NO. 6041-B
DRAWN BY WBP
CHECKED BY AWS
DATE APRIL 2, 2024
SHEET NO. A1.2



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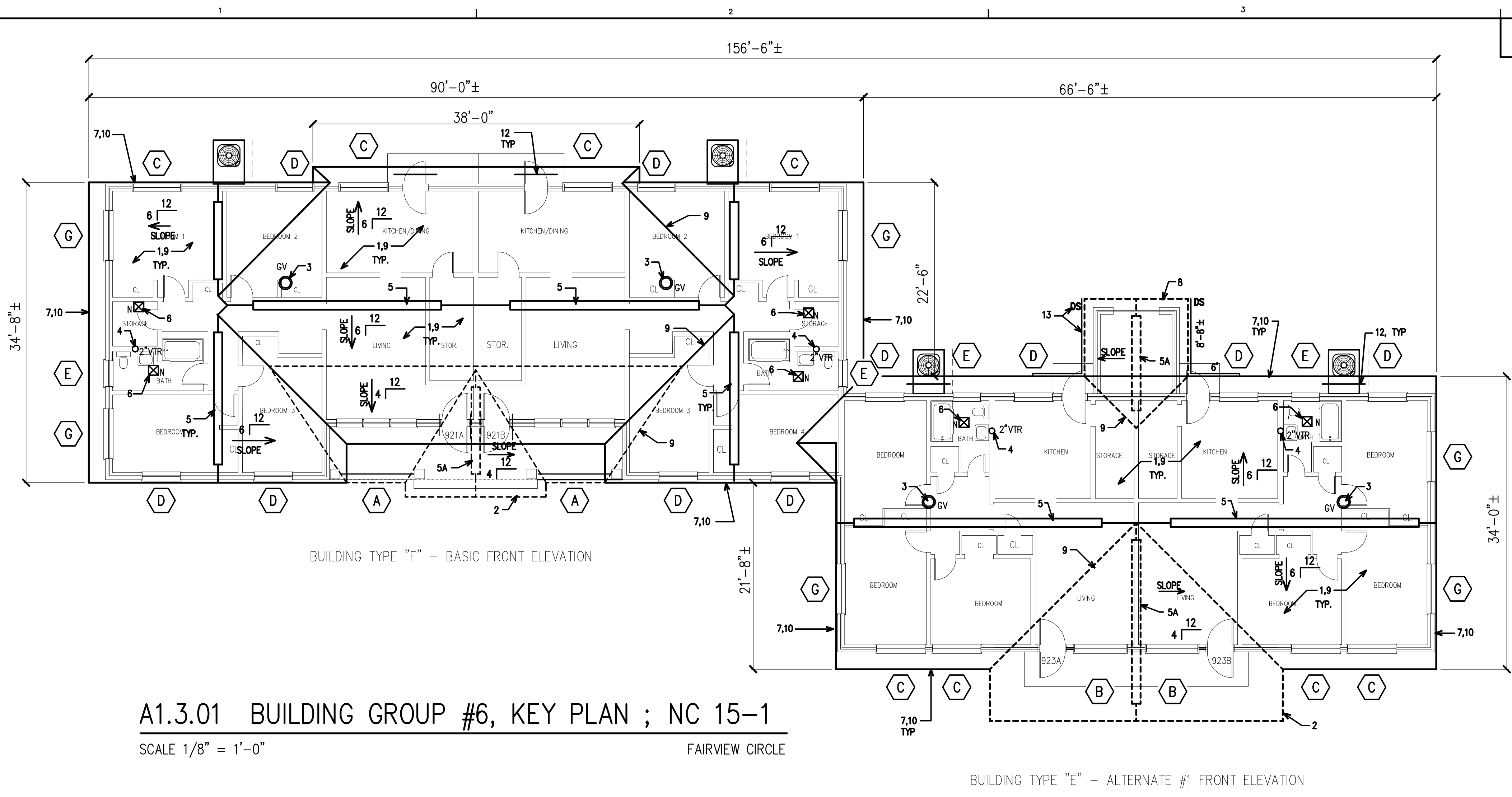
ROOF KEYNOTES  
SEE SHEET A1.0 FOR ROOF KEYNOTES & LEGEND



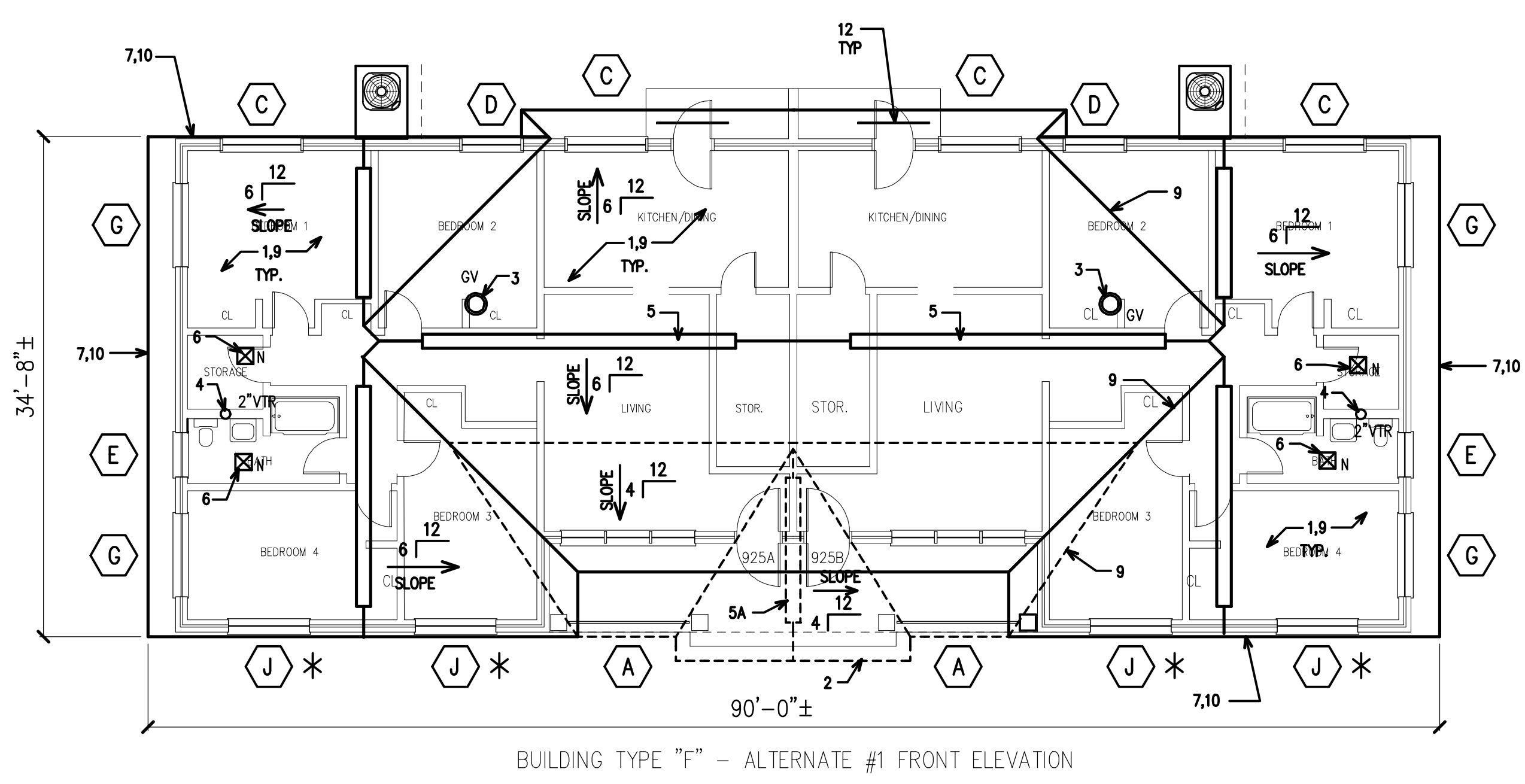
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NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
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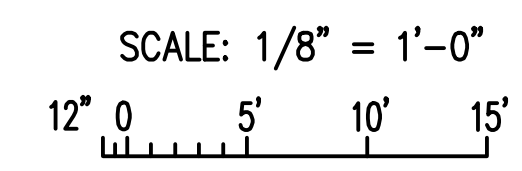
BLDG. GROUP #6 & #7,  
KEY PLAN -  
ROOF PLAN, WINDOW  
LOCATIONS ;  
NC 15-1  
6041-B, A1.3.AEC  
COMM. NO. 6041-B  
DRAWN BY WBP  
CHECKED BY AWS  
DATE APRIL 2, 2024  
SHEET NO.  
**A1.3**



**A1.3.01 BUILDING GROUP #6, KEY PLAN ; NC 15-1**  
SCALE 1/8" = 1'-0" FAIRVIEW CIRCLE

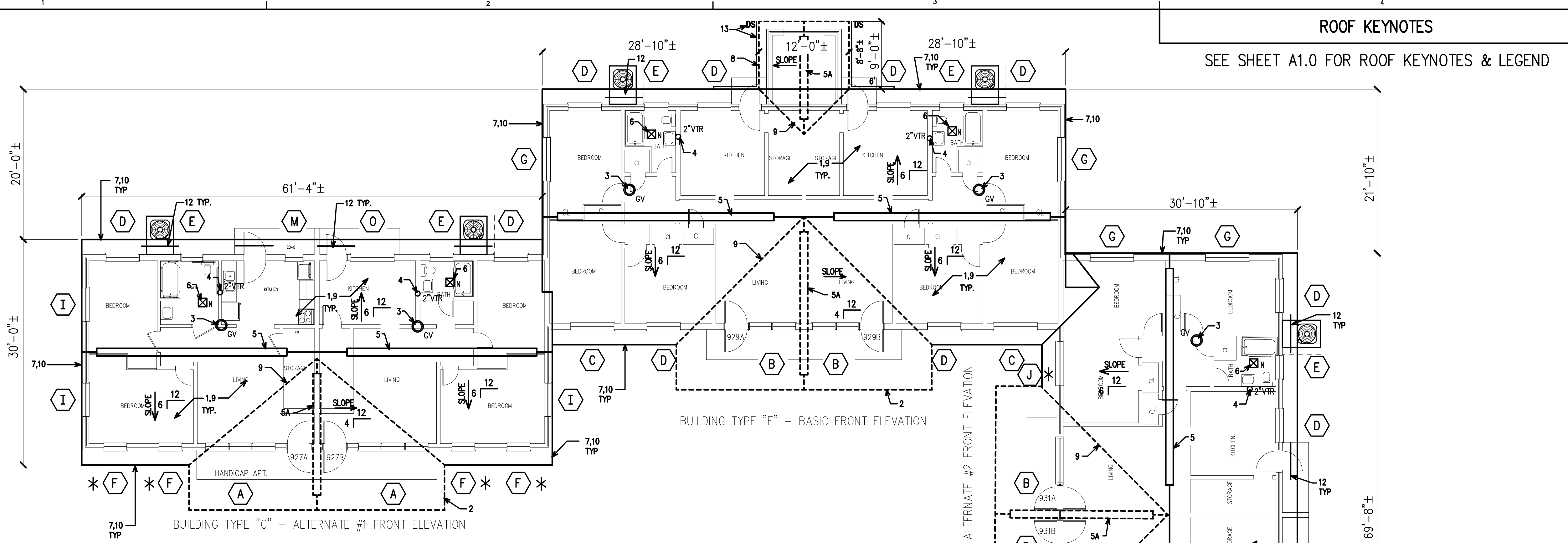


**A1.3.02 BUILDING GROUP #7, KEY PLAN ; NC 15-1**  
SCALE 1/8" = 1'-0" FAIRVIEW CIRCLE





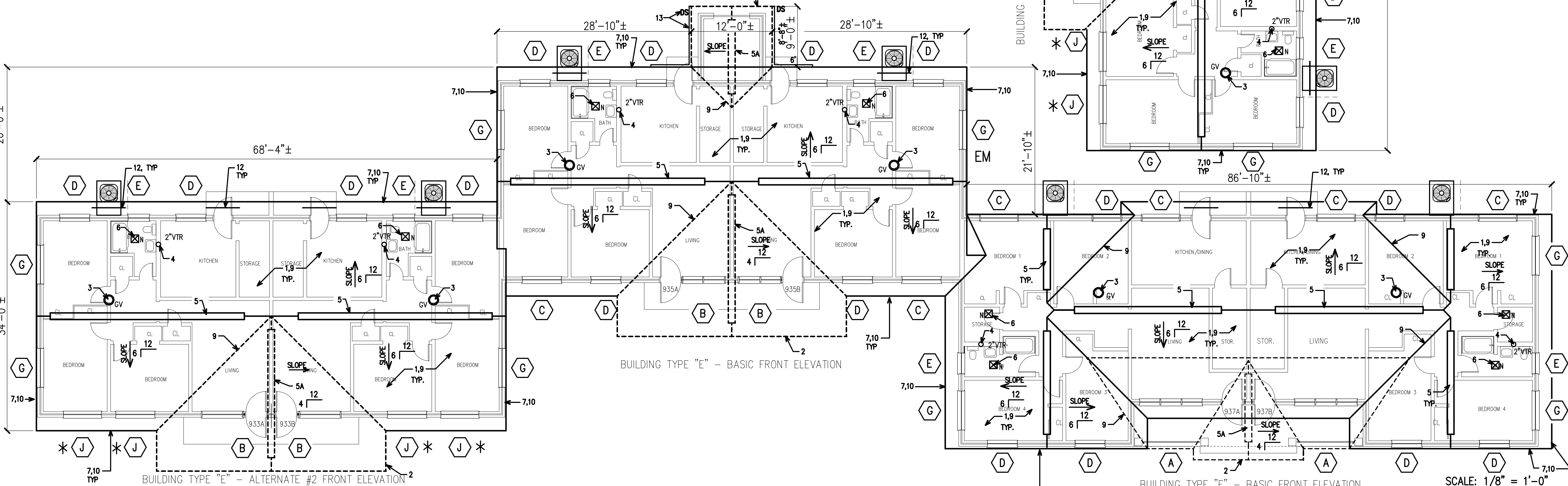
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A1.4.01 BUILDING GROUP #8, KEY PLAN ; NC 15-1

SCALE 1/8" = 1'-0"

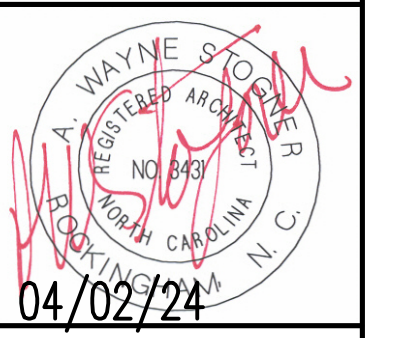
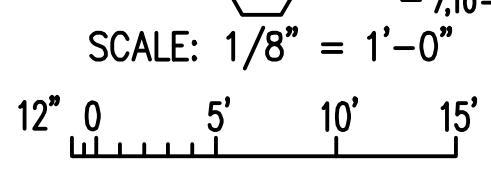
FAIRVIEW CIRCLE



A1.4.02 BUILDING GROUP #9, KEY PLAN ; NC 15-1

SCALE 1/8" = 1'-0"

FAIRVIEW CIRCLE



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BLDG. GROUP #8 & #9,  
 KEY PLAN -  
 ROOF PLAN, WINDOW  
 LOCATIONS ;  
 NC 15-1

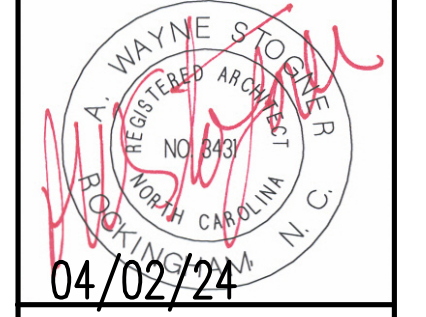
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 COMM. NO. 6041-B  
 DRAWN BY WBP  
 CHECKED BY AWS  
 DATE APRIL 2, 2024

SHEET NO. A1.4



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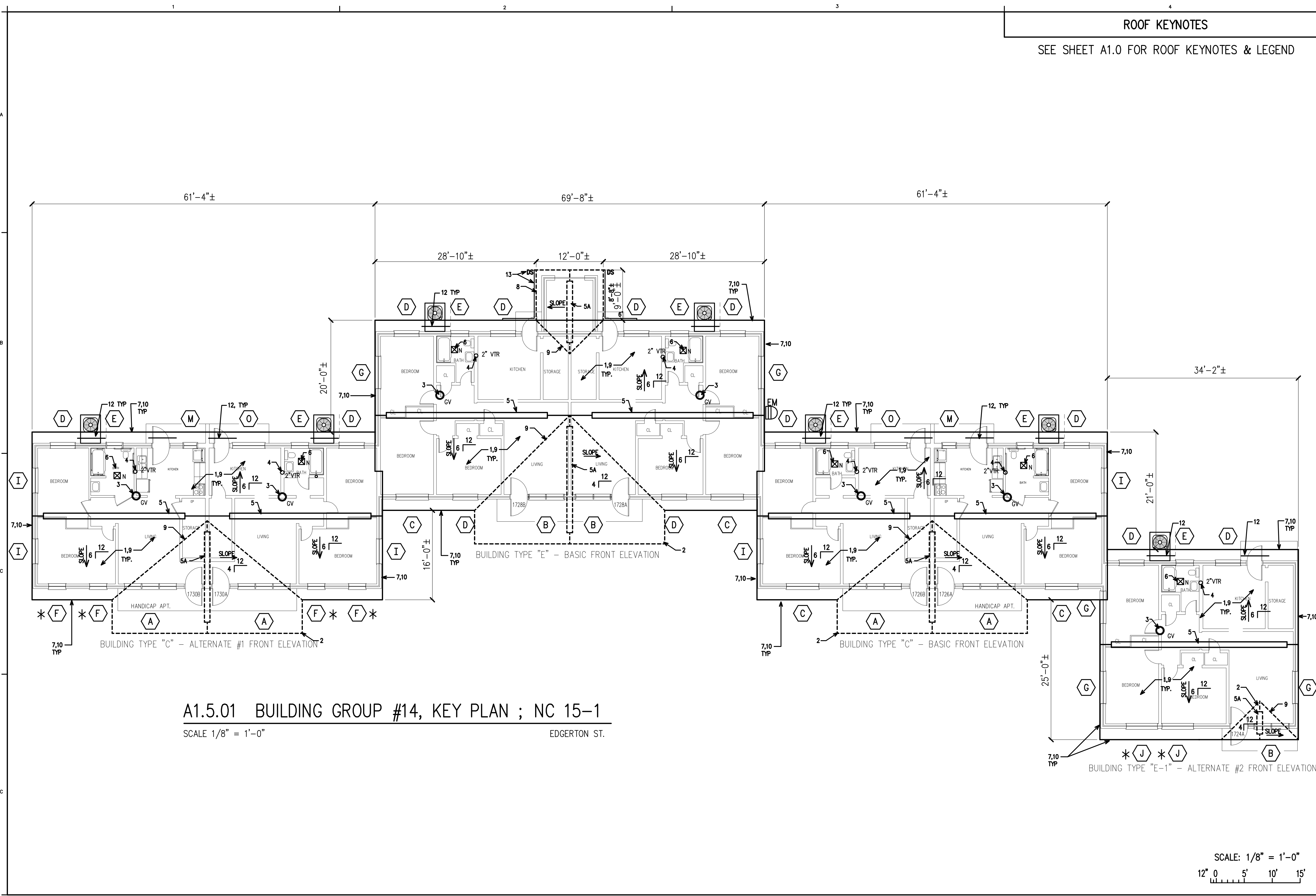
ROOF KEYNOTES  
SEE SHEET A1.0 FOR ROOF KEYNOTES & LEGEND



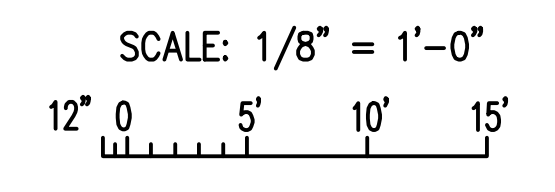
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NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
GOLDSBORO NORTH CAROLINA

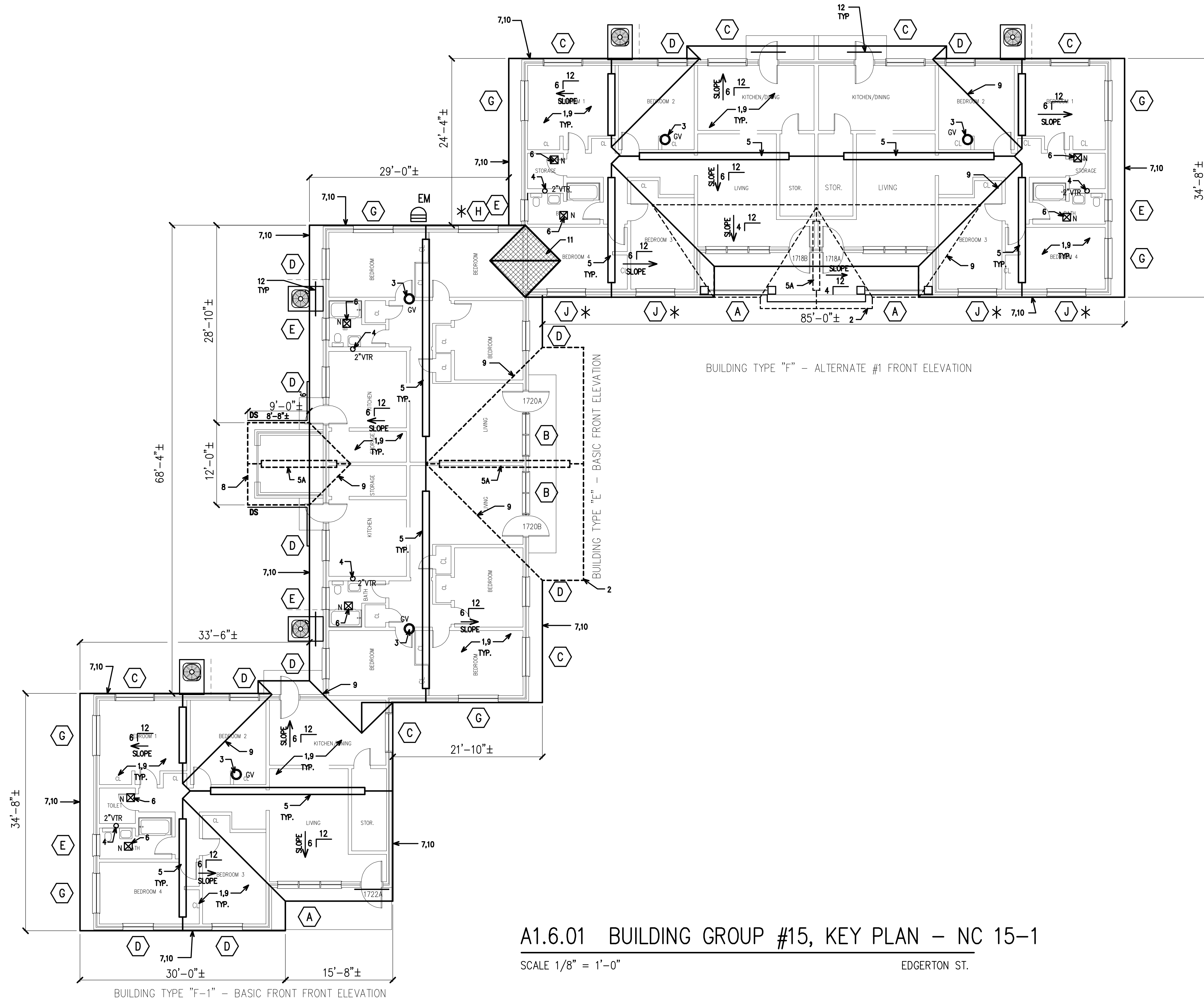
BLDG. GROUP #14,  
KEY PLAN -  
ROOF PLAN, WINDOW  
LOCATIONS ;  
NC 15-1  
6041-B, A1.5.AEC  
COMM. NO. 6041-B  
DRAWN BY WBP  
CHECKED BY AWS  
DATE APRIL 2, 2024  
SHEET NO.  
**A1.5**



**A1.5.01 BUILDING GROUP #14, KEY PLAN ; NC 15-1**  
SCALE 1/8" = 1'-0" EDGERTON ST.







ROOF KEYNOTES  
SEE SHEET A1.0 FOR ROOF KEYNOTES & LEGEND

BUILDING TYPE "F" - ALTERNATE #1 FRONT ELEVATION

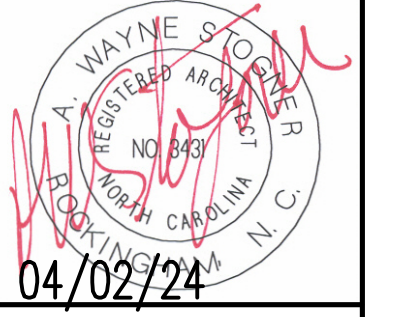
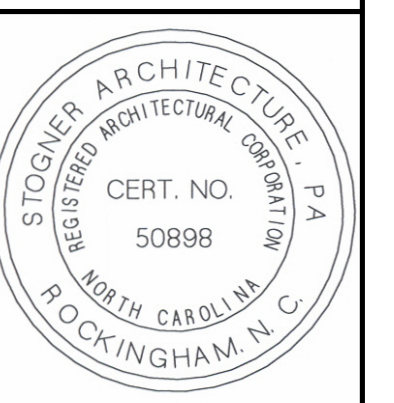
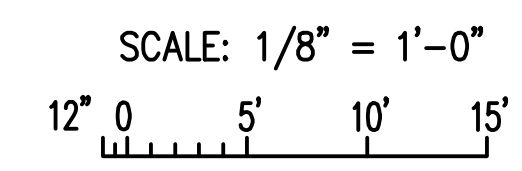
BUILDING TYPE "E" - BASIC FRONT ELEVATION

BUILDING TYPE "F-1" - BASIC FRONT FRONT ELEVATION

A1.6.01 BUILDING GROUP #15, KEY PLAN - NC 15-1

SCALE 1/8" = 1'-0"

EDGERTON ST.



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BLDG. GROUP #15, KEY PLAN - ROOF PLAN, WINDOW LOCATIONS ;

NC 15-1
6041-B, A1.6, AEC
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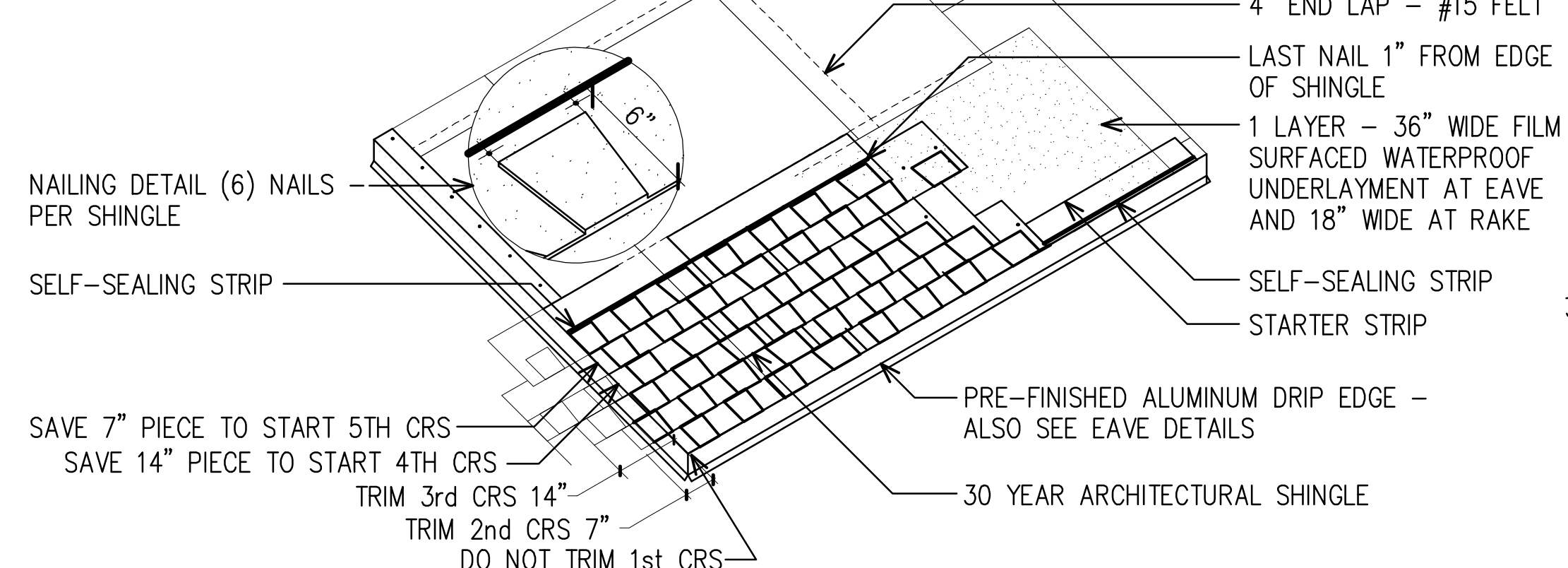
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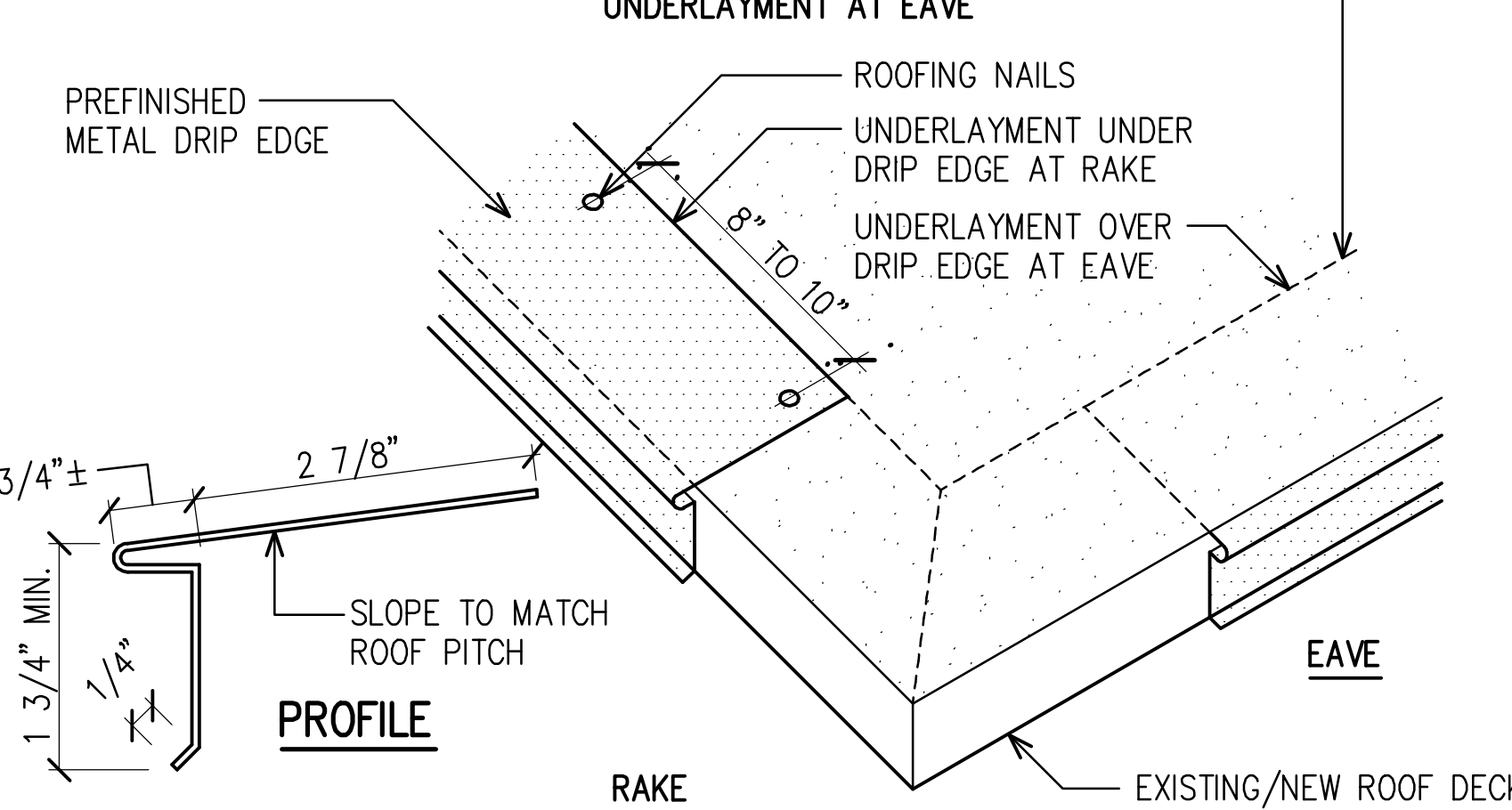
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NOTE: HIGH WIND AREA: CODE REQUIRES (6) NAILS PER SHINGLE. UNDERLAYMENT APPLIED IN HIGH WIND AREAS SHALL BE INSTALLED WITH CORROSION RESISTANT FASTENERS IN ACCORDANCE WITH MFG'S INSTRUCTIONS. FASTENERS ARE TO BE APPLIED ALONG THE OVERLAP AT A MAX. SPACING OF 36" O.C.



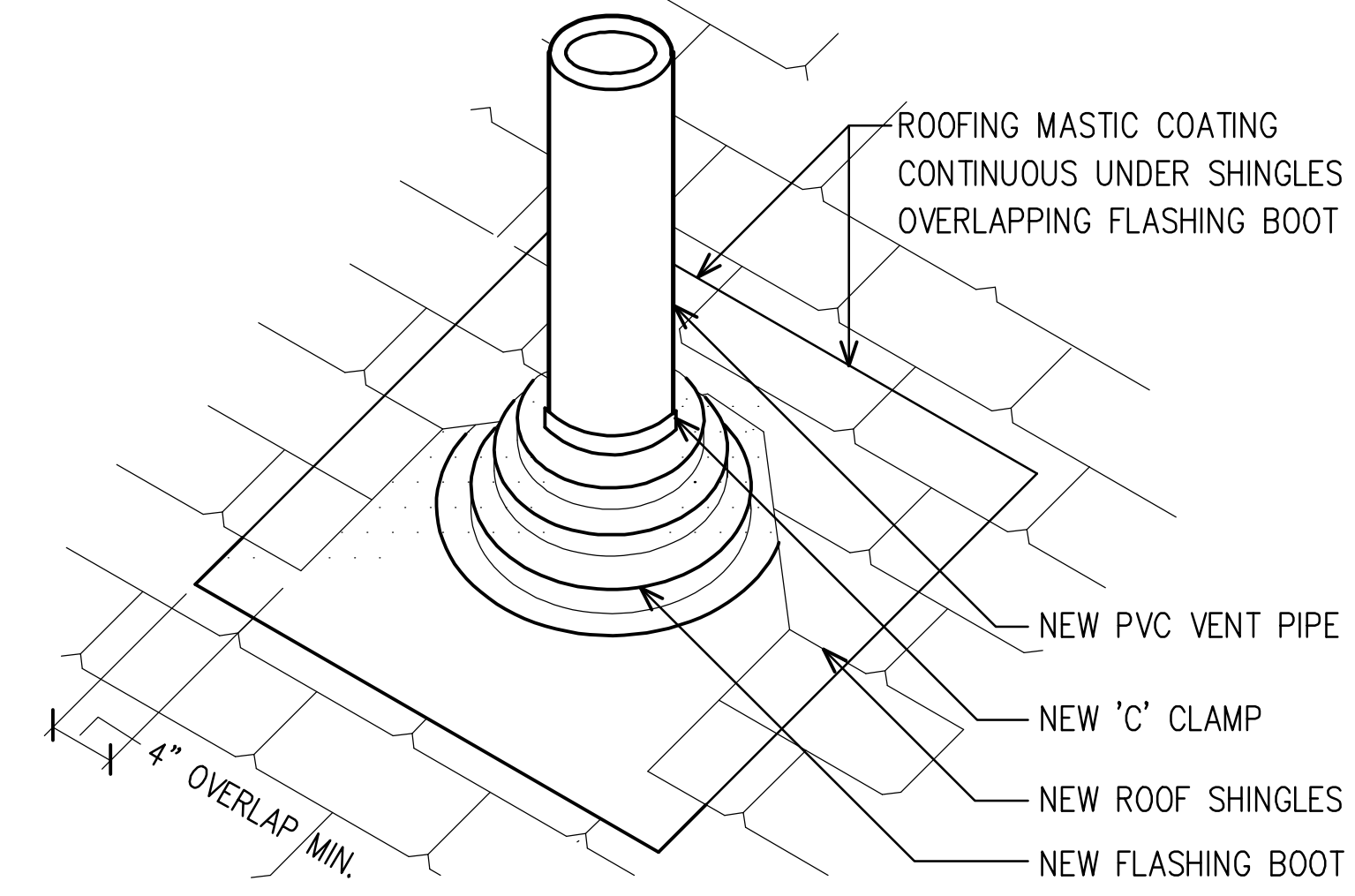
**A1.7.01 TYPICAL ARCHITECTURAL SHINGLED ROOF DETAIL**  
NO SCALE

EXISTING ROOF DECK TO REMAIN UNLESS ROTTEN OR DAMAGED, THEN REPLACE WITH NEW DDECK - THEN REPLACE WITH NEW DECK - THICKNESS TO MATCH EXISTING - TYP. EXISTING DECK IS 1x6 T&G BD'S. (PROVIDE 4' X 4' SHEET MIN. IF PLYWD. USED)

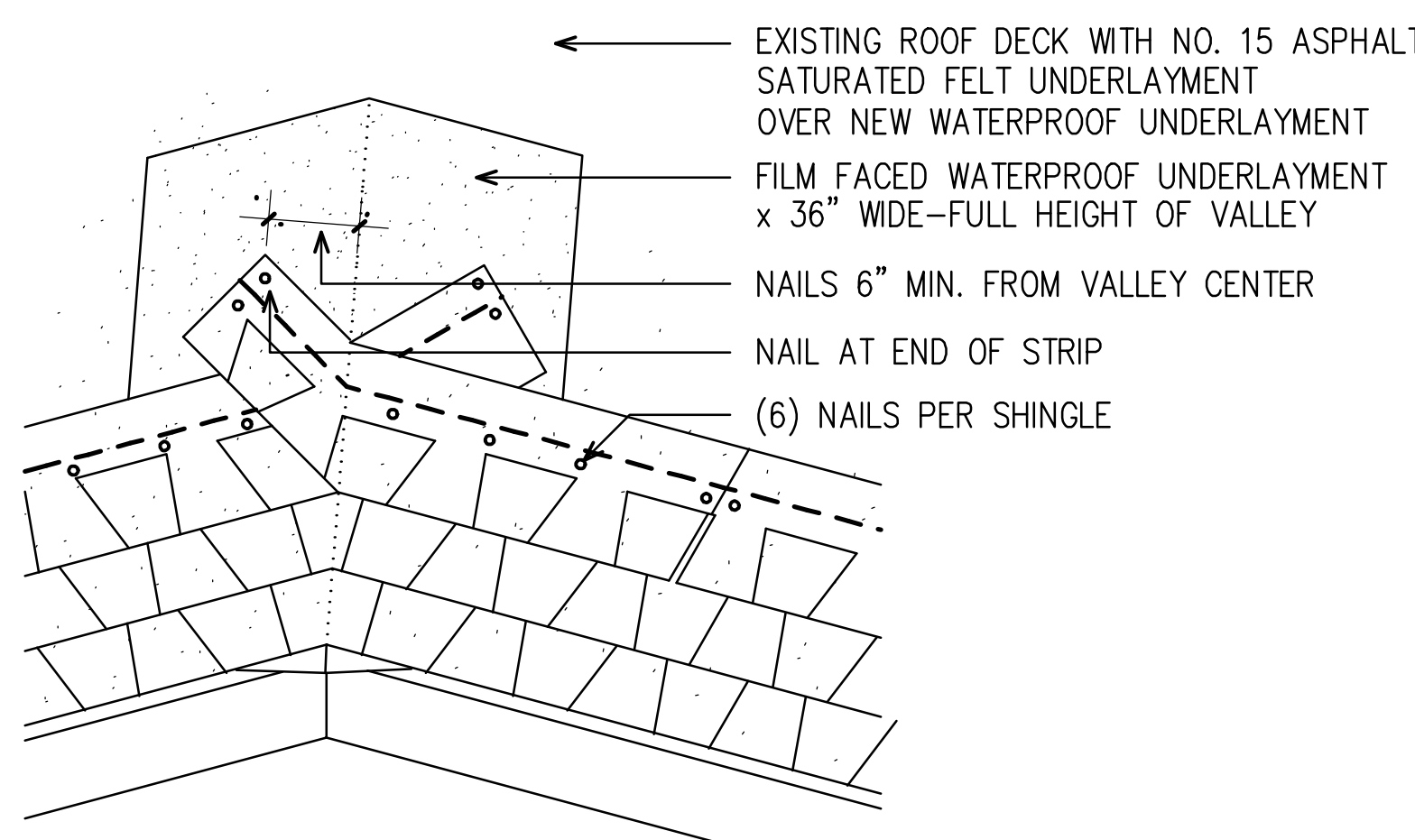


**A1.7.02 APPLICATION OF METAL DRIP EDGE**  
NO SCALE

NOTE: WHERE UNDERLAYMENT DOES NOT LAP OVER DRIP EDGE A MINIMUM OF 2", THE CONTRACTOR WILL BE REQUIRED TO REMOVE SHINGLES AS NECESSARY TO PROPERLY INSTALL THE UNDERLAYMENT AT EAVE

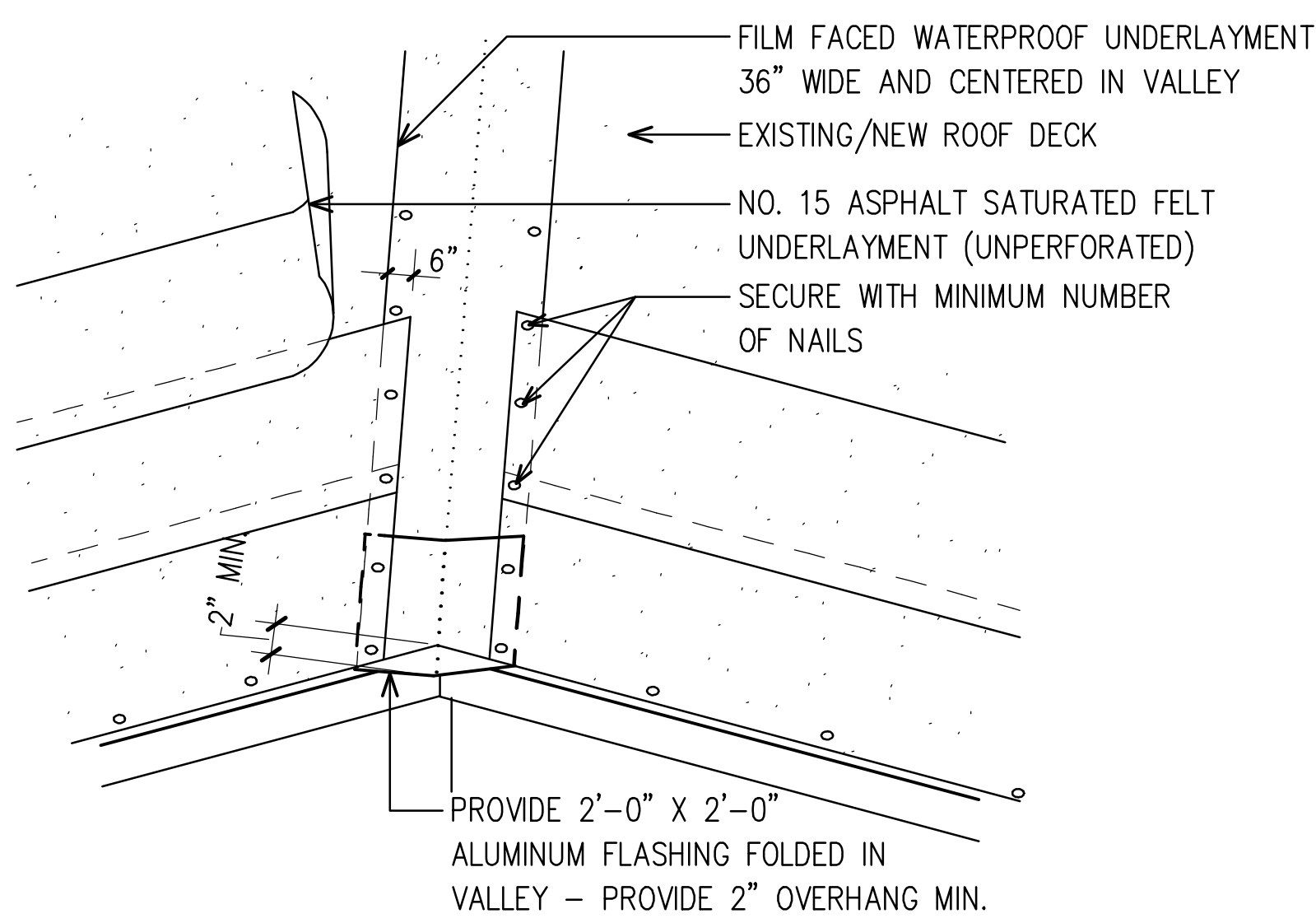


**A1.7.03 PVC VENT PIPE FLASHING DETAIL**  
NO SCALE

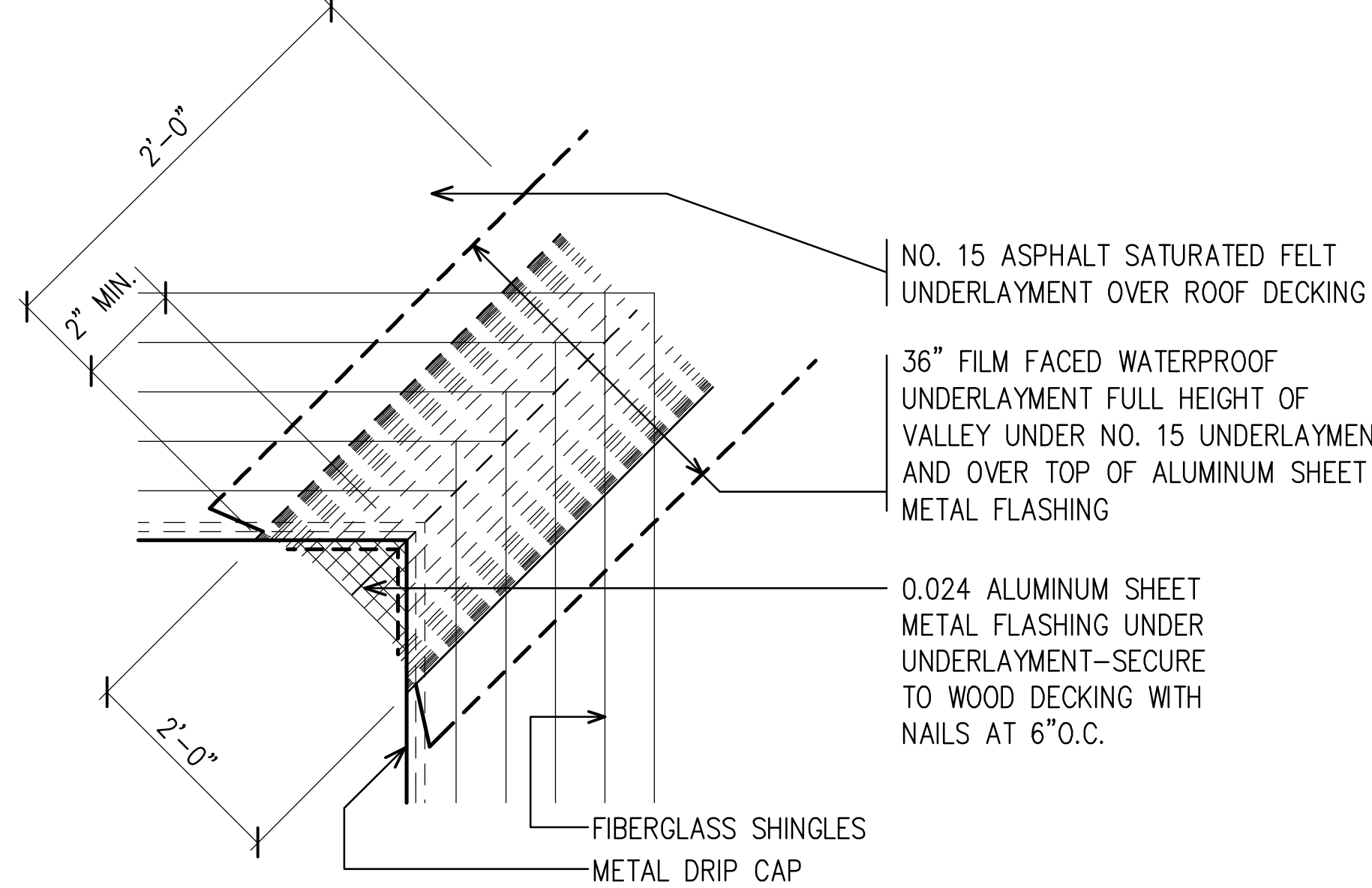


NOTE: FOR DETAILS OF ROLL ROOFING MATERIAL AND UNDERLAYMENT UNDER SHINGLES SEE - UNDERLAYMENT IN VALLEY DETAIL

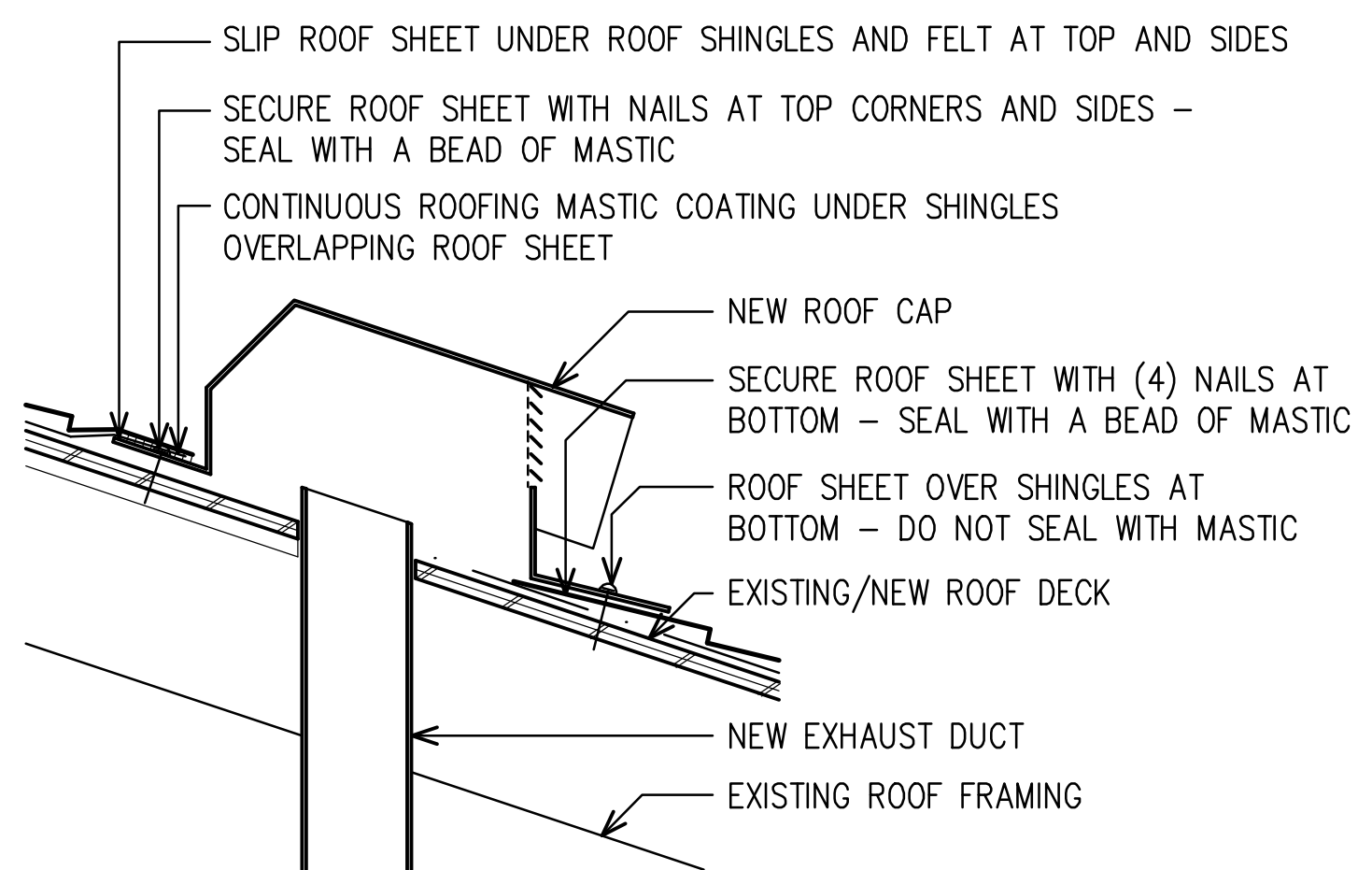
**A1.7.04 SHINGLE WOVEN VALLEY DETAIL**  
NO SCALE



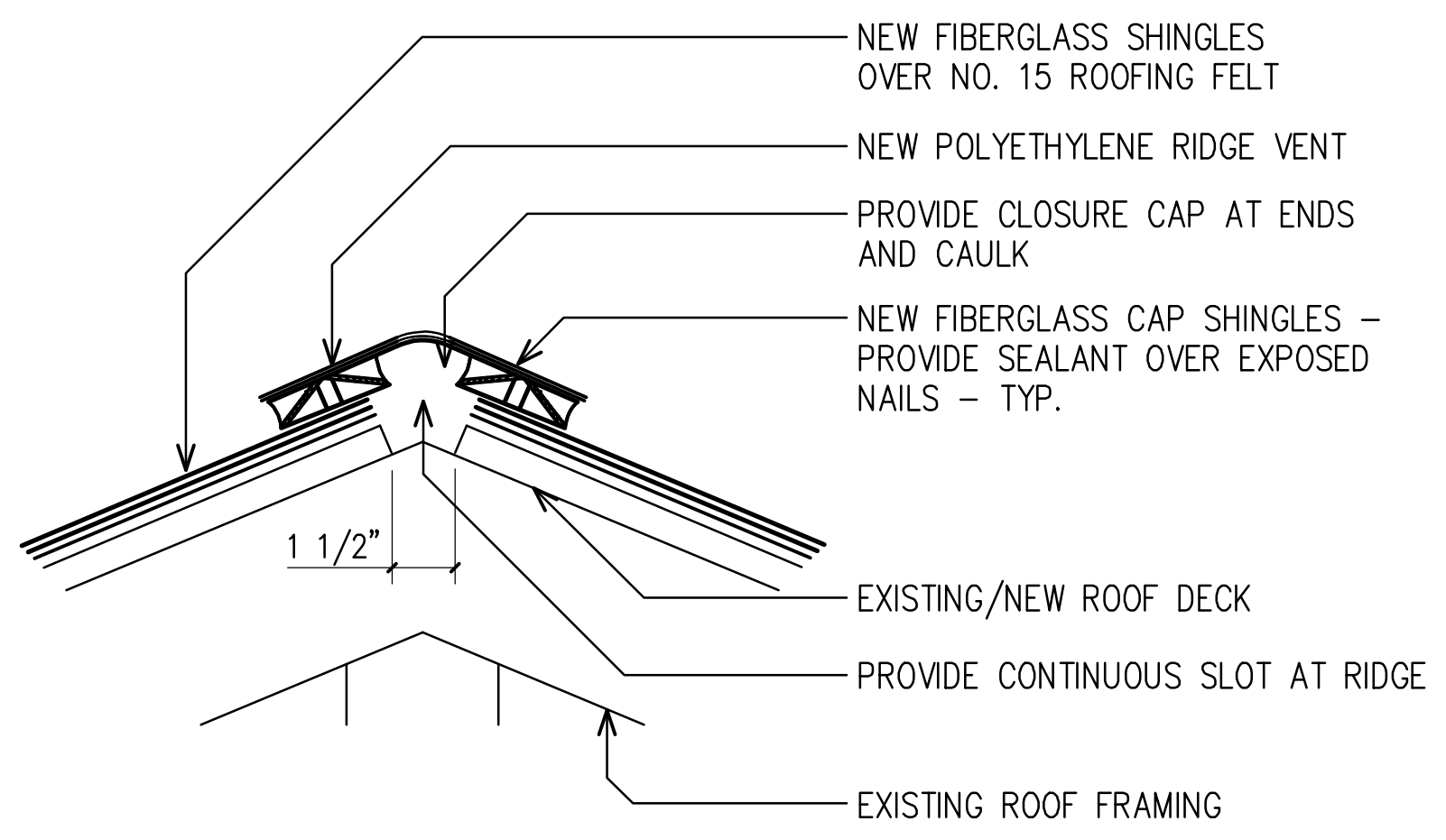
**A1.7.05 UNDERLAYMENT IN VALLEY DETAIL**  
NO SCALE



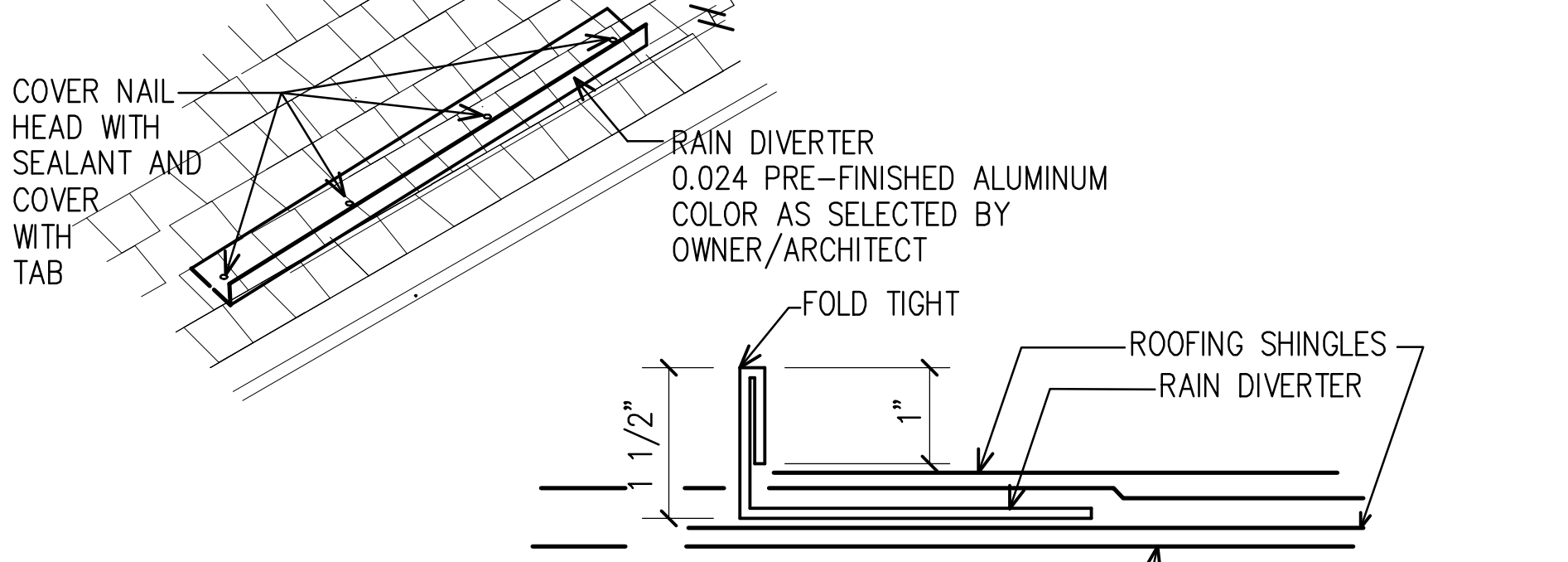
**A1.7.06 SHINGLE WOVEN VALLEY DETAIL**  
NO SCALE



**A1.7.07 ROOF EXHAUST CAP DETAIL**  
NO SCALE

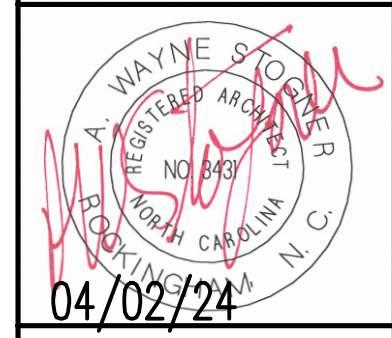
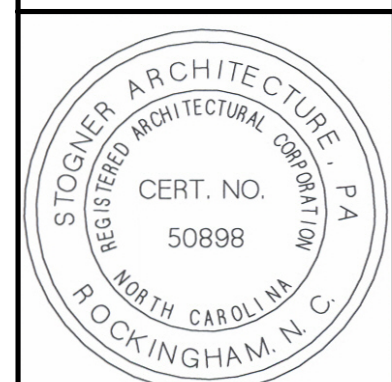


**A1.7.08 RIDGE VENT DETAIL**  
NO SCALE



SINGLE DOOR & HEAT PUMP UNIT 5'-0" LG. SEE ROOF PLANS SLOPE 1" / OF TOTAL LENGTH TO HINGE SIDE

**A1.7.09 RAIN DIVERTER DETAIL**  
NO SCALE

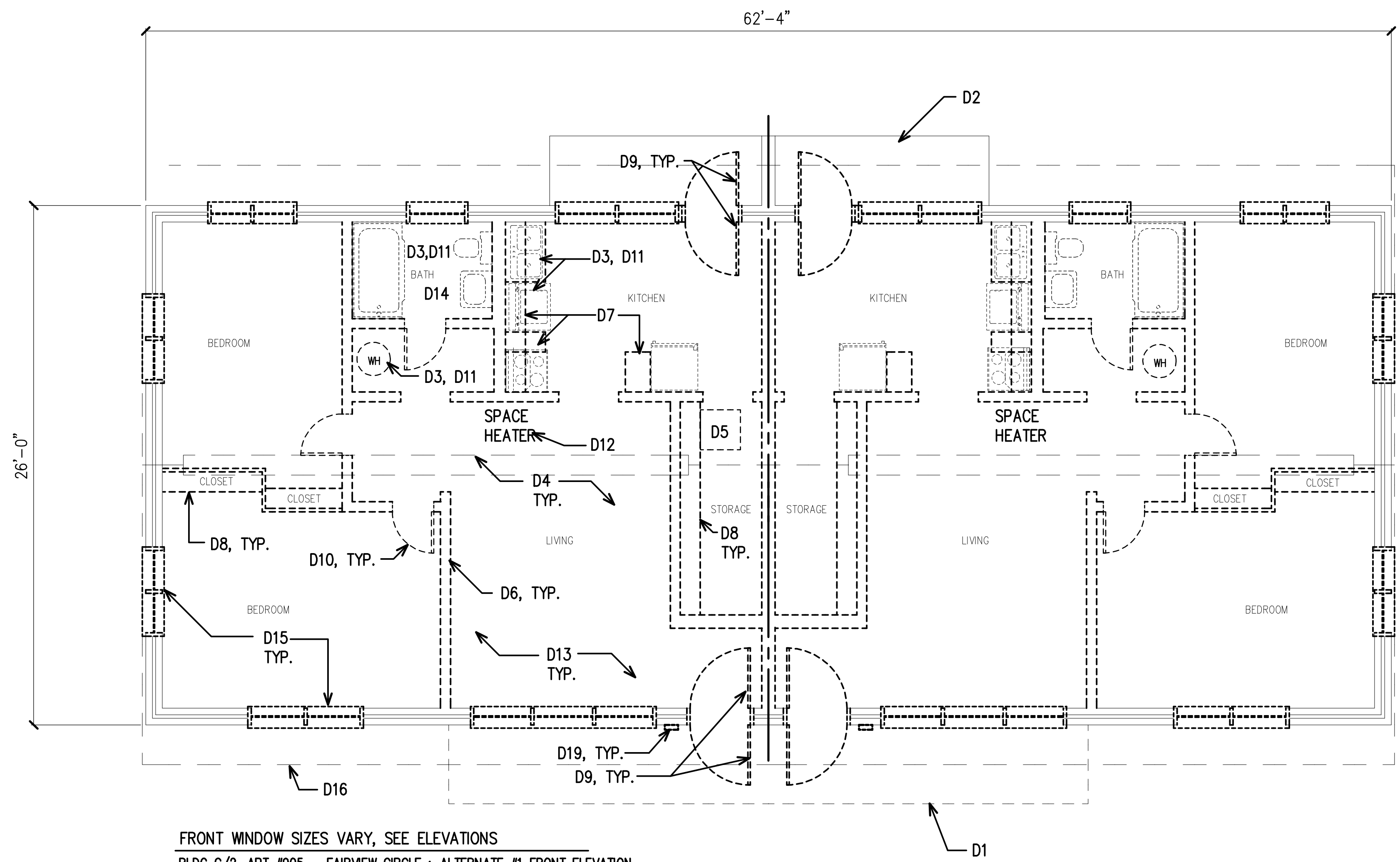


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ROOF DETAILS
6041-B\A1.7 .AEC
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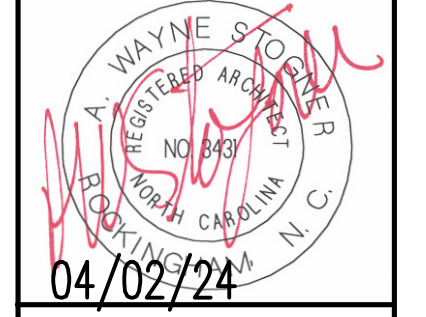


FRONT WINDOW SIZES VARY, SEE ELEVATIONS  
 BLDG C/2, APT #905 - FAIRVIEW CIRCLE ; ALTERNATE #1 FRONT ELEVATION  
 BLDG C/2, APT #907 - FAIRVIEW CIRCLE ; BASIC FRONT ELEVATION  
 BLDG C/6, APT #917 - FAIRVIEW CIRCLE ; ALTERNATE #2 FRONT ELEVATION  
 BLDG C/8, APT #927 - FAIRVIEW CIRCLE ; ALTERNATE #1 FRONT ELEVATION  
 BLDG C/14, APT #1726 - EDGERTON ST. ; BASIC FRONT ELEVATION  
 BLDG C/14, APT #1730 - EDGERTON ST. ; ALTERNATE #1 FRONT ELEVATION

**A2.0.01 DEMOLITION FLOOR PLAN, TWO BEDROOM UNIT ; NC 15-1**  
 SCALE 1/4" = 1'-0" BUILDING TYPE 'C'

**DEMOLITION KEYNOTES**

- D1. REMOVE EXISTING CONCRETE PORCH STOOP COMPLETE.
- D2. EXISTING CONCRETE PORCH STOOP TO REMAIN.
- D3. CUT EXISTING FLOOR SLAB APPROX. 24" WIDE TO REPLACE UNDERSLAB SEWER PIPING & WATER SUPPLY PIPING.
- D4. REMOVE EXISTING PLASTER CEILING & ATTIC INSULATION COMPLETE.
- D5. REMOVE EXISTING ATTIC ACCESS.
- D6. REMOVE EXISTING PLASTER WALLS & FRAMING COMPLETE.
- D7. REMOVE EXISTING BASE, WALL CABINETS & COUNTERTOPS COMPLETE.
- D8. REMOVE EXISTING SHELVING & BRACKETS COMPLETE.
- D9. REMOVE EXISTING STORM DOORS, ENTRY DOORS, DOOR FRAMES & HARDWARE COMPLETE.
- D10. REMOVE EXISTING INTERIOR DOORS, DOOR FRAMES & HARDWARE.
- D11. REMOVE EXISTING PLUMBING FIXTURES, ASSOCIATED WASTE & SUPPLY PIPING. SEE PLUMBING DRAWINGS.
- D12. REMOVE EXISTING HEATER, DUCT WORK & SUPPLY GRILLS AS OCCURS. SEE MECHANICAL DRAWINGS.
- D13. REMOVE ALL VCT FLOOR TILE & WOOD BASE, ENTIRE APT.
- D14. REMOVE EXISTING CERAMIC TILE & BASE.
- D15. REMOVE EXISTING WINDOWS & TRIM COMPLETE. CUT EXISTING OPENING AS REQUIRED TO PROVIDE NEW WINDOW TO MEET EGRESS REQUIREMENTS. SEE WINDOW SCHEDULE & BUILDING ELEVATIONS FOR LOCATIONS THAT REQUIRE MODIFICATION OF EXISTING OPENINGS.
- D16. REMOVE EXISTING & PROVIDE NEW ROOF SHINGLES & NEW PORCH, SEE SHEETS A1.0 - A1.6 & PORCH DETAILS SHEET A5.0, A5.1 & A5.2.
- D17. REMOVE EXISTING FLAT ROOF AT OLD BOILER ROOM & EXISTING VINYL SIDING/PLY. WD. AT OPENING. SEE A1.0-A1.6 & A3.0-A3.1, A3.3.
- D18. AT BLDG. TYPE "E" W/ BASIC FRONT ELEVATION, REMOVE EXISTING VINYL SIDING BETWEEN FRONT WINDOWS.
- D19. REMOVE EXISTING WALL MT'D MAILBOX & FASTENERS, FILL HOLES W/ MORTAR TO MATCH BRICK.



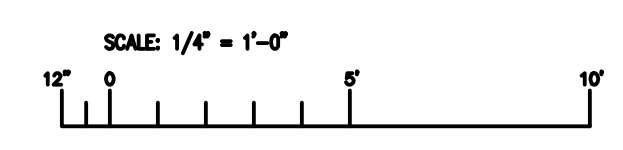
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 GOLDSBORO NORTH CAROLINA

DEMOLITION FLOOR PLAN,  
 TWO BEDROOM UNIT -  
 BUILDING TYPE "C";  
 NC 15-1

6041-B\A2.0.AEC  
 COMM. NO. 6041-B  
 DRAWN BY WBP  
 CHECKED BY AWS  
 DATE APRIL 2, 2024

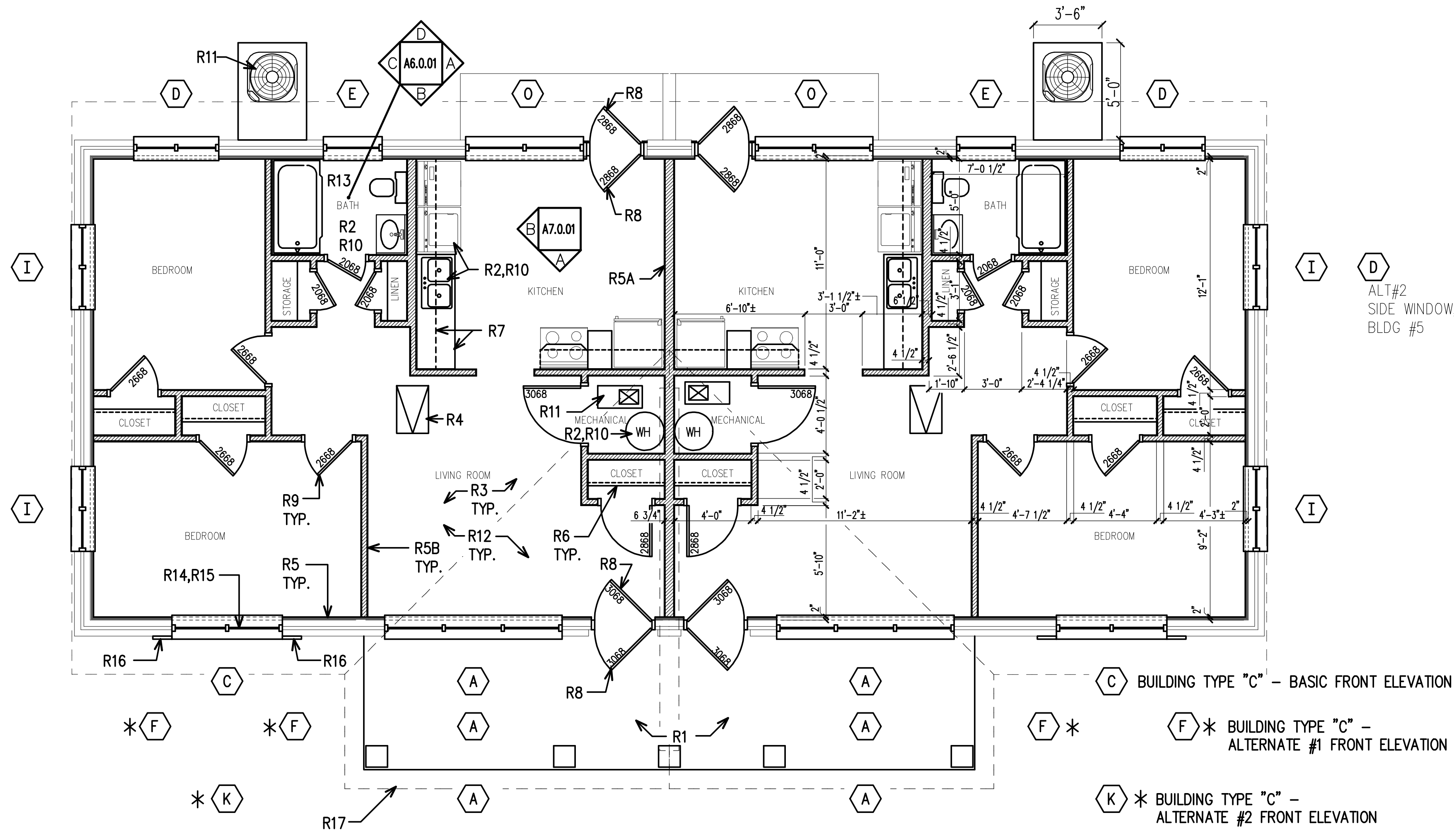
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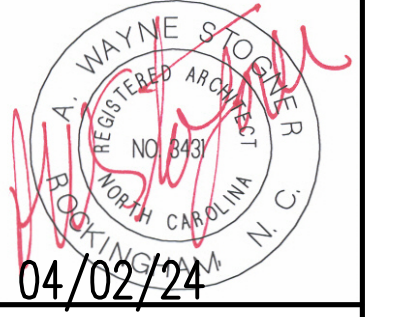
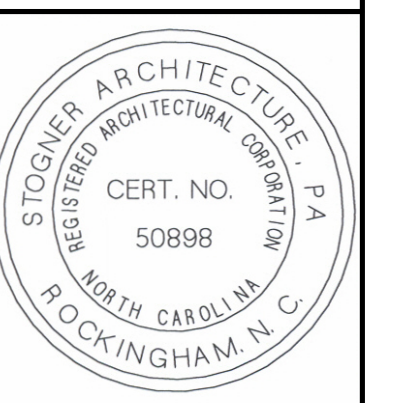
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**A2.1.01 RENOVATION FLOOR PLAN, TWO BEDROOM UNIT ; NC 15-1**  
 SCALE 1/4" = 1'-0" BUILDING TYPE 'C'

**RENOVATION KEYNOTES**

- R1. PROVIDE NEW 4" THK., 3000 PSI CONCRETE PORCH SLAB. SEE A5.0, A5.1 & A5.2 FOR REVISED PORCH/ROOF PLAN.
- R2. PROVIDE NEW SEWER DRAIN, WATER SUPPLY PIPING. BACKFILL AND COMPACT TO 98%, TREAT TRENCH & ENTIRE BLDG. FOR TERMITES. PROVIDE 4" STONE, VAPOR BARRIER, DRILL EXISTING SLAB @ 24" O.C., 6" DEEP & PROVIDE 12" LONG #5 BAR, POUR NEW 4" THK., 3000 PSI CONCRETE FLUSH W/ EXISTING SLAB. PROVIDE 4"Ø CLEANOUT @ EXTERIOR OF BLDG., TIE TO EXISTING SEWER. SEE PLUMBING DRAWINGS.
- R3. PROVIDE NEW 1/2" GYP. BD. CEILING THROUGHOUT & R38 INSULATION IN ATTIC. PROVIDE INSULATION STOPS AS REQ'D.
- R4. PROVIDE NEW 20"x30" MIN. CLEAR ATTIC ACCESS. FIELD VERIFY EXACT LOCATION.
- R5. PROVIDE 1 1/2" RIGID INSULATION BOARD BETWEEN MTL. "Z" STRIPS MT'D VERTICAL @ 16" O.C. - TYPICAL AT OUTSIDE WALLS. PROVIDE FASTENERS TO EXTEND INTO BLOCK WALL BEYOND PLASTER. PROVIDE 1/2" GYP. BD. ON "Z" STRIPS, COORDINATE WORK W/ ELECTRICAL & PLUMBING CONTRACTOR.
- R5A. PROVIDE NEW 1HR. FIRE RATED SEPARATION WALL - (1) LAYER 5/8" FIRE RATED GYP. BD. EA. SIDE ON 2X6 WD. STUDS @ 16" O.C., FASTEN GYP. BD. 8" O.C. PARTITION TO RUN FROM FRONT WALL TO REAR WALL CONTINUOUS & TOP OF FINISH FLOOR TO UNDERSIDE OF ROOF DECK. (DESIGN BASIS UL305) PROVIDE (1) LAYER OF 5" SOUND BATT INSULATION TO 2FT. ABOVE CEILING. CONTRACTOR SHALL PROVIDE UL RATED DEVICES FOR RATING REQUIRED STAGGER PENETRATIONS & FIRESTOP.
- R5B. PROVIDE 2X4 WD. FRAMING WALL W/ PRESSURE TREATED PLATE & 1/2" GYP. BD. EA. SIDE. PRIME & PAINT (2) COATS.
- R5C. PROVIDE 2X4 WD. FRAMING WALL W/ PRESSURE TREATED PLATE & 1/2" MOLD & MOISTURE RESISTANT GYP. BD. AT LAUNDRY & MECHANICAL ROOMS. PRIME & PAINT (2) COATS.
- R6. PROVIDE NEW WD. CLOSET SHELF, PRIME & PAINT. AT TYP. BEDROOM & HALL CLOSET (1) SHELF & ROD, AT STORAGE & LINEN CLOSET (4) SHELVES.
- R7. PROVIDE NEW WALL & BASE CABINETS, NEW SOLID SURFACE COUNTERTOPS W/ SPLASH.
- R8. PROVIDE NEW HOLLOW MTL. DOOR FRAME, INSULATED MTL. DOOR, HARDWARE & WEATHER STRIPPING. PROVIDE NEW STORM DOORS.
- R9. PROVIDE NEW WD. DOOR FRAME, SOLID CORE WD. DOOR & HARDWARE. PROVIDE DOOR STOPS AT WALL WHEN OPEN 90° TO ADJACENT WALL.
- R10. PROVIDE NEW PLUMBING FIXTURES, WASTE & SUPPLY PIPING. SEE PLUMBING DRAWINGS. PROVIDE MOLD & MOISTURE RESISTANT GYP. BD. AT LAUNDRY & MECHANICAL ROOMS.
- R11. PROVIDE NEW HVAC & ASSOCIATED WORK. SEE MECHANICAL DRAWINGS. NEW PAD SIZE TO BE (42"x60") MIN. PROVIDE MOLD & MOISTURE RESISTANT GYP. BD. AT LAUNDRY & MECHANICAL ROOMS.
- R12. PROVIDE NEW LVT (BASE BID) & VCT (ALT BID), PAINTED WD. BASE & SHOE MOLD THROUGHOUT APARTMENT.
- R13. PROVIDE NEW CERAMIC TILE & BASE AT BATHROOMS.
- R14. PROVIDE NEW VINYL REPLACEMENT WINDOWS, SEE BLDG. KEY & ELEVATIONS FOR WINDOW SIZE & LOCATIONS.
- R15. PROVIDE NEW FULL PET SCREEN IN ALUMINUM FRAME W/ HARDWARE AT ALL WINDOWS.
- R16. PROVIDE NEW SHUTTERS AT WINDOWS SHOWN ON ELEVATIONS.
- R17. PROVIDE NEW PORCH, OVERHANG & ROOF. SEE SHEETS A1.0 - A1.6 & PORCH DETAILS A5.0, A5.1 & A5.2.
- R18. PROVIDE NEW WD. TRUSSES, WD. DECKING, UNDERLAYMENT & SHINGLES. PROVIDE NEW SHEATHING, SIDING & TRIM AT OPENING, SEE ELEVATIONS. SEE SHEETS A1.0 - A1.6 & A3.0 - A3.1, A3.3.
- R19. AT BLDG. TYPE "E" W/ BASIC FRONT ELEVATION, PROVIDE NEW SIDING & TRIM.



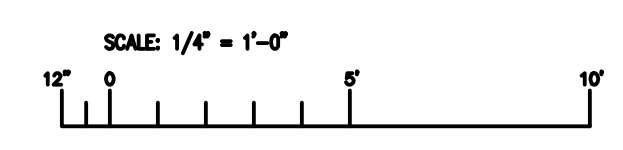
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 RENOVATIONS - FAIRVIEW APARTMENTS  
 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
 GOLDSBORO NORTH CAROLINA

RENOVATION FLOOR PLAN,  
 TWO BEDROOM UNIT -  
 BUILDING TYPE "C";  
 NC 15-1

6041-B\A2.1.AEC  
 COMM. NO. 6041-B  
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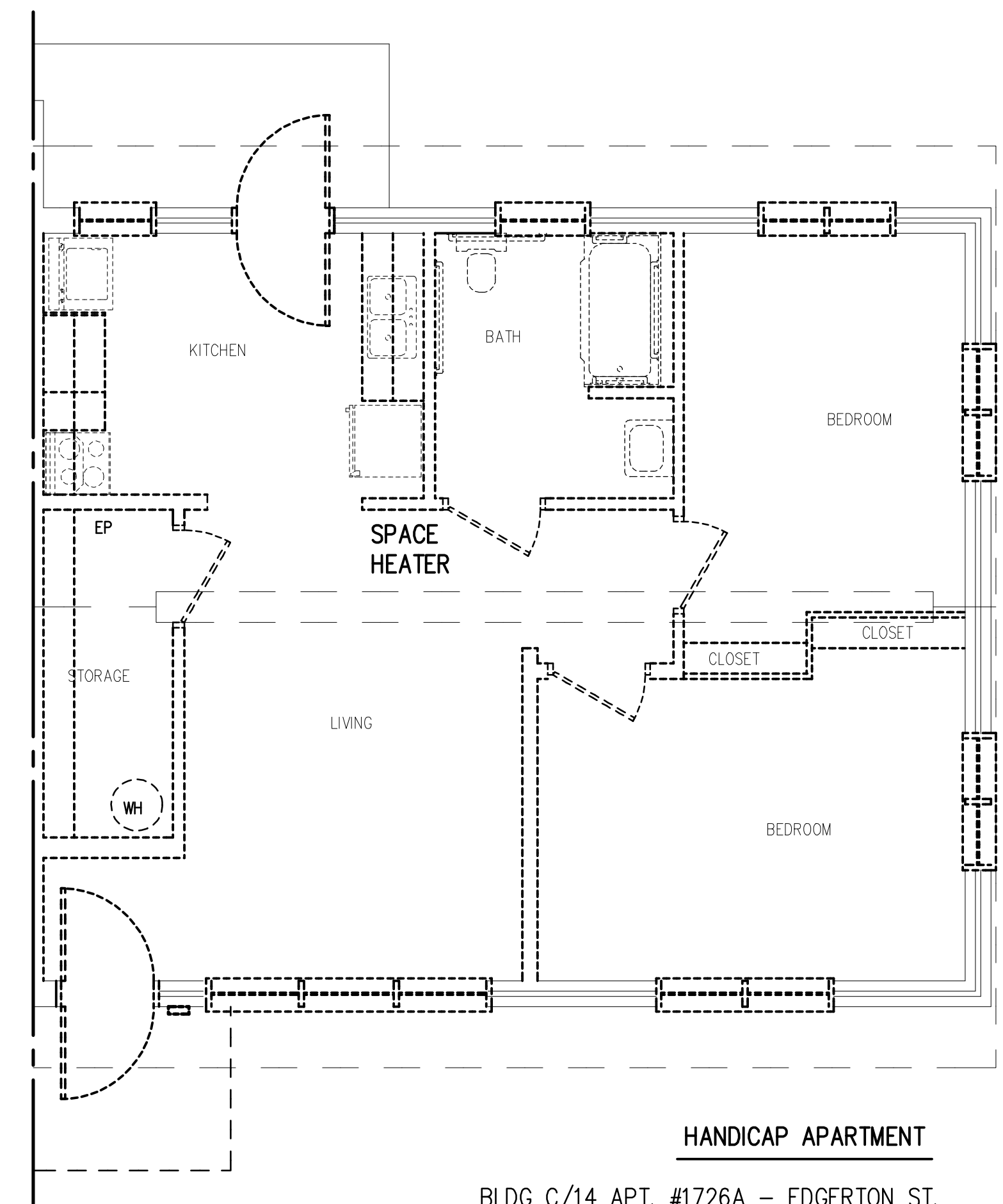
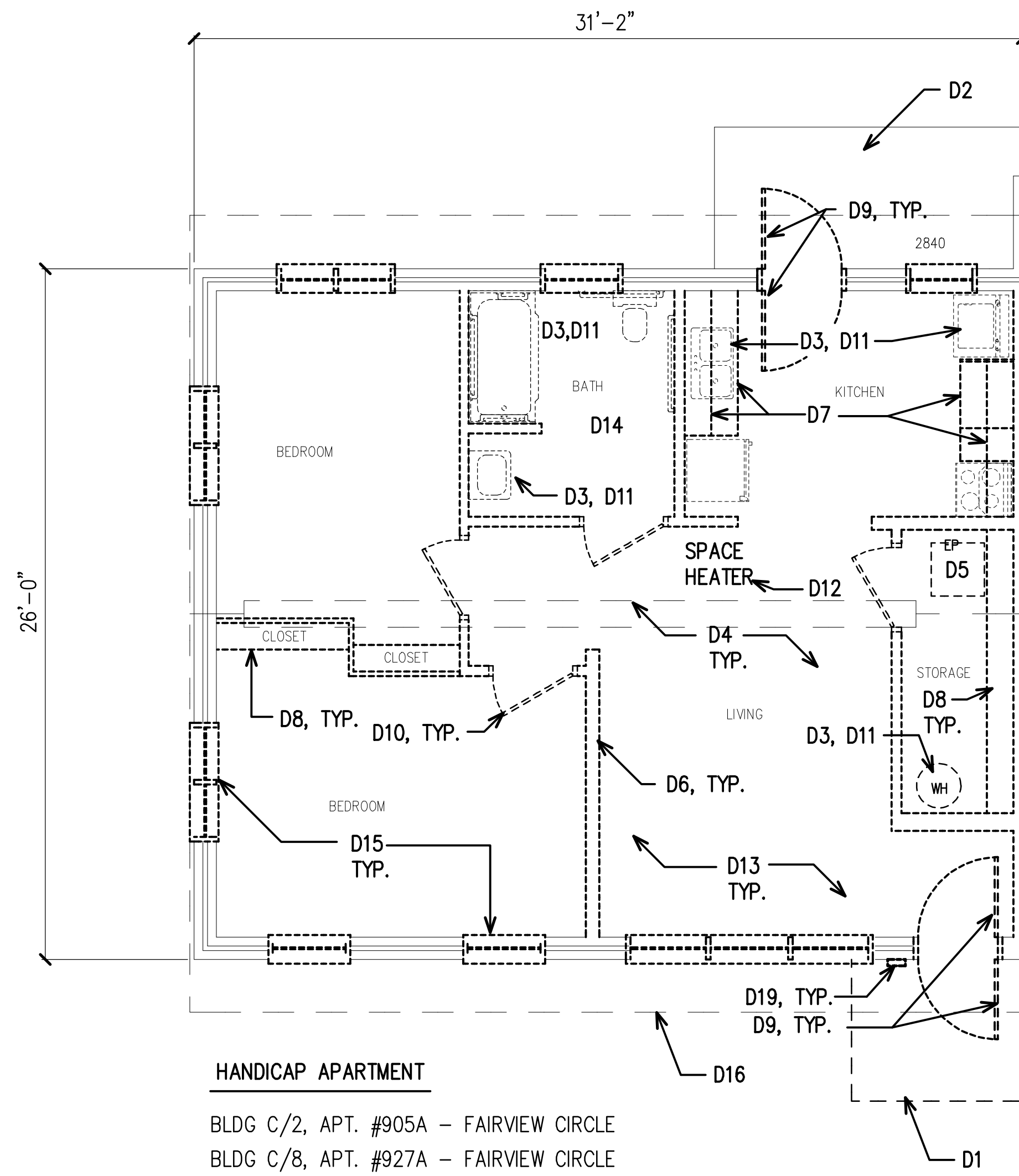
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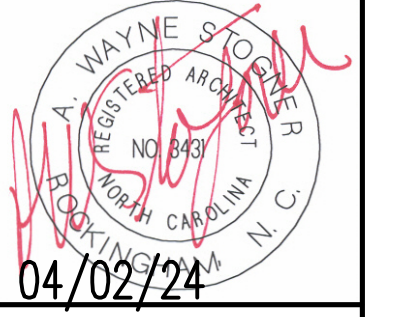
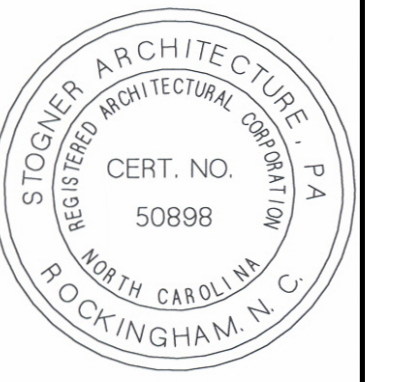
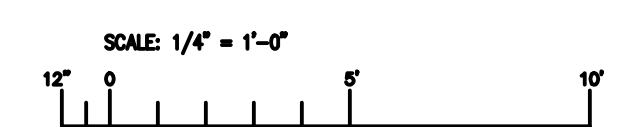
SEE SHEET A2.0 FOR DEMOLITION KEYNOTES



**HANDICAP APARTMENT**  
 BLDG C/2, APT. #905A - FAIRVIEW CIRCLE  
 BLDG C/8, APT. #927A - FAIRVIEW CIRCLE  
 BLDG C/14, APT. #1730B - EDGERTON ST.  
 FRONT WINDOW SIZES VARY, SEE ELEVATIONS  
 BLDG C/2, APT #905A - FAIRVIEW CIRCLE ; ALTERNATE #1 FRONT ELEVATION  
 BLDG C/8, APT #927A - FAIRVIEW CIRCLE ; ALTERNATE #1 FRONT ELEVATION  
 BLDG C/14, APT #1726A - EDGERTON ST. ; BASIC FRONT ELEVATION  
 BLDG C/14, APT #1730B - EDGERTON ST. ; ALTERNATE #1 FRONT ELEVATION

**HANDICAP APARTMENT**  
 BLDG C/14 APT. #1726A - EDGERTON ST.

**A2.2.01 DEMOLITION FLOOR PLAN - TWO BEDROOM HANDICAP UNIT - NC 15-1**  
 SCALE 1/4" = 1'-0" BUILDING TYPE 'C'



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DEMOLITION FLOOR PLAN,  
 TWO BEDROOM HANDICAP  
 UNIT - BUILDING TYPE  
 "C" ; NC 15-1

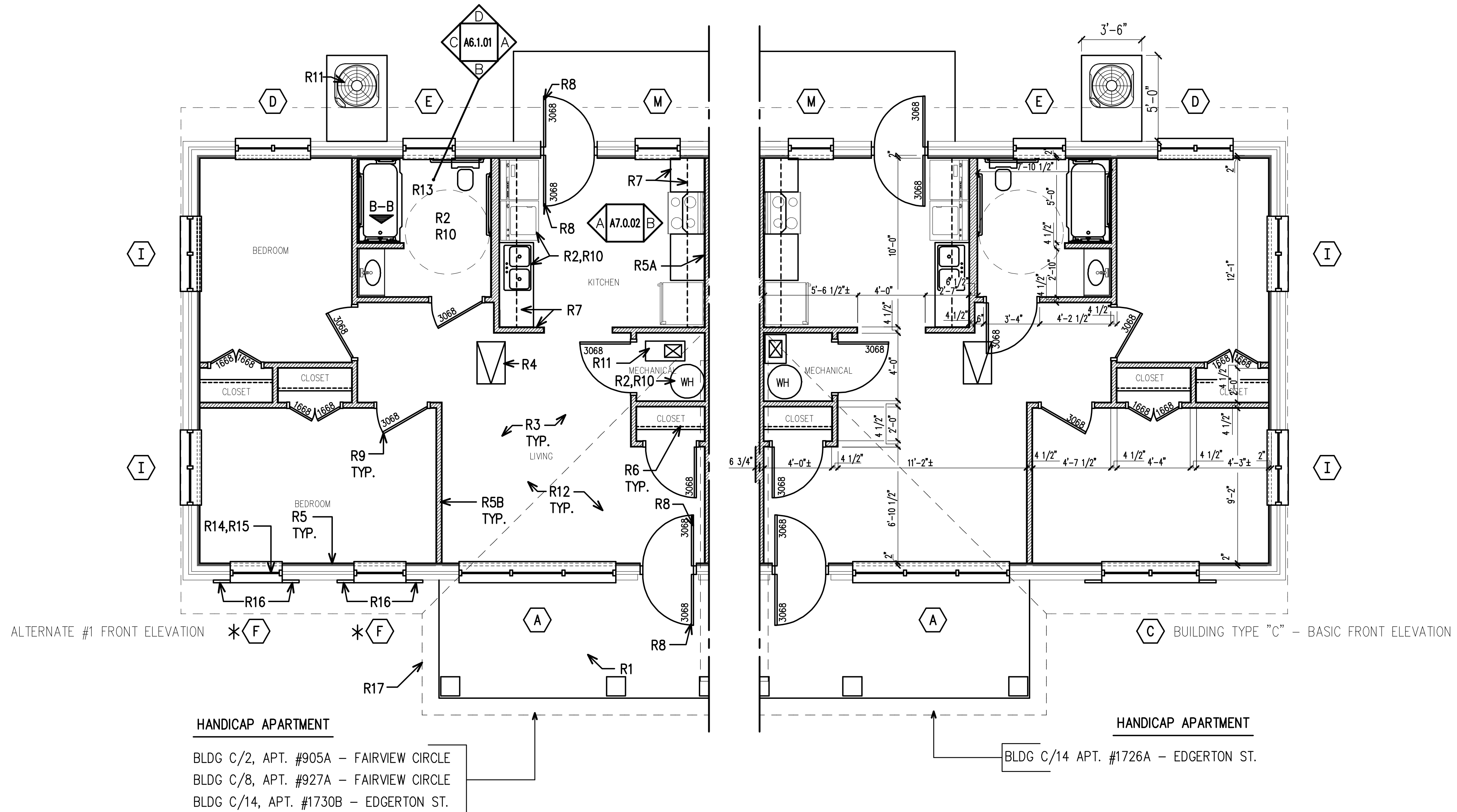
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SHEET NO. **A2.2**



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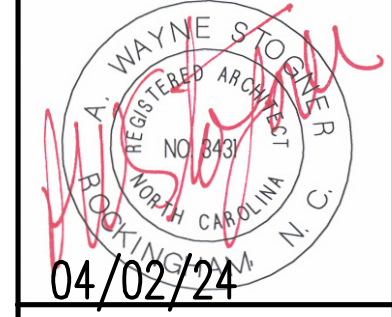
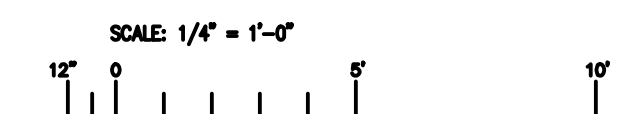
SEE SHEET A2.1 FOR RENOVATION KEYNOTES



**A2.3.01 RENOVATION FLOOR PLAN - TWO BEDROOM HANDICAP UNIT - NC 15-1**

SCALE 1/4" = 1'-0"

BUILDING TYPE 'C'



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 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
 GOLDSBORO NORTH CAROLINA

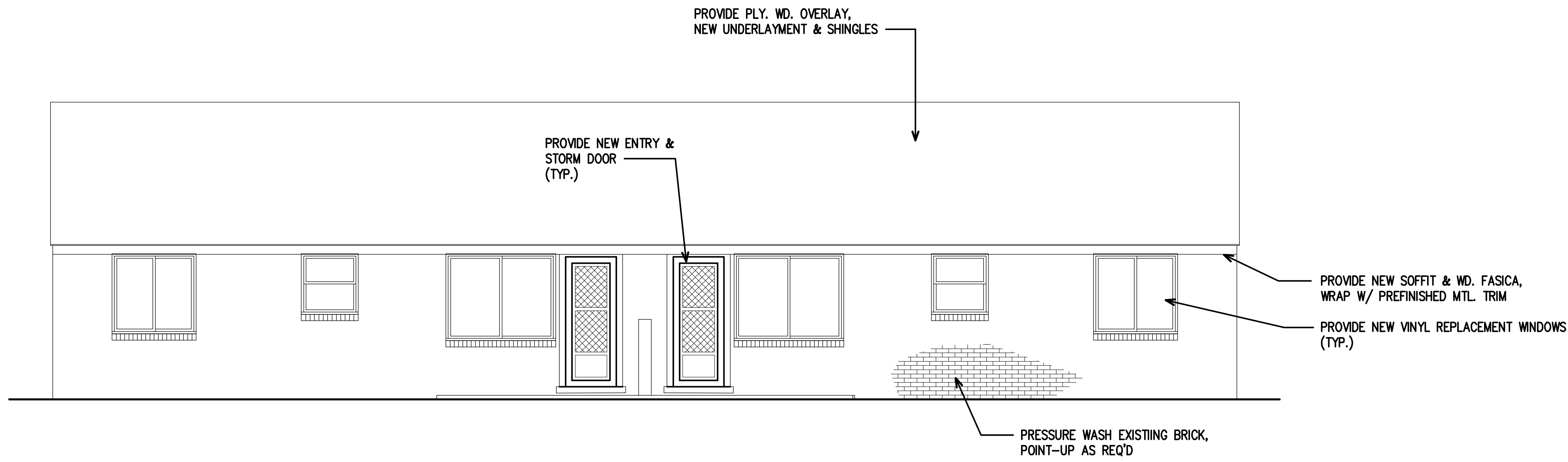
RENOVATION FLOOR PLAN,  
 TWO BEDROOM HANDICAP  
 UNIT - BUILDING TYPE  
 "C"; NC 15-1

6041-B\A2.3.AEC  
 COMM. NO. 6041-B  
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SHEET NO.  
**A2.3**

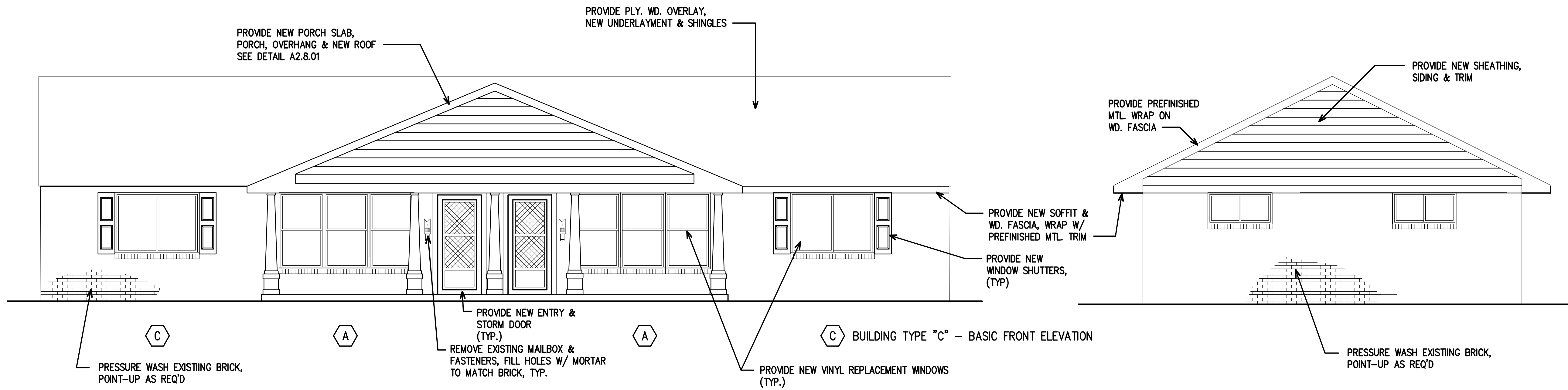


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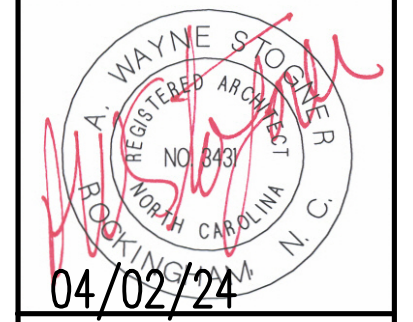
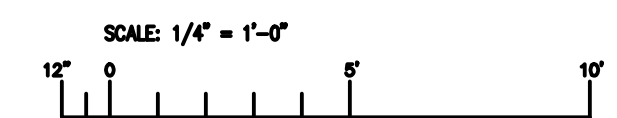
**A2.4.02 BASIC REAR ELEVATION, TWO BEDROOM UNIT – BUILDING TYPE "C" ; NC 15-1**

SCALE 1/4" = 1'-0"



**A2.4.01 BASIC FRONT ELEVATION, TWO BEDROOM UNIT – BUILDING TYPE "C" ; NC 15-1**

SCALE 1/4" = 1'-0"



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BASIC FRONT ELEVATION,  
 TWO BEDROOM UNIT –  
 BUILDING TYPE "C" ;

NC 15-1

6041-B\A2.4 .AEC

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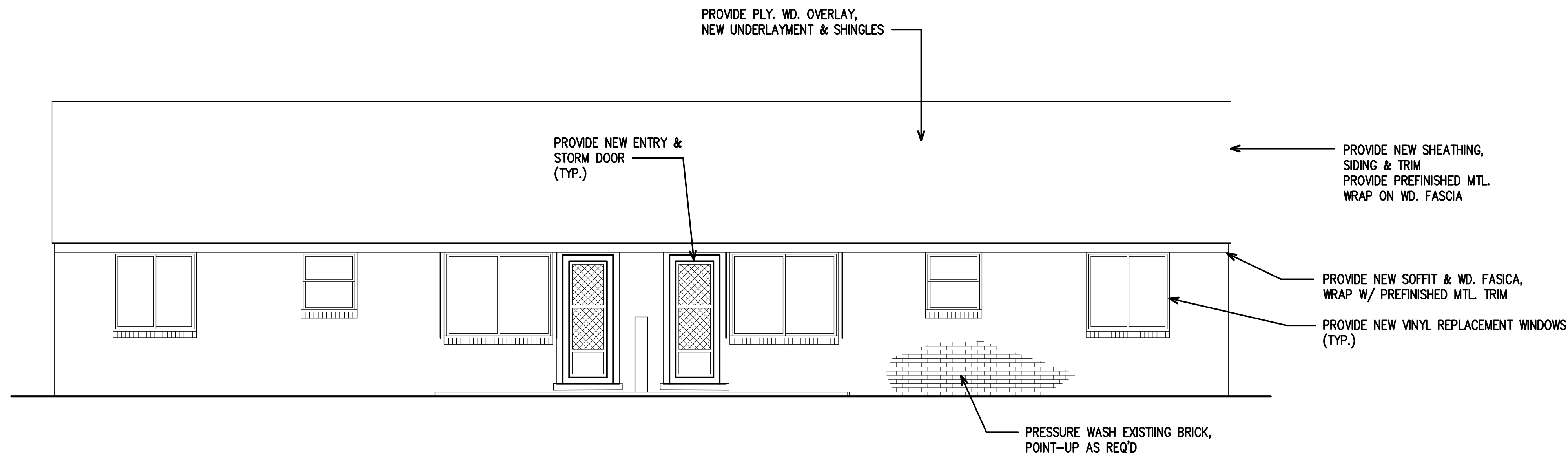
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**A2.4**

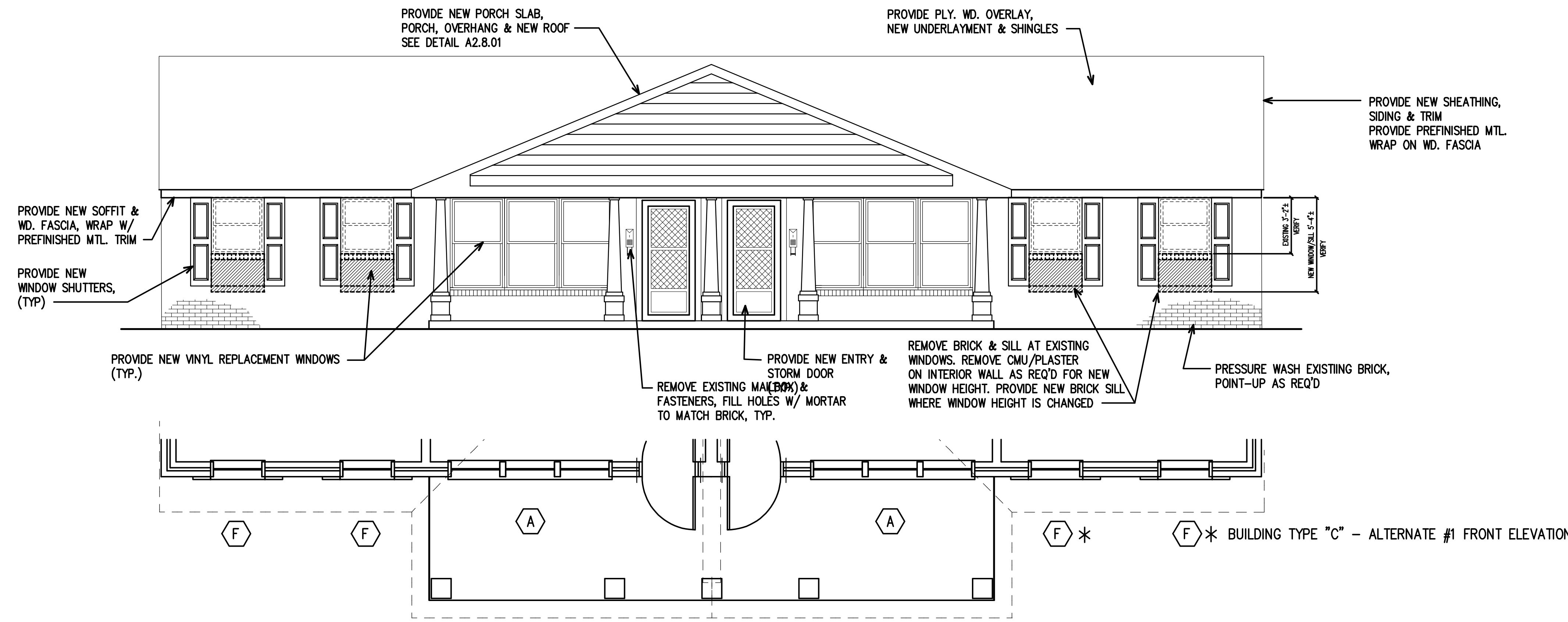


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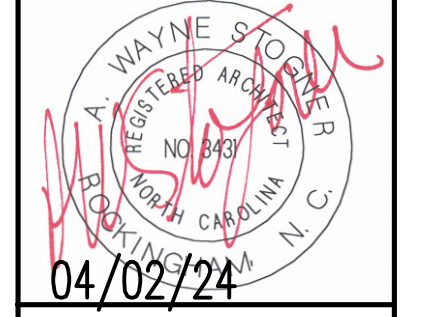
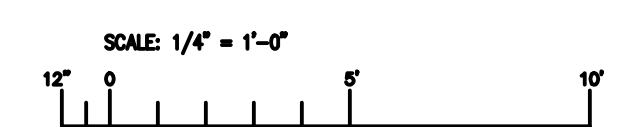
**A2.5.02 BASIC REAR ELEVATION, TWO BEDROOM UNIT – BUILDING TYPE "C" ; NC 15-1**

SCALE 1/4" = 1'-0"



**A2.5.01 ALTERNATE #1 FRONT ELEVATION, TWO BEDROOM UNIT – BUILDING TYPE "C" ; NC 15-1**

SCALE 1/4" = 1'-0"



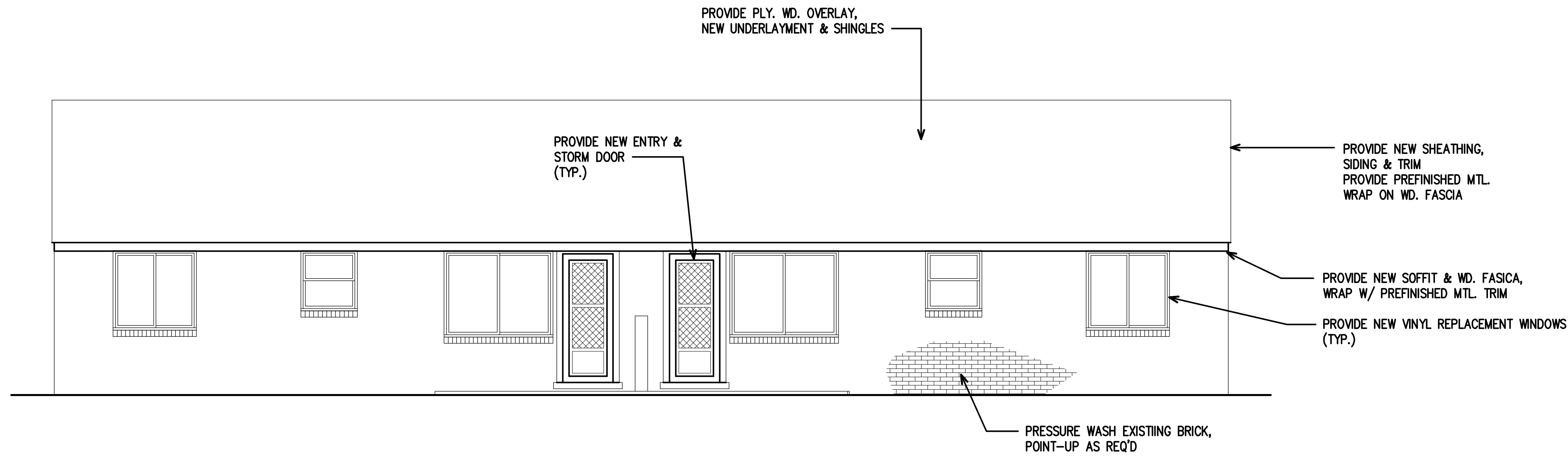
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 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
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ALTERNATE #1 FRONT ELEVATION, TWO BEDROOM UNIT – BUILDING TYPE "C" ; NC 15-1
6041-B\A2.5.AEC
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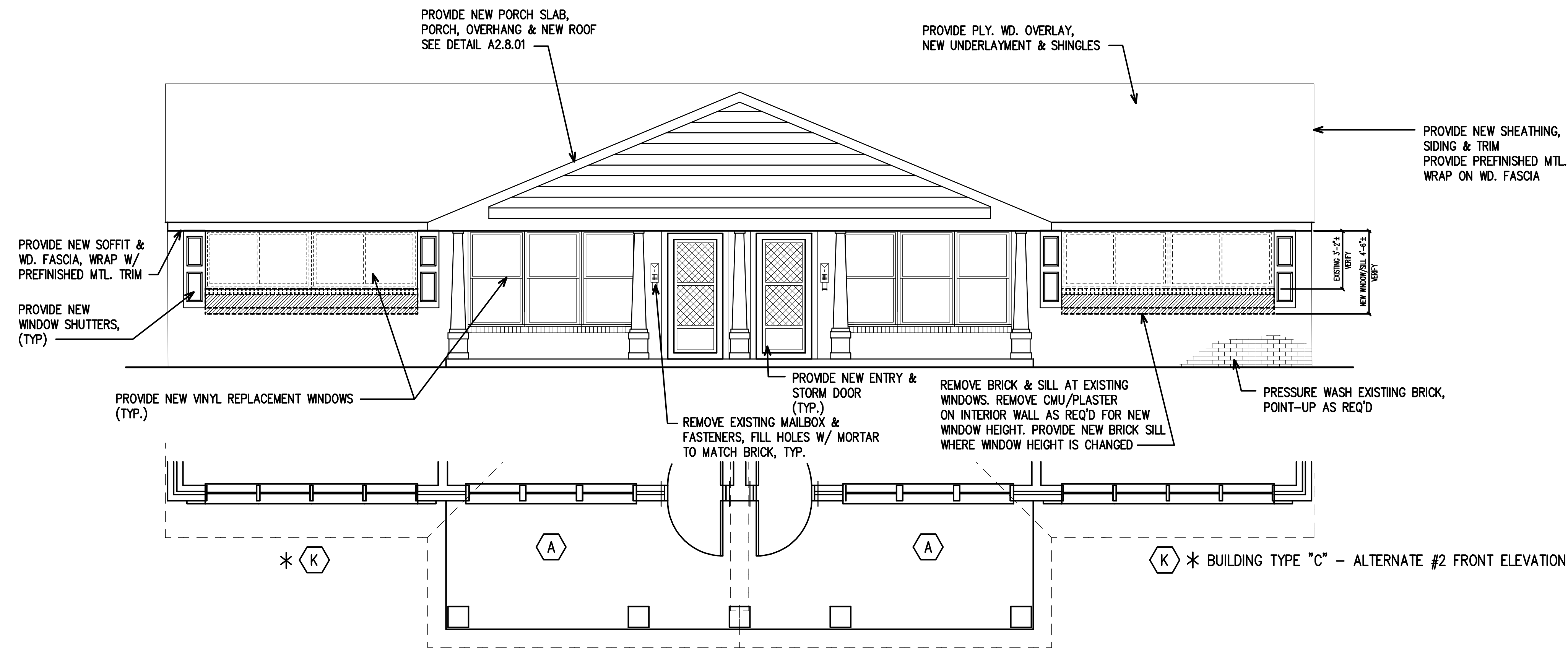


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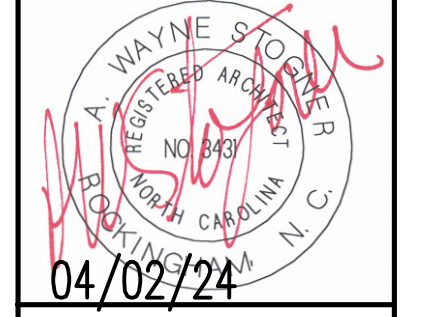
**A2.6.02 BASIC REAR ELEVATION, TWO BEDROOM UNIT – BUILDING TYPE "C" ; NC 15-1**

SCALE 1/4" = 1'-0"



**A2.6.01 ALTERNATE #2 FRONT ELEVATION, TWO BEDROOM UNIT – BUILDING TYPE "C" ; NC 15-1**

SCALE 1/4" = 1'-0"



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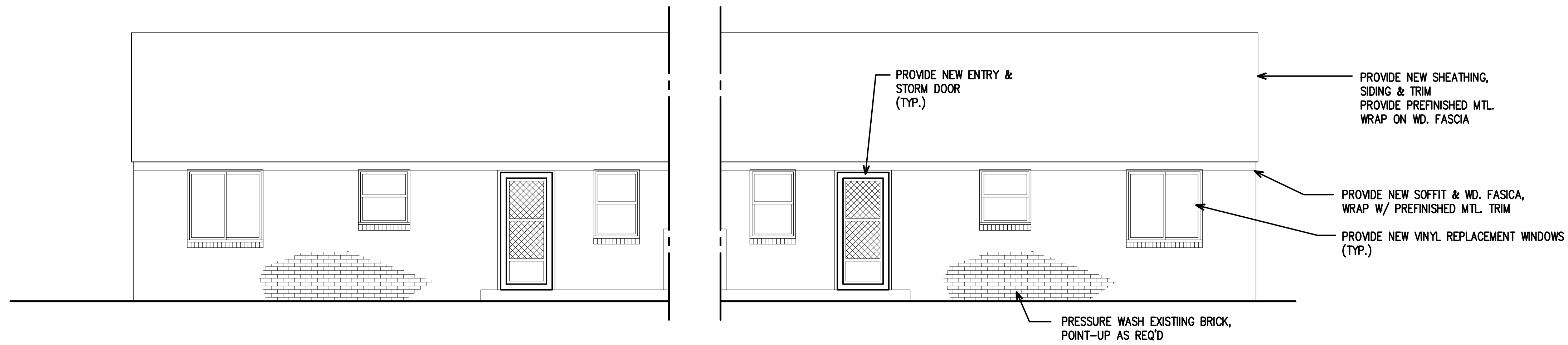
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ALTERNATE #2 FRONT ELEVATION, TWO BEDROOM UNIT – BUILDING TYPE "C" ; NC 15-1

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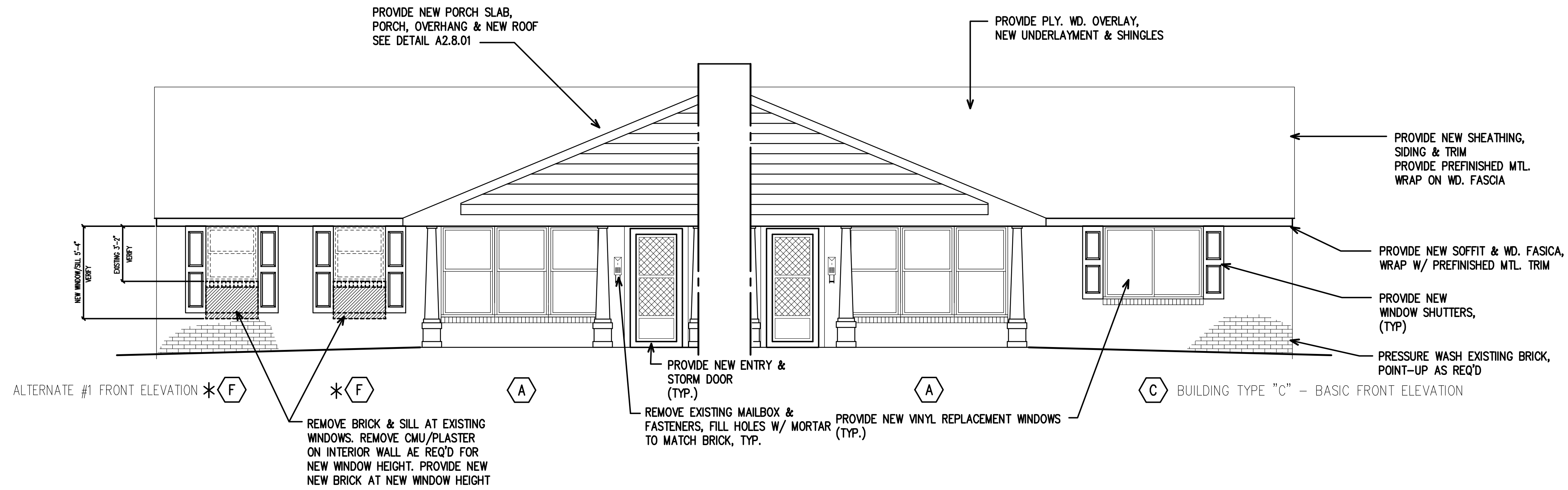


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**A2.7.02 REAR ELEVATION, HANDICAP TWO BEDROOM UNIT – BUILDING TYPE "C" ; NC 15-1**

SCALE 1/4" = 1'-0"



**A2.7.01 BASIC FRONT ELEVATION, HANDICAP TWO BEDROOM UNIT – BUILDING TYPE "C" ; NC 15-1**

SCALE 1/4" = 1'-0"

HANDICAP APARTMENT

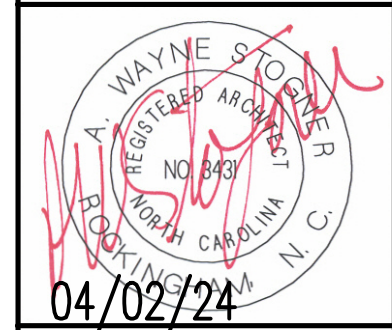
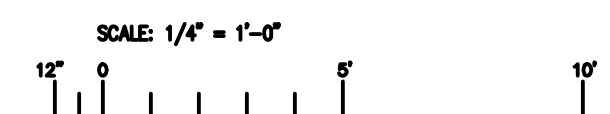
BLDG C/2, APT. #905A – FAIRVIEW CIRCLE  
 BLDG C/8, APT. #927A – FAIRVIEW CIRCLE  
 BLDG C/14, APT. #1730B – EDGERTON ST.

FRONT WINDOWS VARIES, SEE ELEVATIONS

BLDG C/2, APT #905A – FAIRVIEW CIRCLE ; ALTERNATE #1 FRONT ELEVATION, SEE A2.5.01  
 BLDG C/8, APT #927A – FAIRVIEW CIRCLE ; ALTERNATE #1 FRONT ELEVATION, SEE A2.5.01  
 BLDG C/14, APT #1726A – EDGERTON ST. ; BASIC FRONT ELEVATION  
 BLDG C/14, APT #1730B – EDGERTON ST. ; ALTERNATE #1 FRONT ELEVATION, SEE A2.5.01

HANDICAP APARTMENT

BLDG C/14 APT. #1726A – EDGERTON ST.



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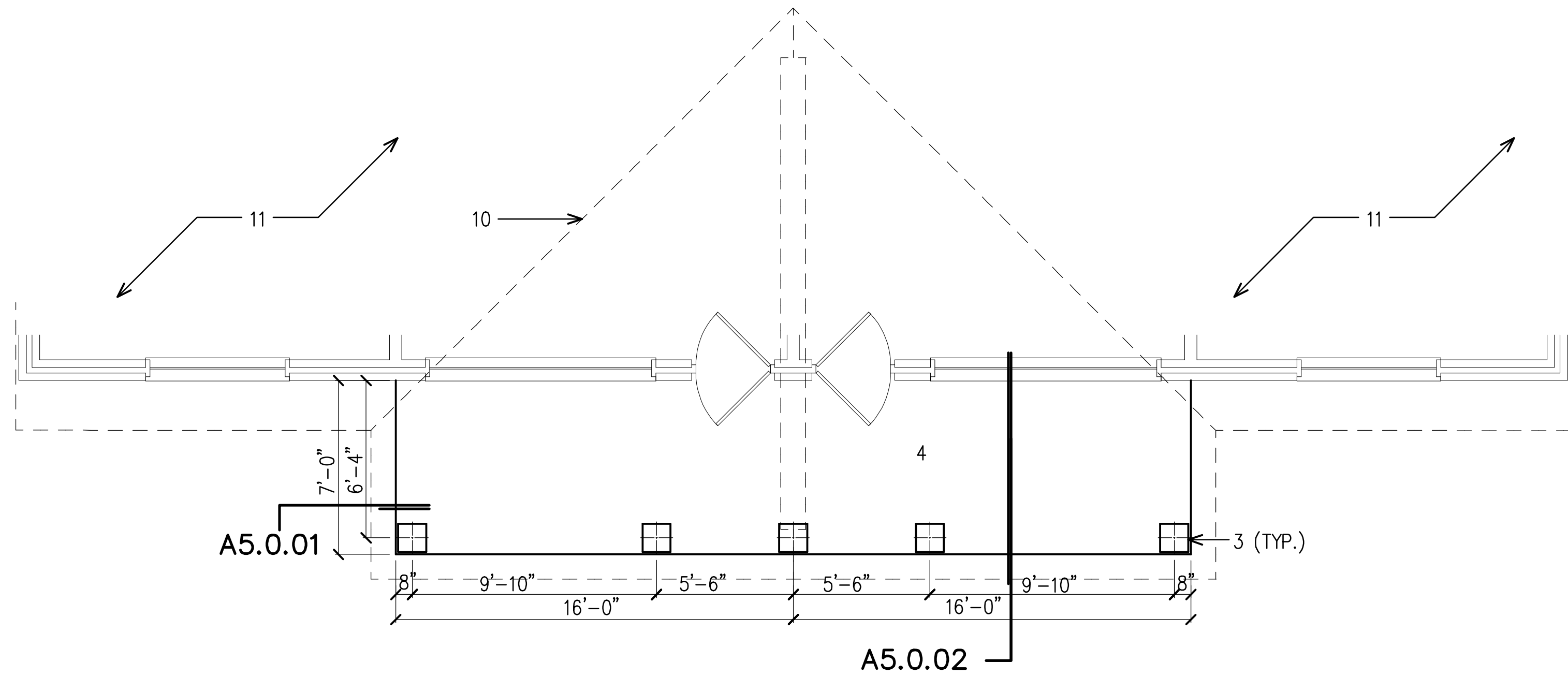
REAR ELEVATION,  
 HANDICAP TWO  
 BEDROOM UNIT –  
 BUILDING TYPE "C" ;  
 NC 15-1

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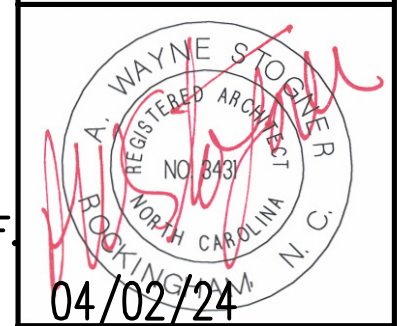


**A2.8.01 REVISED PORCH/ROOF PLAN, TWO BEDROOM UNIT – BUILDING TYPE "C" ; NC 15-1**

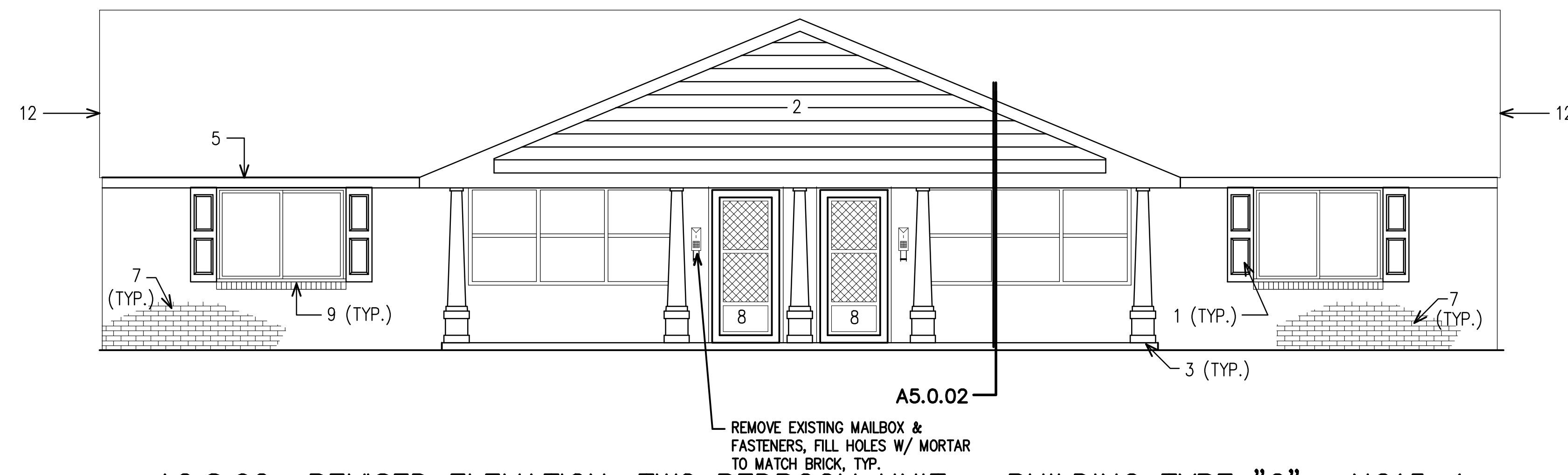
SCALE: 1/4" = 1'-0"

**KEYNOTES – REVISED PORCH/ROOF, FRONT ELEVATION**

1. PROVIDE NEW WINDOW SHUTTERS.
2. PROVIDE NEW SIDING AND TRIM.
3. PROVIDE NEW PORCH COLUMN.
4. PROVIDE NEW FRONT PORCH SLAB. POUR WITH 3000PSI CONCRETE.
5. REMOVE EXISTING METAL WRAP FROM FREIZE BOARD AND EXISTING WOOD, VENTED SOFFIT. PROVIDE NEW 2x6 WOOD FASCIA AND SOFFIT CONTINUOUS. WRAP FASCIA WITH NEW PRE FINISHED METAL. SEE DETAIL A5.5.
6. NOT USED.
7. PRESSURE WASH EXISTING BRICK, PATCH AND POINT-UP AS REQUIRED.
8. EXISTING ENTRY DOOR AND STORM DOOR TO BE REPLACED.
9. EXISTING WINDOWS TO BE REPLACED.
10. PROVIDE NEW PORCH, OVERHANG AND ROOF.
11. EXISTING ROOF, SEE SHEET A1.0-A1.6 FOR WORK ASSOCIATED WITH ROOF.
12. REMOVE EXISTING SIDING, TRIM & SHEATHING COMPLETE. PROVIDE NEW SIDING AND TRIM.



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**A2.8.02 REVISED ELEVATION, TWO BEDROOM UNIT – BUILDING TYPE "C" ; NC15-1**

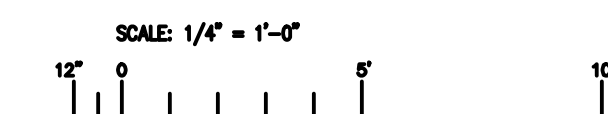
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 RENOVATIONS – FAIRVIEW APARTMENTS  
 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
 GOLDSBORO NORTH CAROLINA

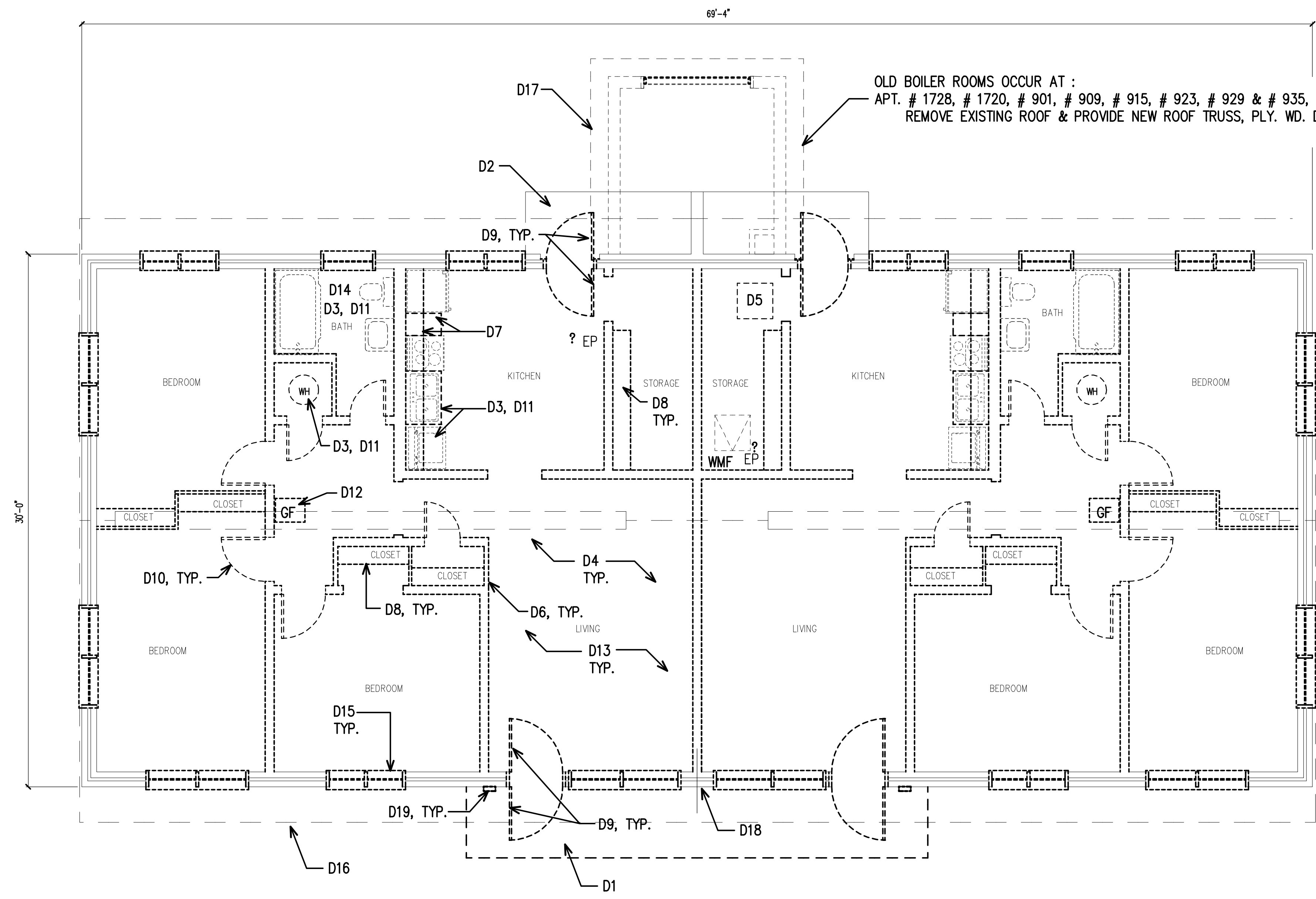
REVISED PORCH/ROOF PLAN, FRONT ELEVATION, TWO BEDROOM UNIT – BUILDING TYPE "C" ; NC 15-1

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SHEET NO. **A2.8**



SEE SHEET A2.0 FOR DEMOLITION KEYNOTES



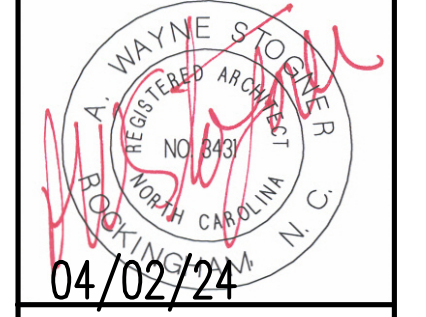
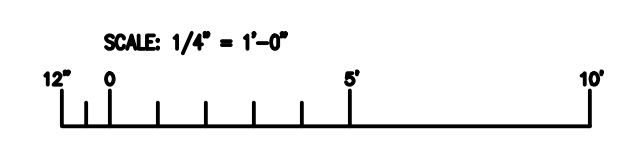
FRONT WINDOW SIZES VARY, SEE ELEVATIONS      FRONT WINDOW / ENTRY DOOR (OPP. HD.) AT ALTERNATE #2, SEE ELEVATIONS

BLDG E/1, APT #901 - FAIRVIEW CIRCLE ; ALTERNATE #1 FRONT ELEVATION	BLDG E/8, APT #929 - FAIRVIEW CIRCLE ; BASIC FRONT ELEVATION
BLDG E/1, APT #903 - FAIRVIEW CIRCLE ; ALTERNATE #2 FRONT ELEVATION	BLDG E/8, APT #931 - FAIRVIEW CIRCLE ; ALTERNATE #2 FRONT ELEVATION
BLDG E/3, APT #909 - FAIRVIEW CIRCLE ; ALTERNATE #2 FRONT ELEVATION	BLDG E/9, APT #933 - FAIRVIEW CIRCLE ; ALTERNATE #2 FRONT ELEVATION
BLDG E/3, APT #911 - FAIRVIEW CIRCLE ; ALTERNATE #1 FRONT ELEVATION	BLDG E/9, APT #935 - FAIRVIEW CIRCLE ; BASIC FRONT ELEVATION
BLDG E/4, APT #913 - FAIRVIEW CIRCLE ; BASIC FRONT ELEVATION	BLDG E/14, APT #1728 - EDGERTON ST. ; BASIC FRONT ELEVATION
BLDG E/5, APT #915 - FAIRVIEW CIRCLE ; ALTERNATE #1 FRONT ELEVATION	BLDG E/14, APT #1724 - EDGERTON ST. ; ALTERNATE #1 FRONT ELEVATION (1/2 "E" BLDG)
BLDG E/6, APT #923 - FAIRVIEW CIRCLE ; ALTERNATE #1 FRONT ELEVATION	BLDG E/15, APT #1720 - EDGERTON ST. ; BASIC FRONT ELEVATION

**A3.0.01 DEMOLITION FLOOR PLAN, THREE BEDROOM UNIT ; NC 15-1**

SCALE 1/4" = 1'-0"

BUILDING TYPE 'E'



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DEMOLITION FLOOR PLAN,  
 THREE BEDROOM UNIT -  
 BUILDING TYPE "E" ;  
 NC 15-1

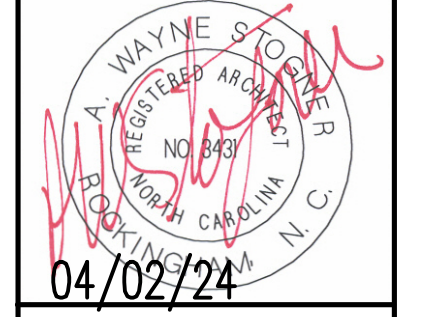
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**A3.0**

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SEE SHEET A2.1 FOR RENOVATION KEYNOTES



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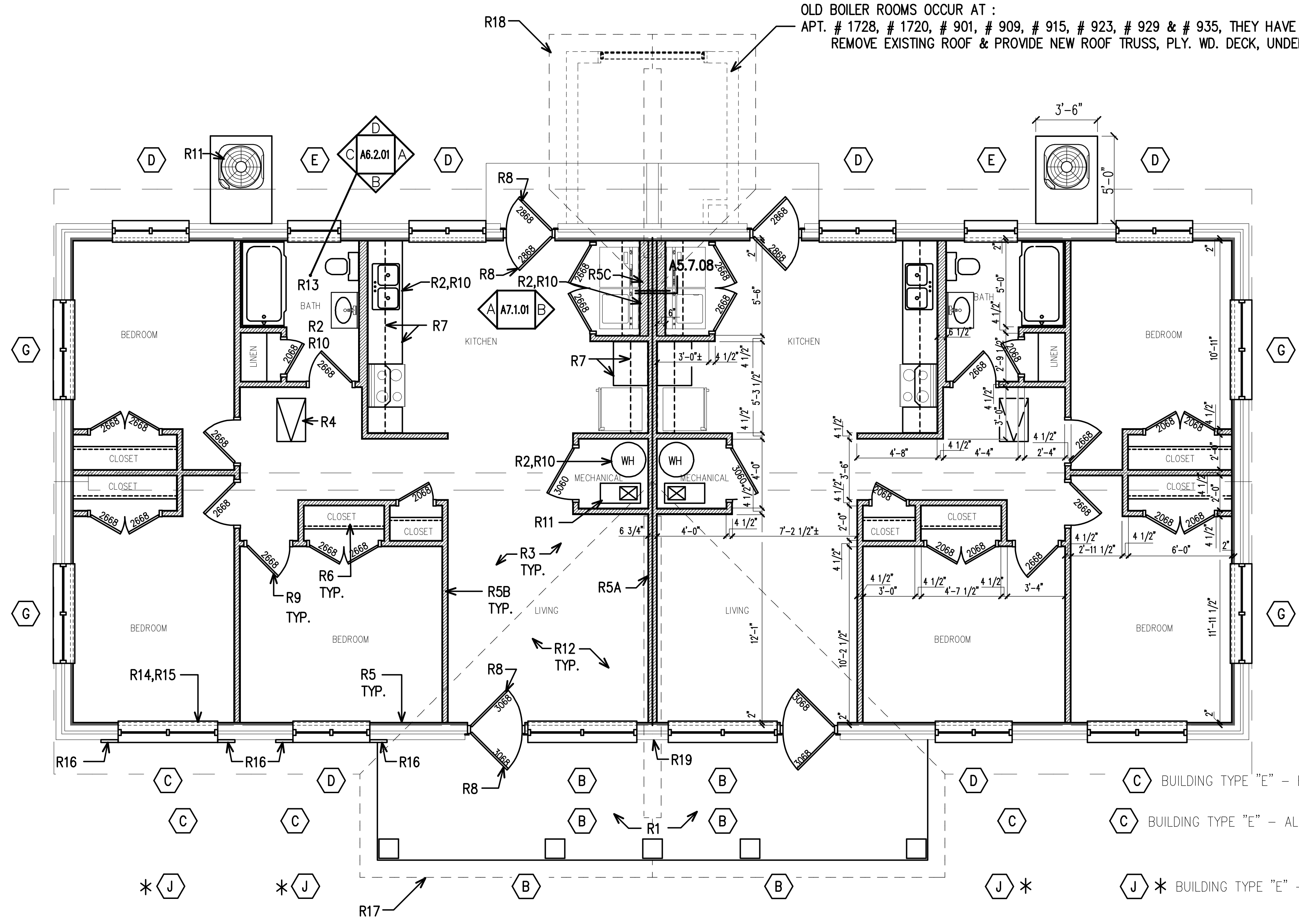
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NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
GOLDSBORO NORTH CAROLINA

RENOVATION FLOOR PLAN,  
THREE BEDROOM UNIT -  
BUILDING TYPE "E" ;  
NC 15-1

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DATE APRIL 2, 2024  
SHEET NO.

A3.1

OLD BOILER ROOMS OCCUR AT :  
APT. # 1728, # 1720, # 901, # 909, # 915, # 923, # 929 & # 935, THEY HAVE FLAT MEMBRANE ROOF,  
REMOVE EXISTING ROOF & PROVIDE NEW ROOF TRUSS, PLY. WD. DECK, UNDERLAYMENT & SHINGLES.



C BUILDING TYPE "E" - BASIC FRONT ELEVATION

C BUILDING TYPE "E" - ALTERNATE #1 FRONT ELEVATION

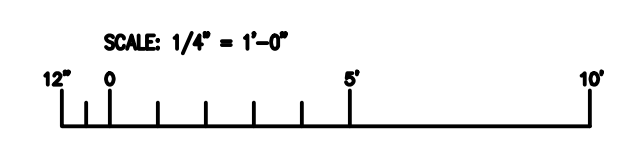
J \* BUILDING TYPE "E" - ALTERNATE #2 FRONT ELEVATION

NOTE : WINDOW LOCATION VARIES DUE TO DOOR LAYOUT

A3.1.01 RENOVATION FLOOR PLAN, THREE BEDROOM UNIT ; NC 15-1

SCALE 1/4" = 1'-0"

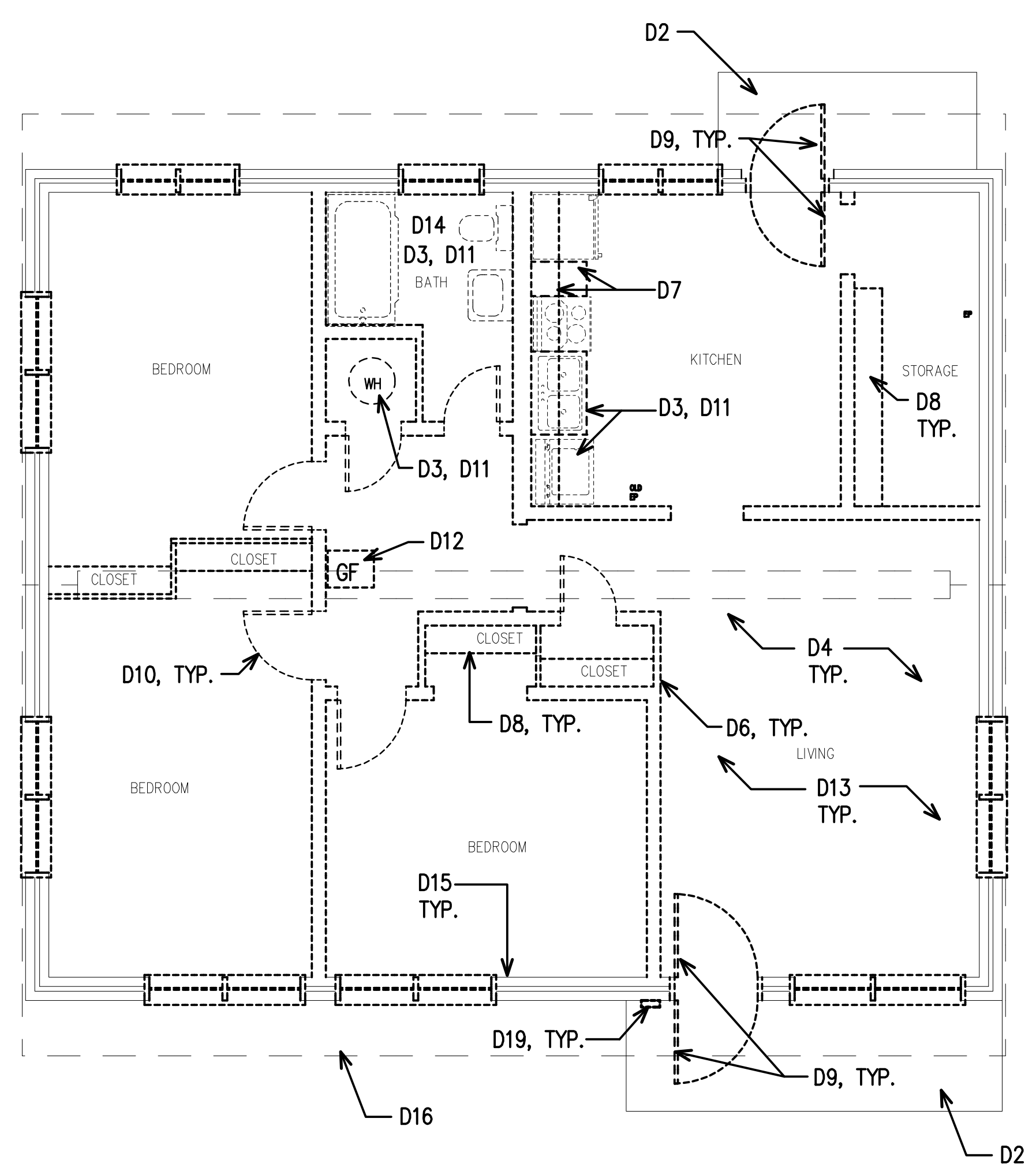
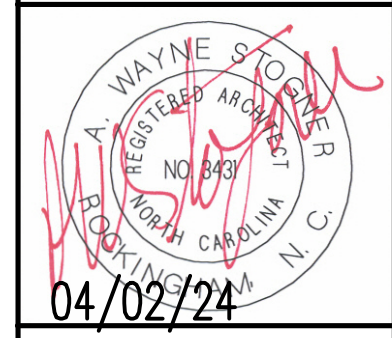
BUILDING TYPE 'E'



C:\HUD PROJECTS\Goldsboro HA\6041-B Fairview Site Rehab\DRAWINGS\CADD Drawings\6041-B A2.0-A4.6 & A11.0-A12.5 FP-ELEV.aec

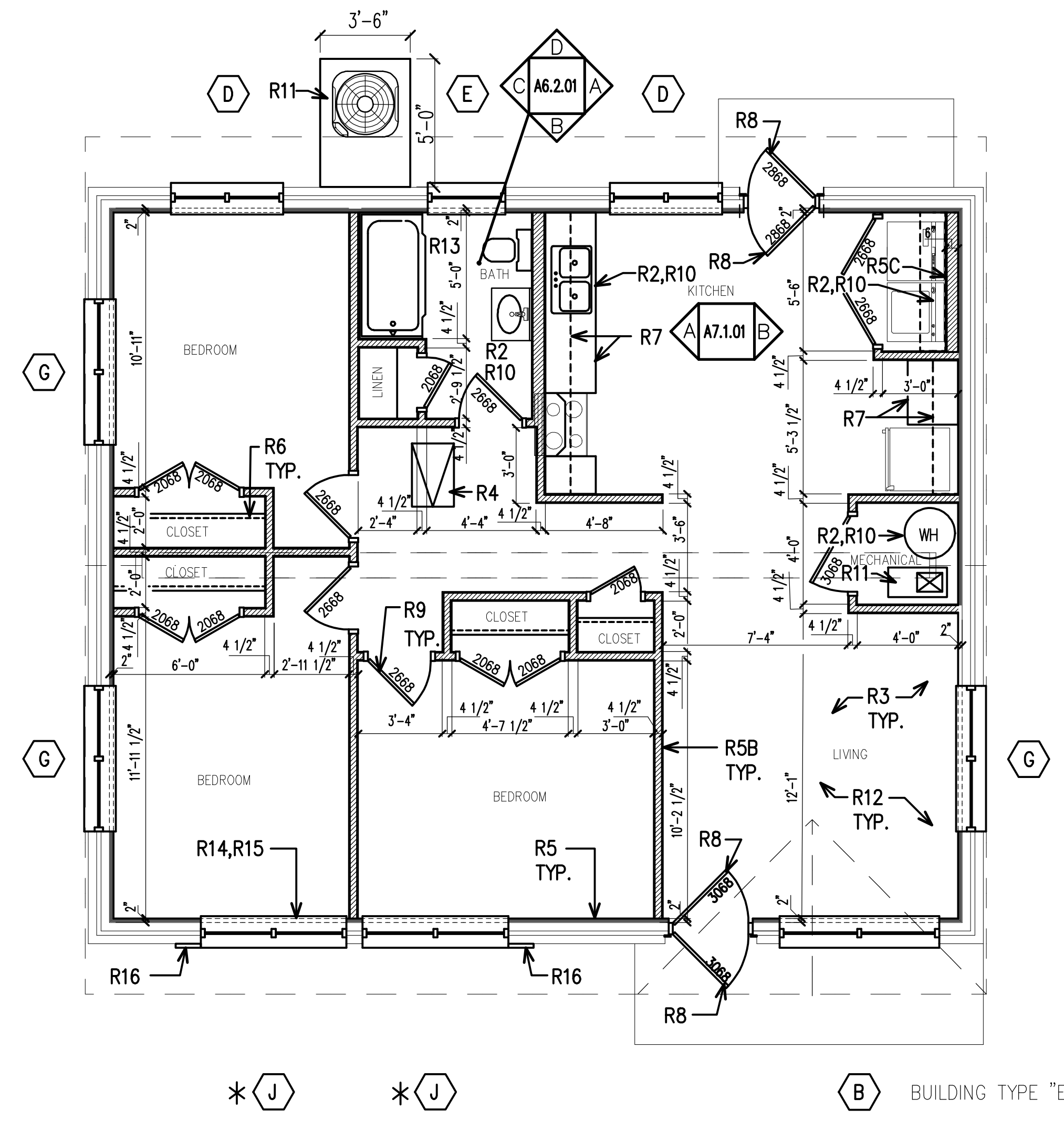
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SEE SHEET A2.0 FOR DEMOLITION KEYNOTES  
SEE SHEET A2.1 FOR RENOVATION KEYNOTES



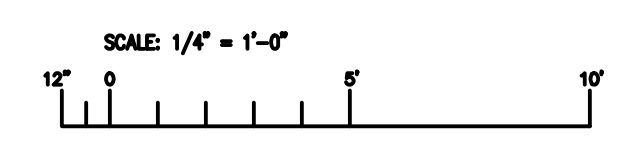
FRONT WINDOW SIZES VARY, SEE ELEVATIONS  
BLDG E-1/14, APT #1724 - EDGERTON ST. ; ALTERNATE #2 FRONT ELEVATION

**A3.2.01 DEMOLITION FLOOR PLAN, THREE BEDROOM UNIT ; NC 15-1**  
SCALE 1/4" = 1'-0" BUILDING TYPE 'E-1'



BUILDING TYPE "E" - ALTERNATE #2 FRONT ELEVATION

**A3.2.02 RENOVATION FLOOR PLAN, THREE BEDROOM UNIT ; NC 15-1**  
SCALE 1/4" = 1'-0" BUILDING TYPE 'E-1'



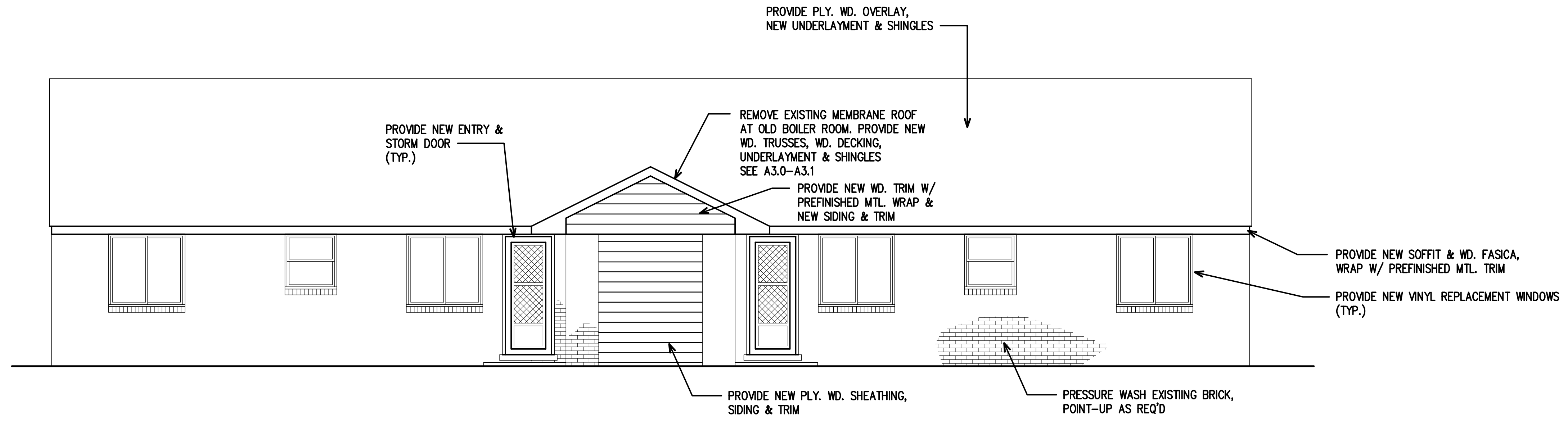
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NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
GOLDSBORO NORTH CAROLINA

DEMOLITION/RENOVATION FLOOR PLAN, THREE BEDROOM UNIT - BUILDING TYPE "E-1" ; NC 15-1	
6041-B\A3.2.AEC	6041-B
COMM. NO.	6041-B
DRAWN BY	WBP
CHECKED BY	AWB
DATE	APRIL 2, 2024
SHEET NO.	A3.2

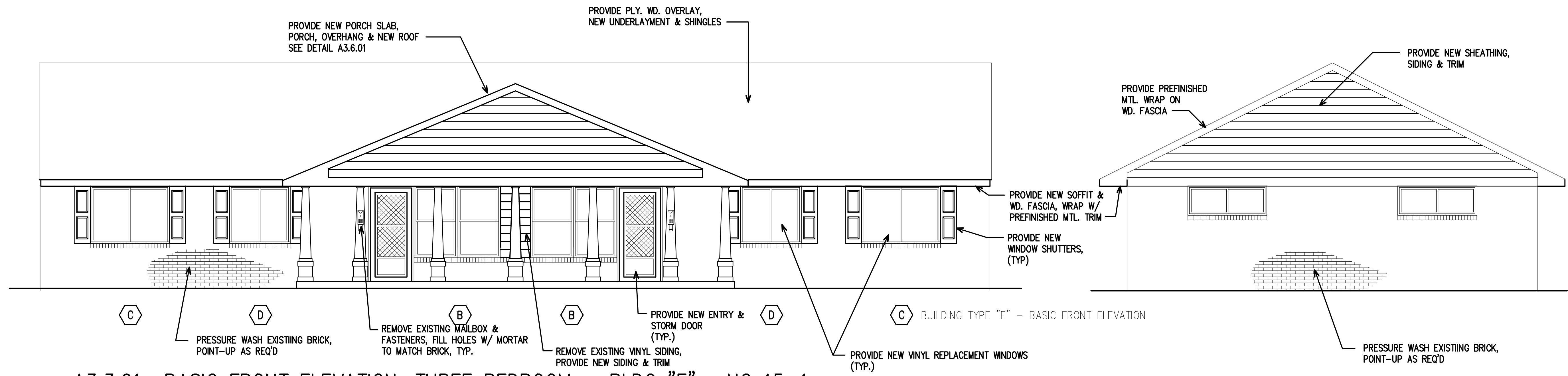


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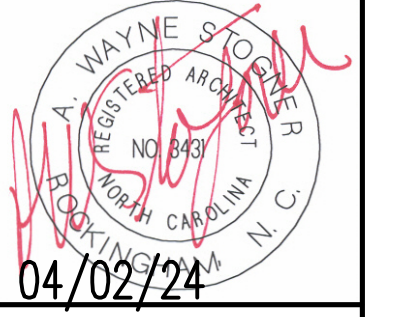
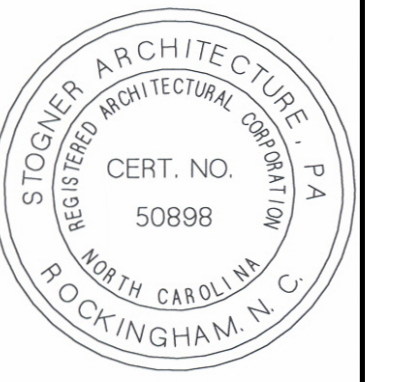
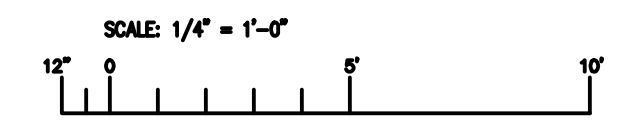
**A3.3.02 BASIC REAR ELEVATION, THREE BEDROOM - BLDG "E" ; NC 15-1**

SCALE 1/4" = 1'-0"



**A3.3.01 BASIC FRONT ELEVATION, THREE BEDROOM - BLDG "E" ; NC 15-1**

SCALE 1/4" = 1'-0"



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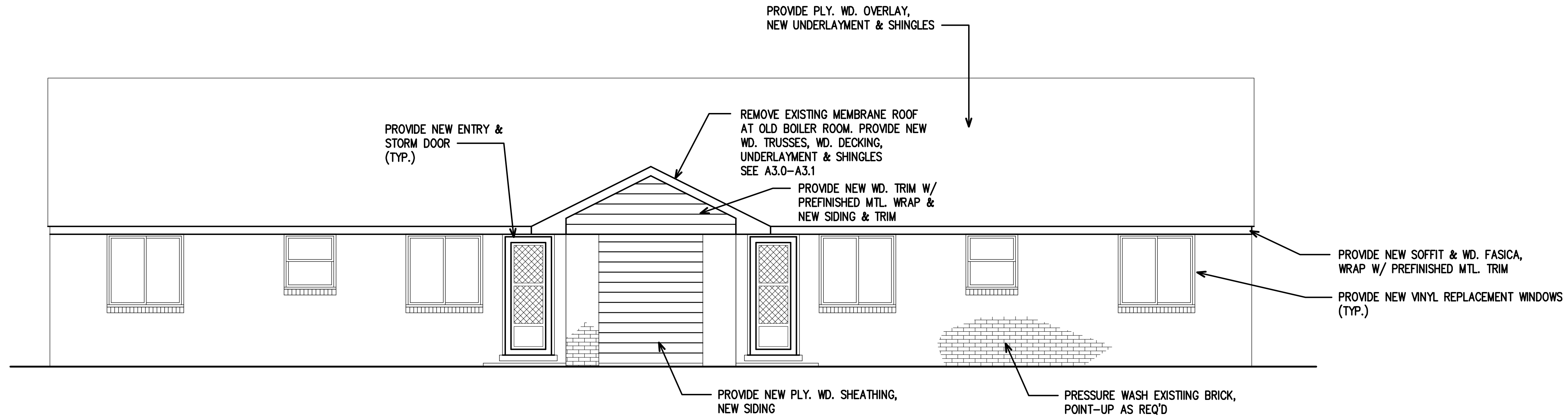
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 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
 GOLDSBORO NORTH CAROLINA

BASIC FRONT ELEVATION, THREE BEDROOM UNIT - BUILDING TYPE "E" ;

NC 15-1  
 6041-B\A3.3.AEC  
 COMM. NO. 6041-B  
 DRAWN BY WBP  
 CHECKED BY AWS  
 DATE APRIL 2, 2024

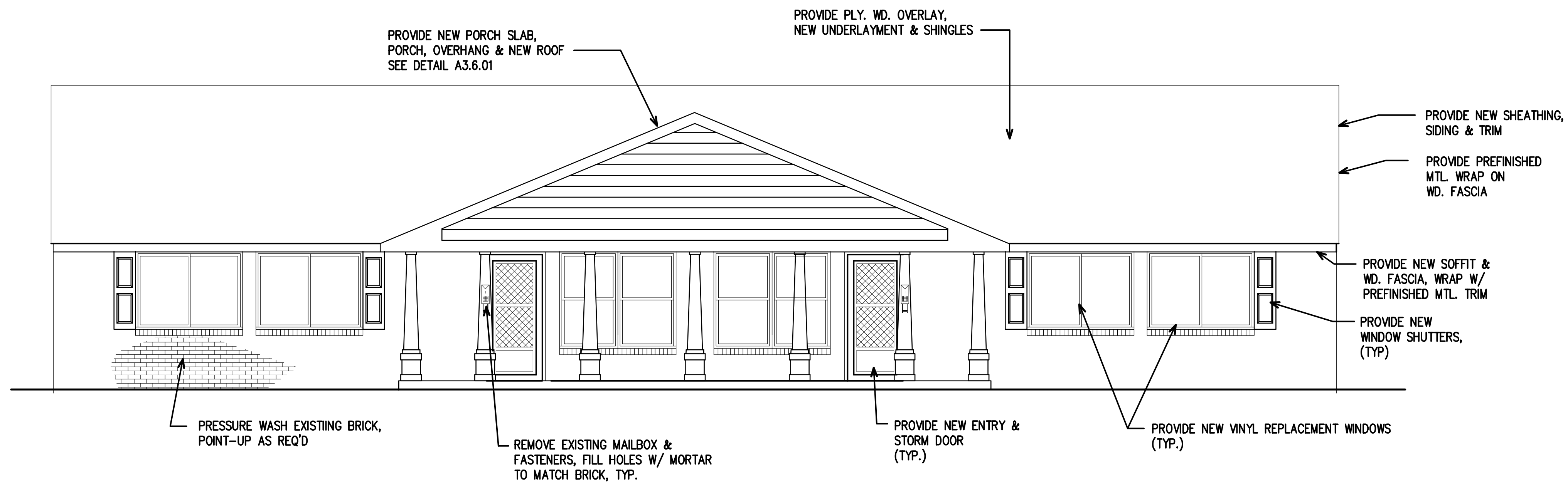
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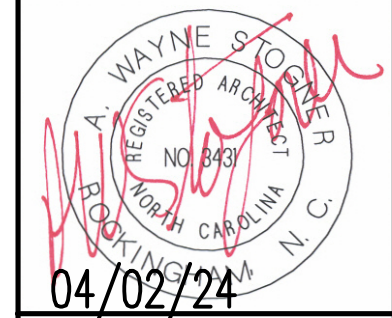
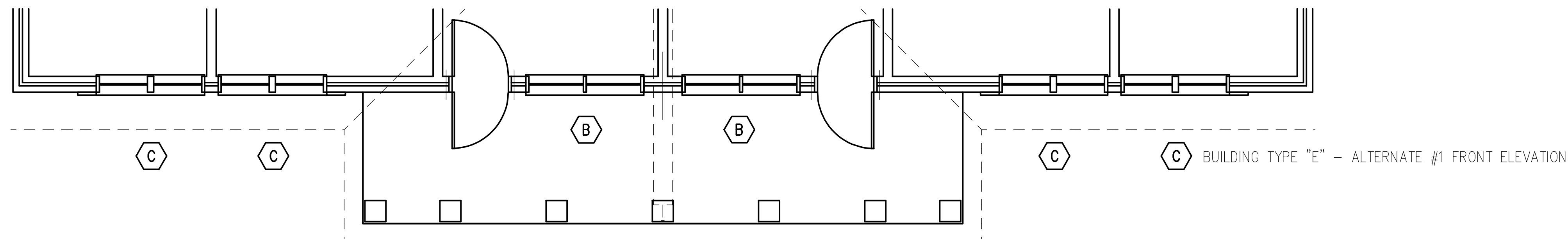
**A3.4.02 BASIC REAR ELEVATION, THREE BEDROOM - BLDG "E" ; NC 15-1**

SCALE 1/4" = 1'-0"



**A3.4.01 ALTERNATE #1 FRONT ELEVATION, THREE BEDROOM - BLDG "E" ; NC 15-1**

SCALE 1/4" = 1'-0"



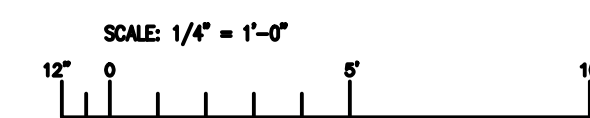
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GOLDSBORO NORTH CAROLINA

ALTERNATE #1  
FRONT ELEVATION,  
THREE BEDROOM UNIT -  
BUILDING TYPE "E" ;  
NC 15-1

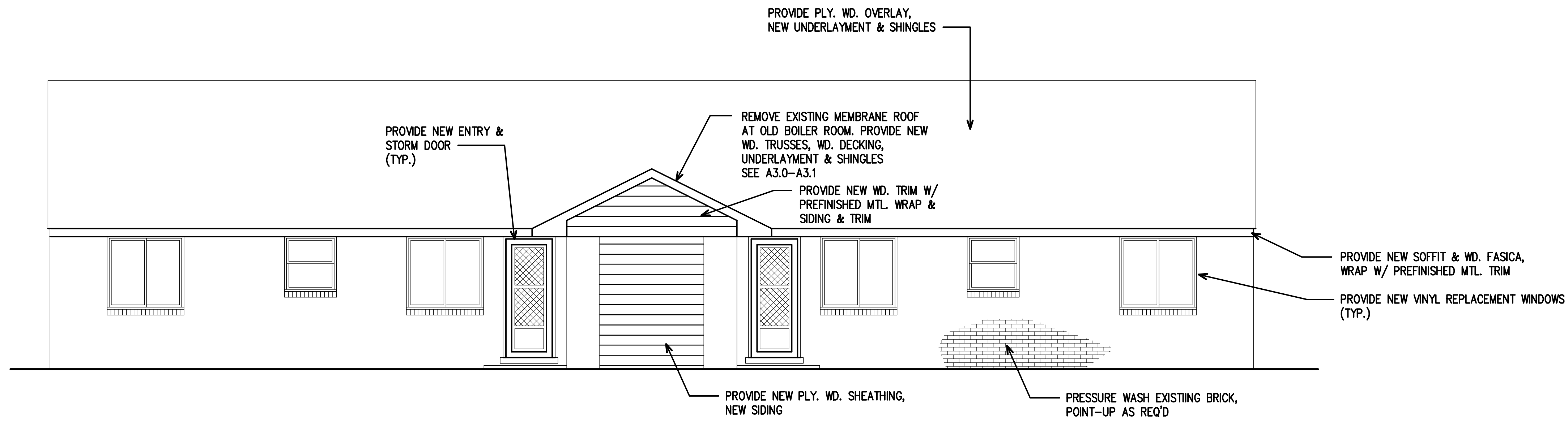
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COMM. NO. 6041-B  
DRAWN BY WBP  
CHECKED BY AWS  
DATE APRIL 2, 2024  
SHEET NO.

**A3.4**



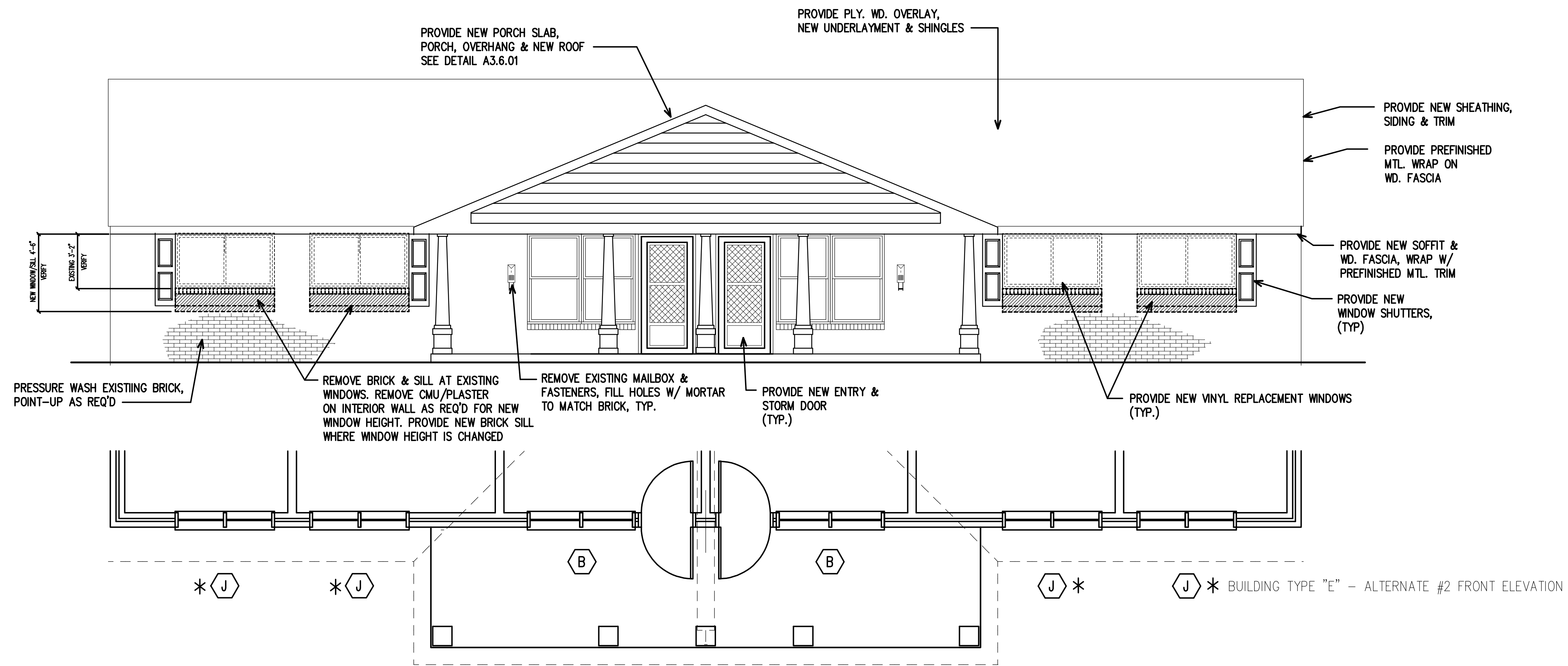


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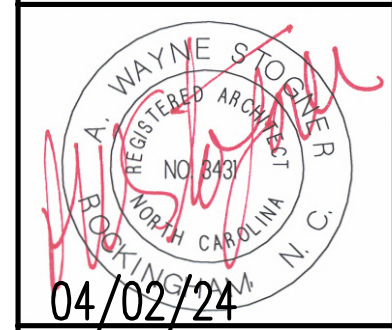
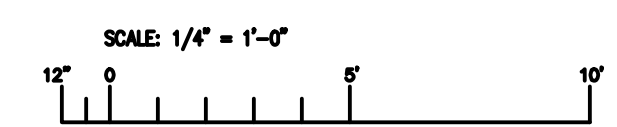
**A3.5.02 BASIC REAR ELEVATION, THREE BEDROOM – BLDG "E" ; NC 15-1**

SCALE 1/8" = 1'-0"



**A3.5.01 ALTERNATE #2 FRONT ELEVATION, THREE BEDROOM – BLDG "E" ; NC 15-1**

SCALE 1/4" = 1'-0"



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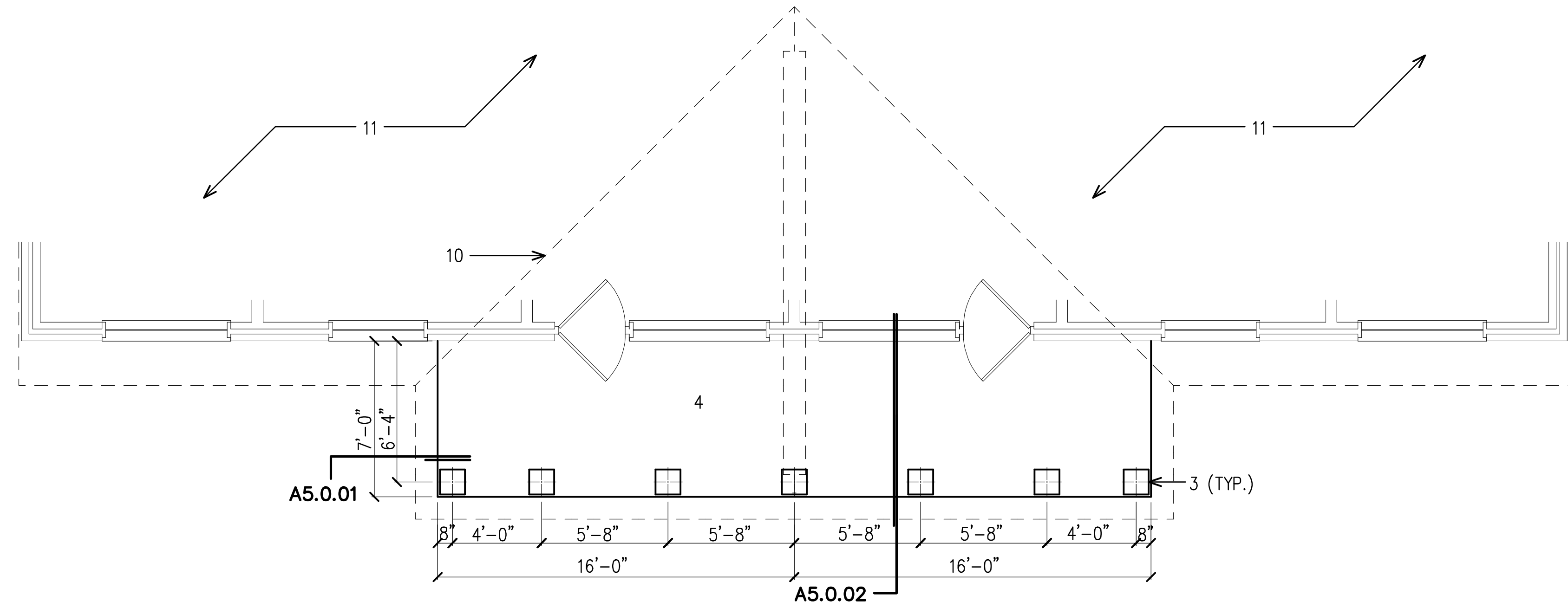
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 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
 GOLDSBORO NORTH CAROLINA

ALTERNATE #2  
 FRONT ELEVATION,  
 THREE BEDROOM UNIT –  
 BUILDING TYPE "E" ;  
 NC 15-1

6041-B\A3.5.AEC  
 COMM. NO. 6041-B  
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 DATE APRIL 2, 2024

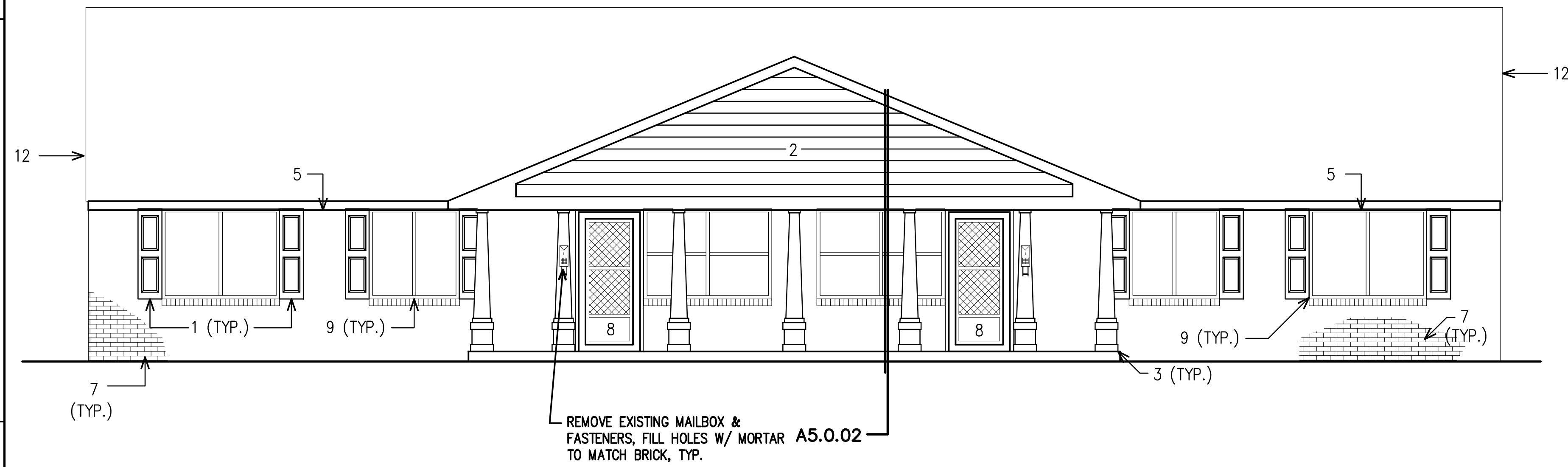
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**A3.6.01 REVISED PORCH/ROOF PLAN, THREE BEDROOM UNIT – BUILDING TYPE "E" ; NC 15-1**

SCALE: 1/4" = 1'-0"

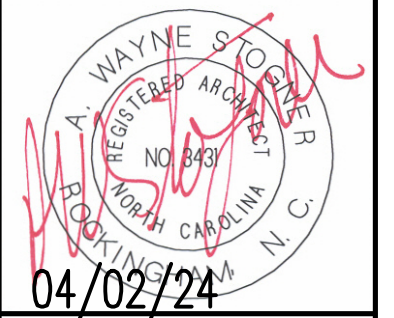


**A3.6.02 REVISED ELEVATION, THREE BEDROOM UNIT – BUILDING TYPE "E" ; NC 15-1**

SCALE: 1/4" = 1'-0"

**KEYNOTES – REVISED PORCH/ROOF, FRONT ELEVATION**

1. PROVIDE NEW WINDOW SHUTTERS.
2. PROVIDE NEW SIDING AND TRIM.
3. PROVIDE NEW PORCH COLUMN.
4. PROVIDE NEW FRONT PORCH SLAB. POUR WITH 3000PSI CONCRETE.
5. REMOVE EXISTING METAL WRAP FROM FREIZE BOARD AND EXISTING WOOD, VENTED SOFFIT. PROVIDE NEW 2x6 WOOD FASCIA AND SOFFIT CONTINUOUS. WRAP FASCIA WITH NEW PRE FINISHED METAL. SEE DETAIL A5.5.
6. NOT USED.
7. EXISTING BRICK. CLEAN, PATCH AND POINT-UP AS REQUIRED.
8. EXISTING ENTRY DOOR AND STORM DOOR TO BE REPLACED.
9. EXISTING WINDOWS TO BE REPLACED.
10. PROVIDE NEW PORCH, OVERHANG AND ROOF.
11. EXISTING ROOF, SEE SHEET A1.0-A1.6 FOR WORK ASSOCIATED WITH ROOF.
12. REMOVE EXISTING SIDING, TRIM & SHEATHING COMPLETE. PROVIDE NEW SIDING AND TRIM.



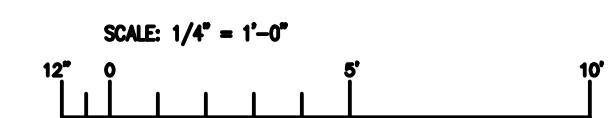
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 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
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REVISED PORCH/ROOF PLAN, FRONT ELEVATION, THREE BEDROOM UNIT – BUILDING TYPE "E" ; NC 15-1

6041-B\A3.6.AEC  
 COMM. NO. 6041-B  
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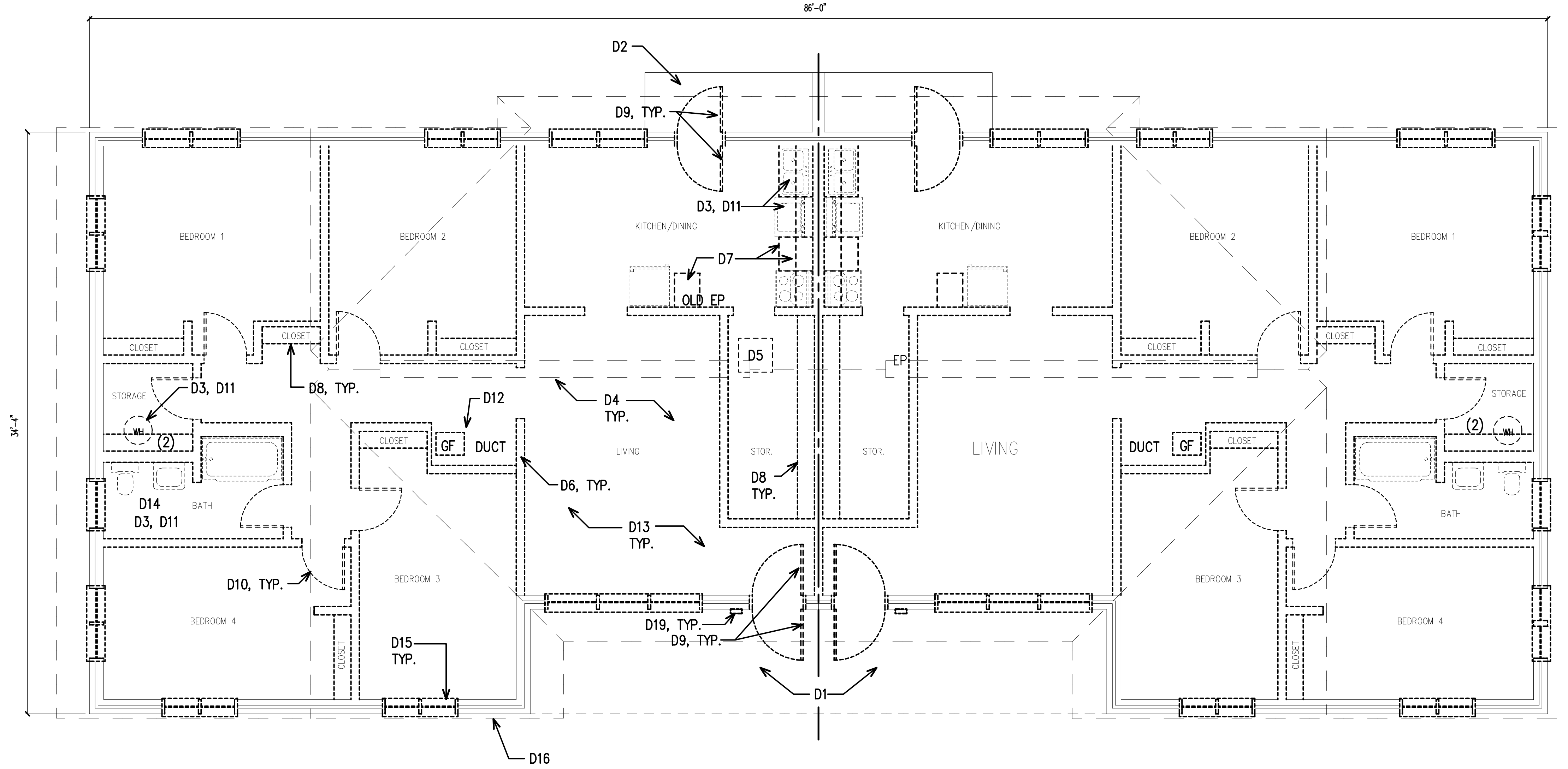
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SEE SHEET A2.0 FOR DEMOLITION KEYNOTES

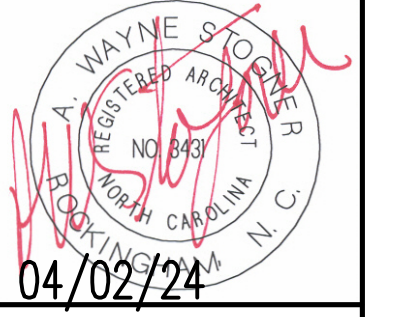
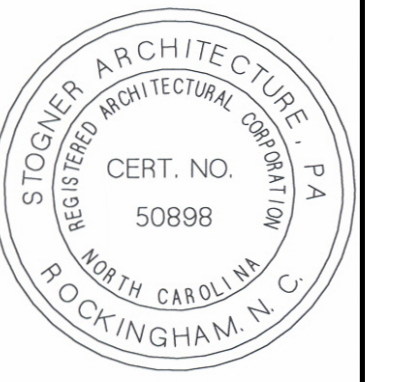
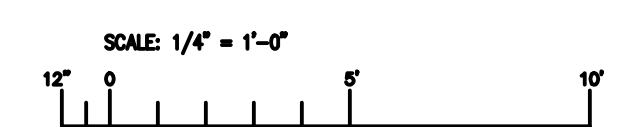


FRONT WINDOW SIZES VARY, SEE ELEVATIONS  
 BLDG F/1, APT #1711 - EDGERTON ST. ; BASIC FRONT ELEVATION  
 BLDG F/6, APT #921 - FAIRVIEW CIRCLE ; BASIC FRONT ELEVATION  
 BLDG F/7, APT #925 - FAIRVIEW CIRCLE ; ALTERNATE #1 FRONT ELEVATION  
 BLDG F/9, APT #937 - FAIRVIEW CIRCLE ; BASIC FRONT ELEVATION  
 BLDG F-1/15, APT #1722 - EDGERTON ST. ; BASIC FRONT ELEVATION  
 BLDG F/15, APT #1718 - EDGERTON ST. ; ALTERNATE #1 FRONT ELEVATION

**A4.0.01 DEMOLITION FLOOR PLAN, FOUR BEDROOM UNIT ; NC 15-1**

SCALE 1/4" = 1'-0"

BUILDING TYPE 'F'



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 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
 GOLDSBORO NORTH CAROLINA

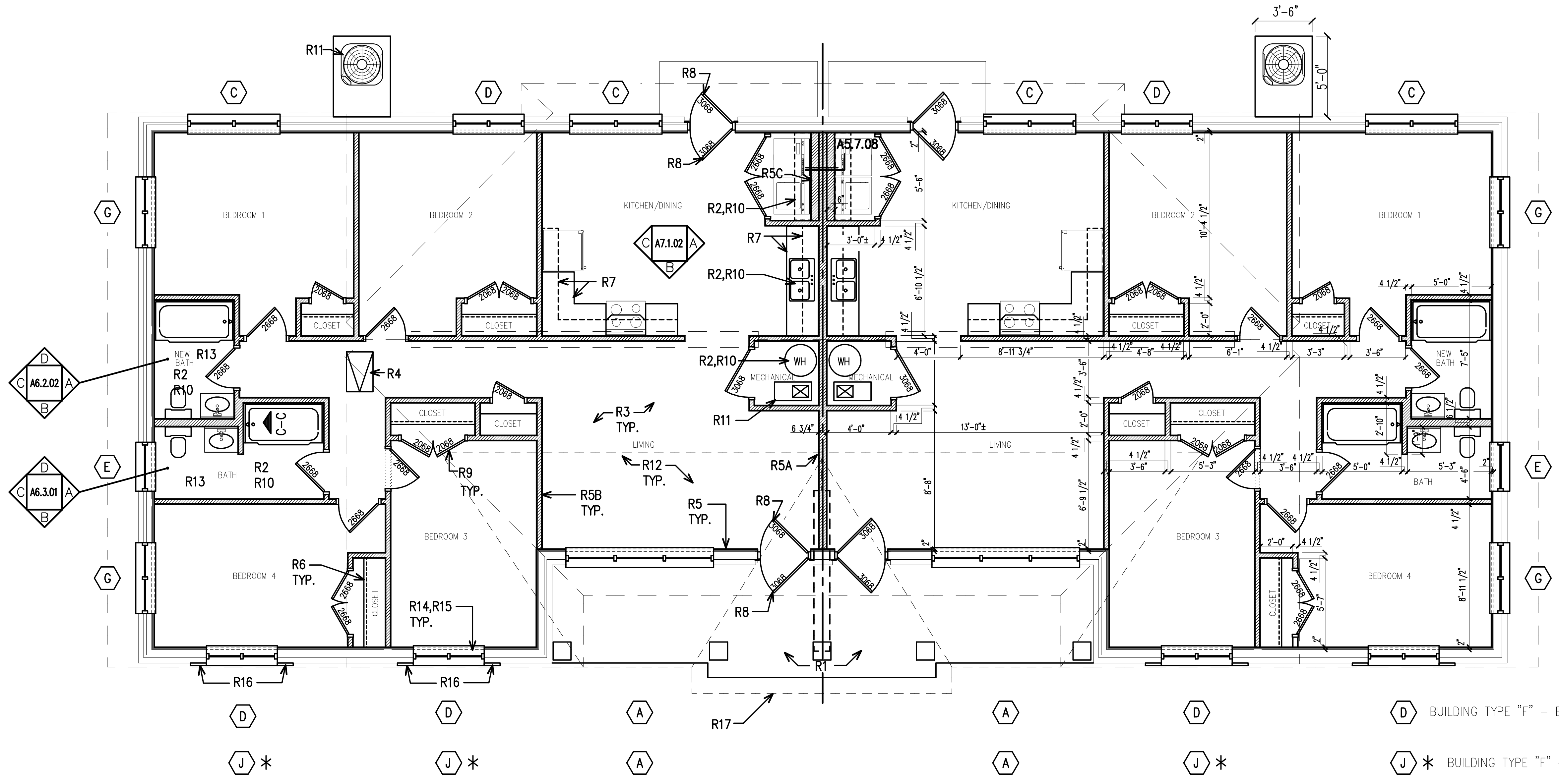
DEMOLITION FLOOR PLAN,  
 FOUR BEDROOM UNIT - 1  
 BUILDING TYPE "F";  
 NC 15-1

6041-B\A4.0.AEC  
 COMM. NO. 6041-B  
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 CHECKED BY AWS  
 DATE APRIL 2, 2024  
 SHEET NO.

**A4.0**

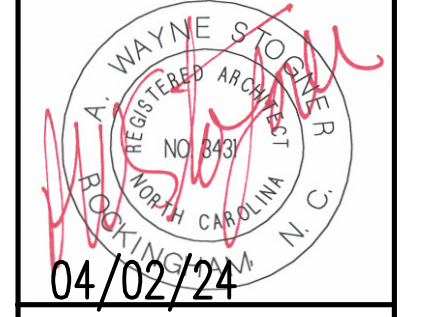
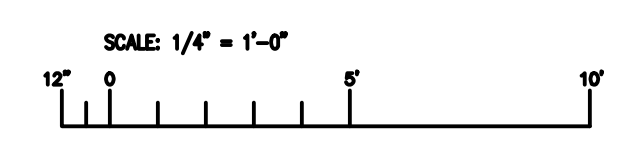
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SEE SHEET A2.1 FOR RENOVATION KEYNOTES



**A4.1.01 RENOVATION FLOOR PLAN, FOUR BEDROOM UNIT ; NC 15-1**  
 SCALE 1/4" = 1'-0"  
 BUILDING TYPE 'F'

D BUILDING TYPE "F" - BASIC FRONT ELEVATION  
J\* BUILDING TYPE "F" - ALTERNATE #1 FRONT ELEVATION



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 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
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RENOVATION FLOOR PLAN,  
 FOUR BEDROOM UNIT -  
 BUILDING TYPE "F";  
 NC 15-1

6041-B\A4.1.AEC  
 COMM. NO. 6041-B  
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 DATE APRIL 2, 2024

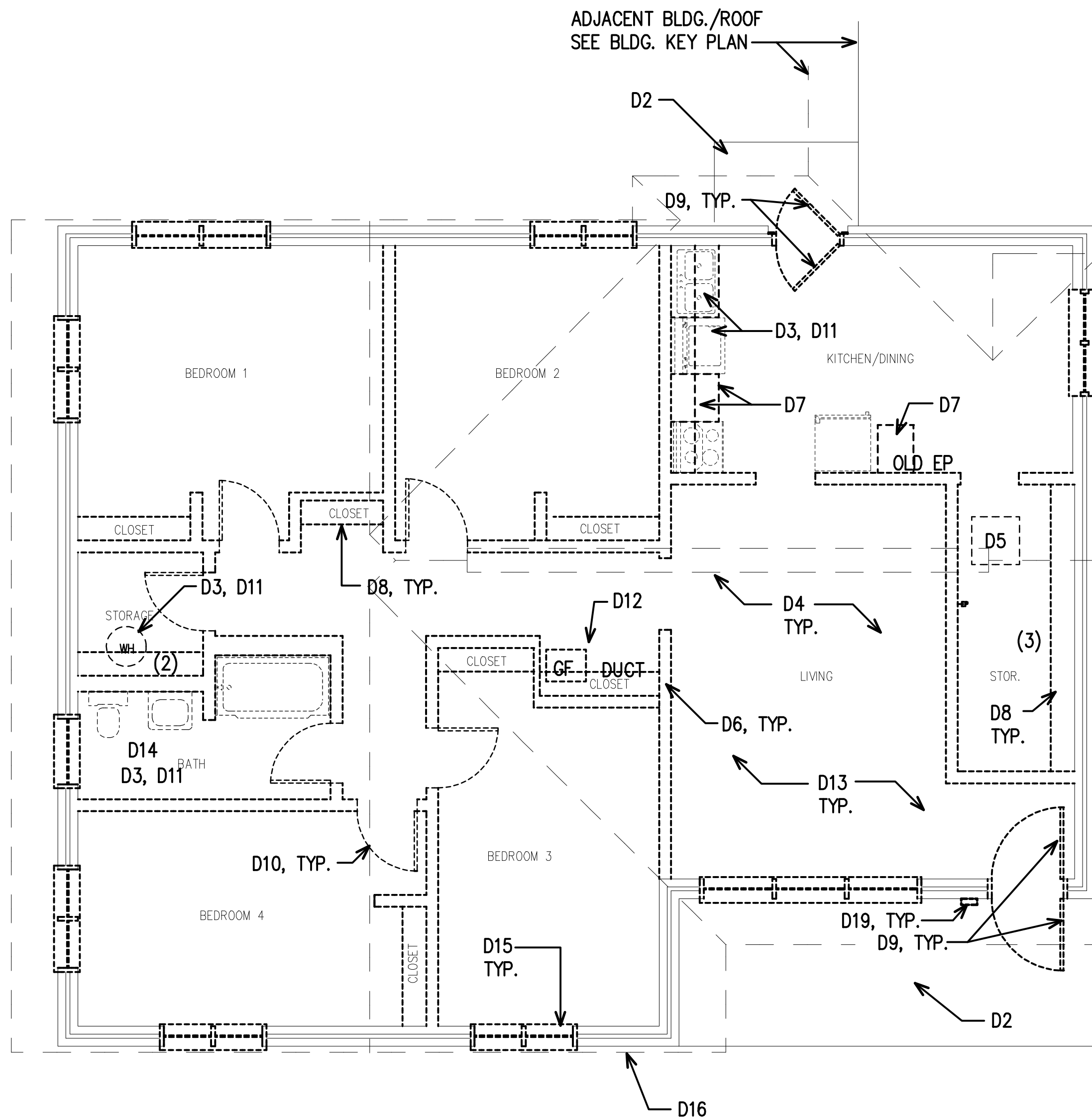
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SEE SHEET A2.0 FOR DEMOLITION KEYNOTES

SEE SHEET A2.1 FOR RENOVATION KEYNOTES

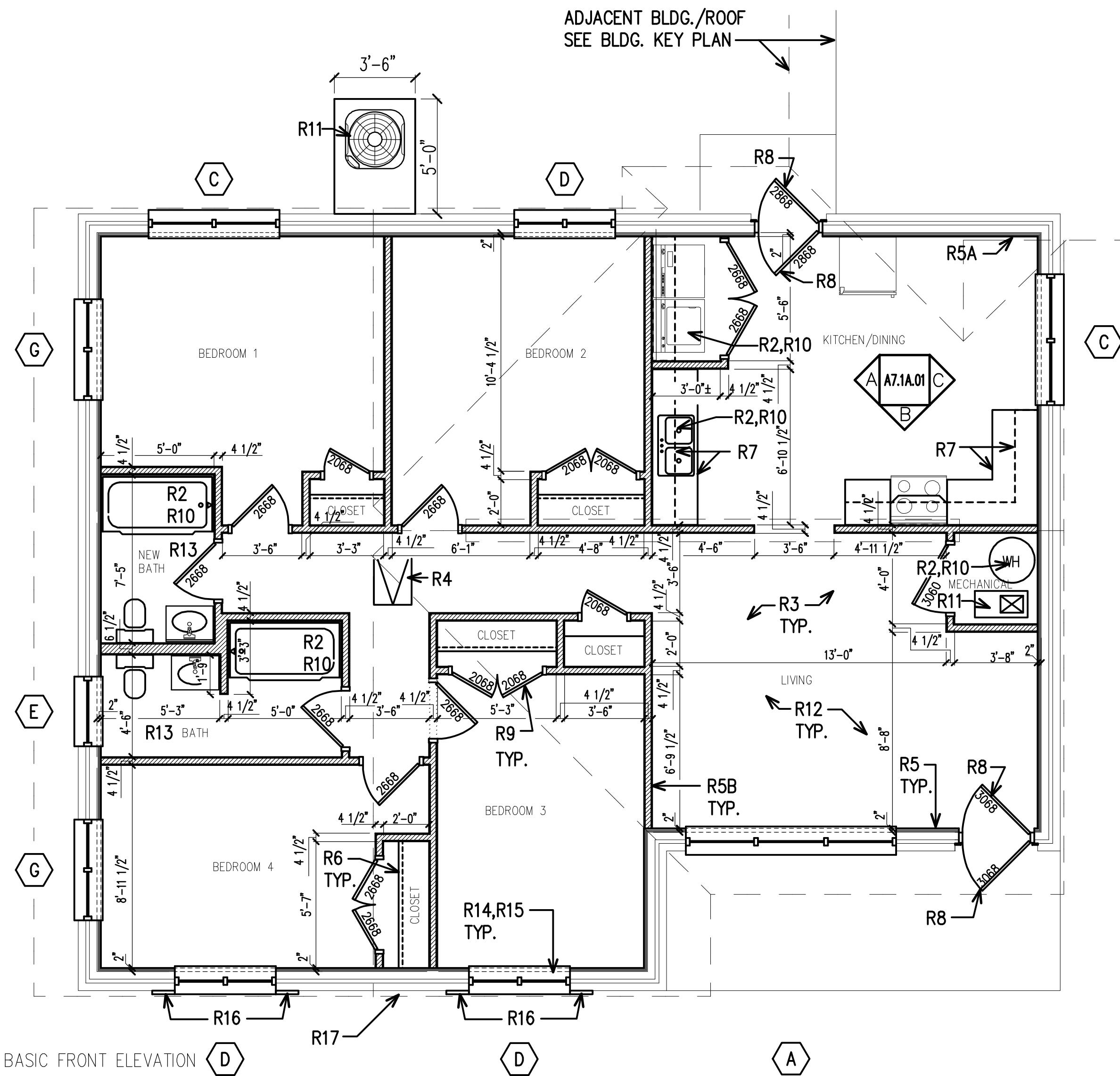


FRONT WINDOW SIZES VARY, SEE ELEVATIONS  
BLDG F-1/15, APT #1722 - EDGERTON ST. ; BASIC FRONT ELEVATION

**A4.2.01 DEMOLITION FLOOR PLAN, FOUR BEDROOM UNIT ; NC 15-1**

SCALE 1/4" = 1'-0"

BUILDING TYPE 'F-1'

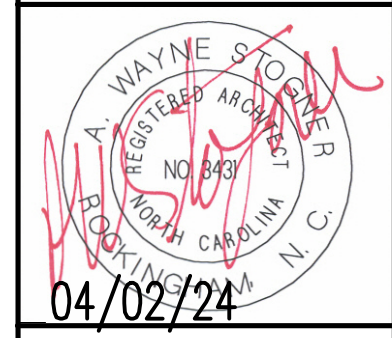
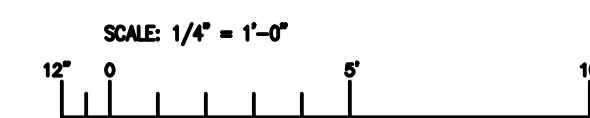


BUILDING TYPE "F-1" - BASIC FRONT ELEVATION

**A4.2.02 RENOVATION FLOOR PLAN, FOUR BEDROOM UNIT ; NC 15-1**

SCALE 1/4" = 1'-0"

BUILDING TYPE 'F-1'



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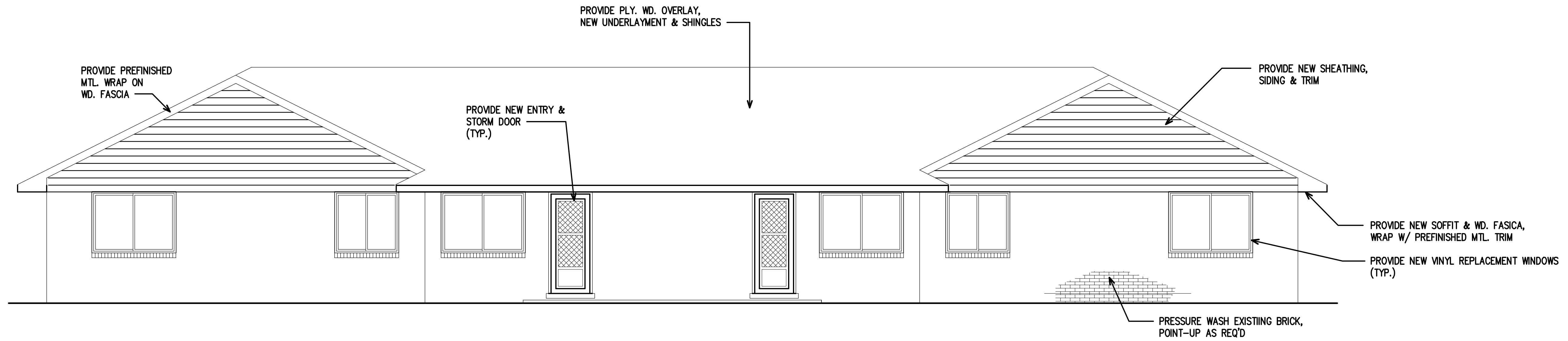
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NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
GOLDSBORO NORTH CAROLINA

DEMOLITION/RENOVATION FLOOR PLAN, FOUR BEDROOM UNIT - BUILDING TYPE "F-1" ; NC 15-1

6041-B, A4.2 .AEC  
COMM. NO. 6041-B  
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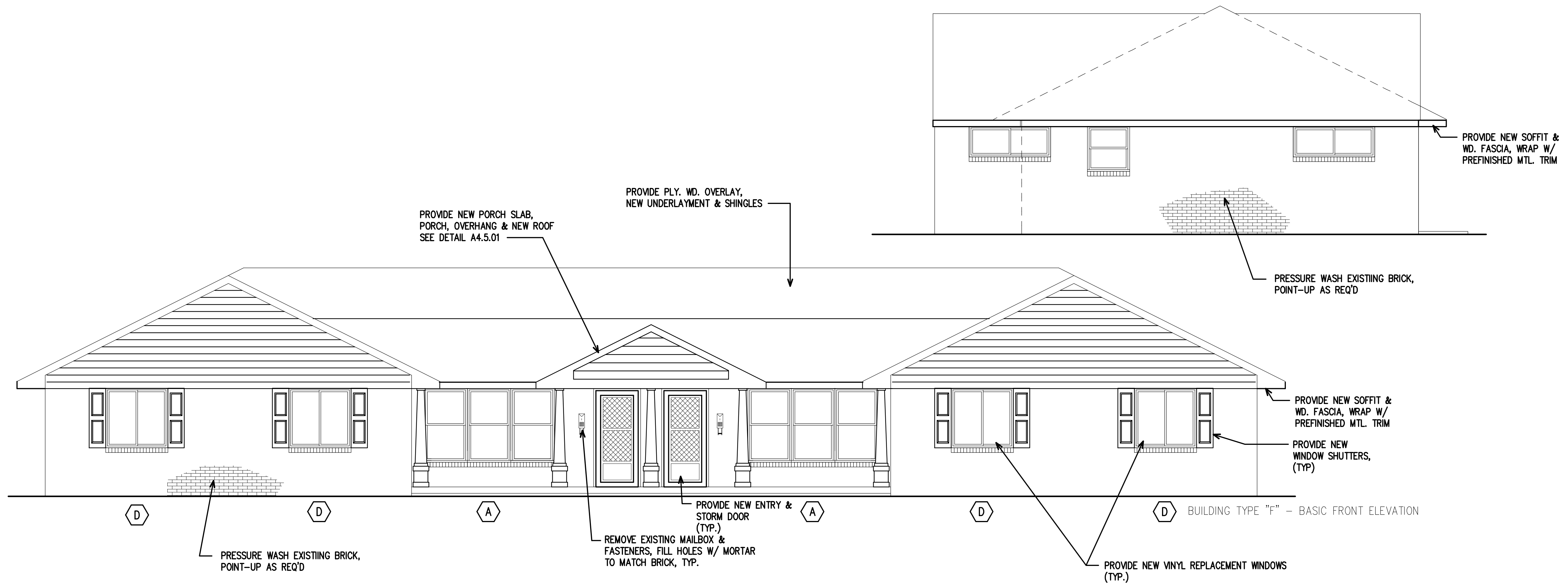
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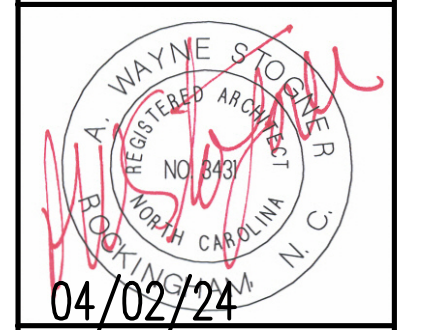
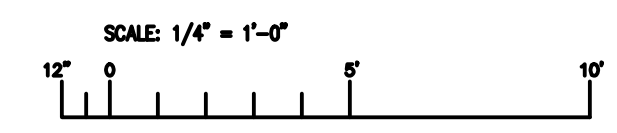
### A4.3.02 BASIC REAR ELEVATION, FOUR BEDROOM – BLDG "F" ; NC 15-1

SCALE 1/4" = 1'-0"



### A4.3.01 BASIC FRONT ELEVATION, FOUR BEDROOM – BLDG "F" ; NC 15-1

SCALE 1/4" = 1'-0"



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 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
 GOLDSBORO NORTH CAROLINA

BASIC FRONT ELEVATION, FOUR BEDROOM UNIT  
 BUILDING TYPE "F" ;

NC 15-1

6041-B\A4.3.AEC

COMM. NO. 6041-B

DRAWN BY WBP

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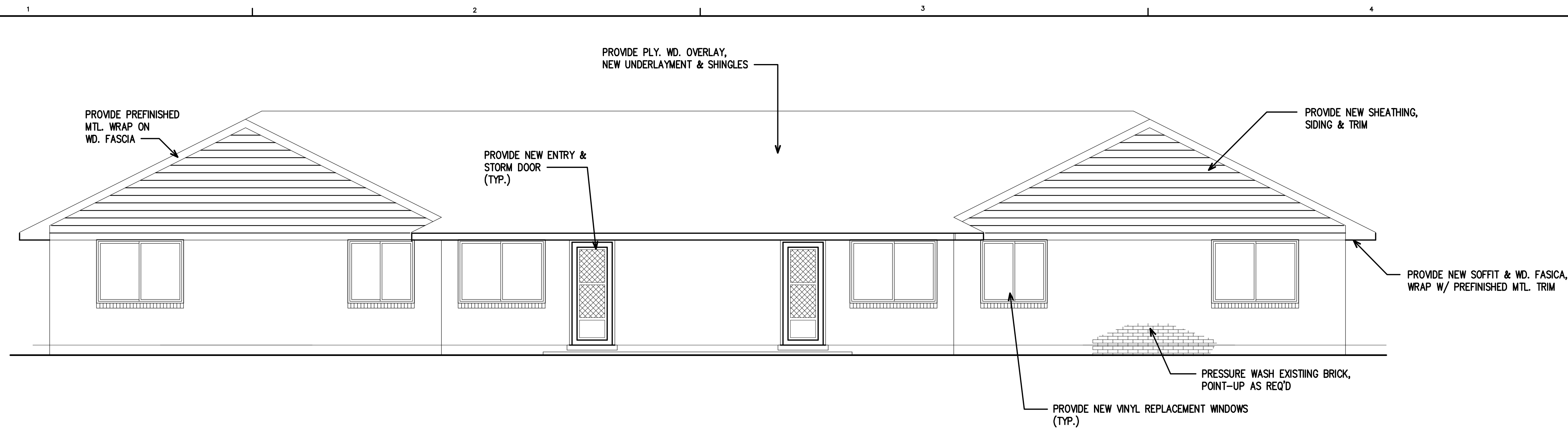
DATE APRIL 2, 2024

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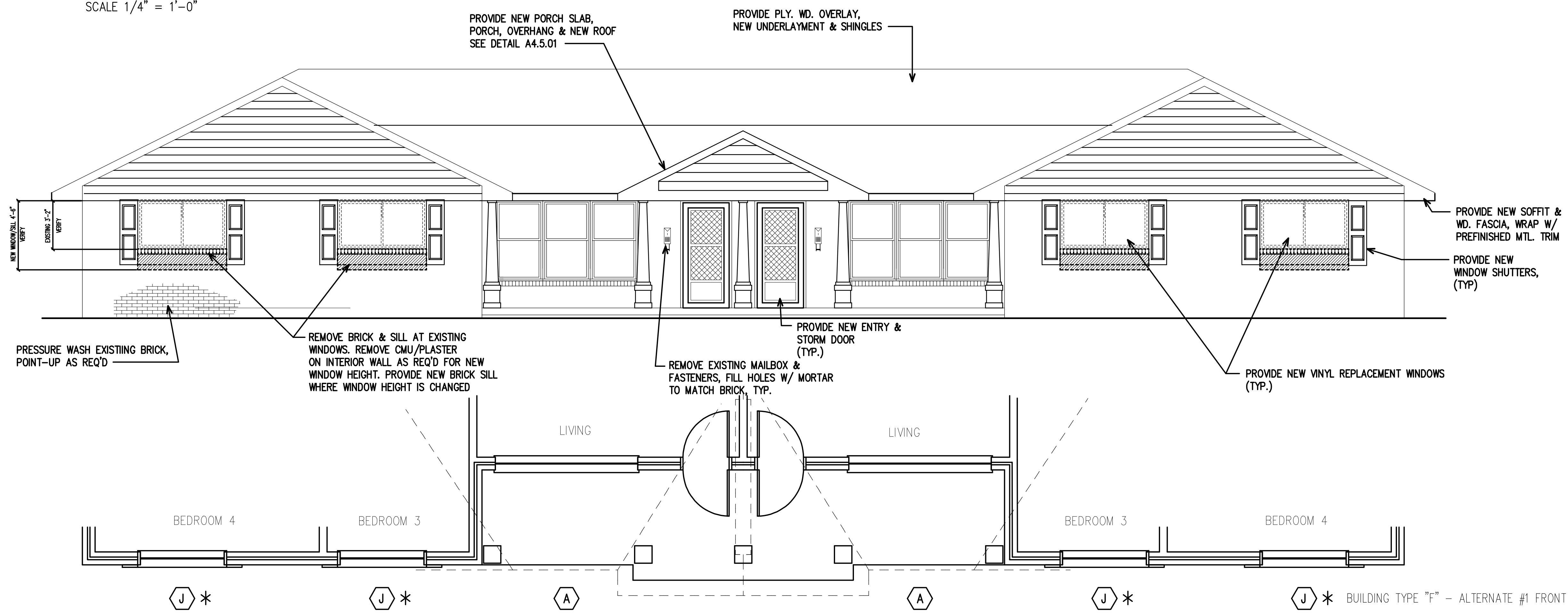
A4.3



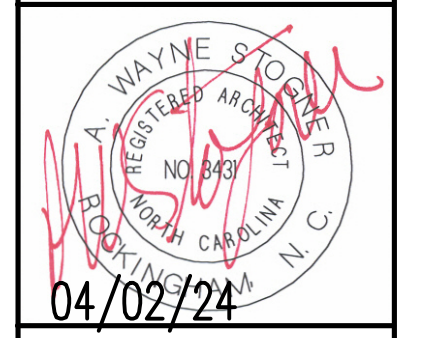
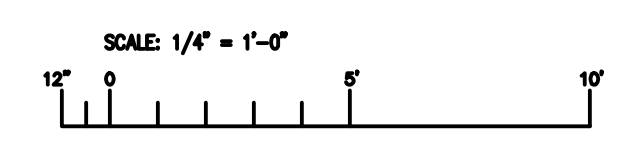
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**A4.4.02 BASIC REAR ELEVATION, FOUR BEDROOM – BLDG "F" ; NC 15-1**  
 SCALE 1/4" = 1'-0"



**A4.4.01 ALTERNATE #1 FRONT ELEVATION, FOUR BEDROOM – BLDG "F" ; NC 15-1**  
 SCALE 1/4" = 1'-0"



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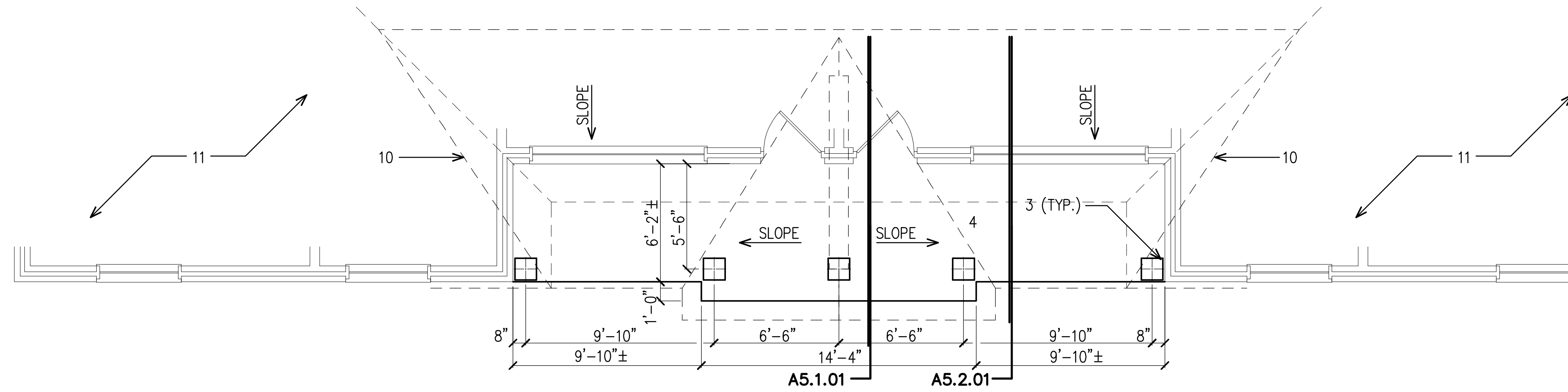
**Housing Authority of the City of Goldsboro**  
 RENOVATIONS – FAIRVIEW APARTMENTS  
 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
 GOLDSBORO NORTH CAROLINA

ALTERNATE #1  
 FRONT ELEVATION,  
 FOUR BEDROOM UNIT –  
 BUILDING TYPE "F" ;  
 NC 15-1

6041-B\A4.AEC  
 COMM. NO. 6041-B  
 DRAWN BY WBP  
 CHECKED BY AWS  
 DATE APRIL 2, 2024

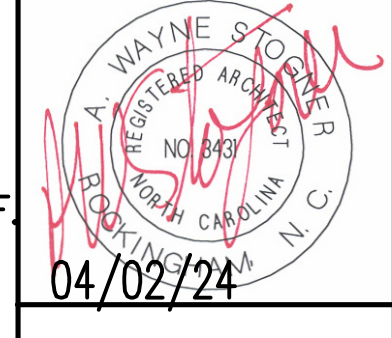
SHEET NO.  
**A4.4**

O:\HUD PROJECTS\Goldsboro HA\6041-B Fairview Site Rehab\DRAWINGS\CADD Drawings\6041-B A2.0-A4.6 & A11.0-A12.5 FP-ELEV.aec



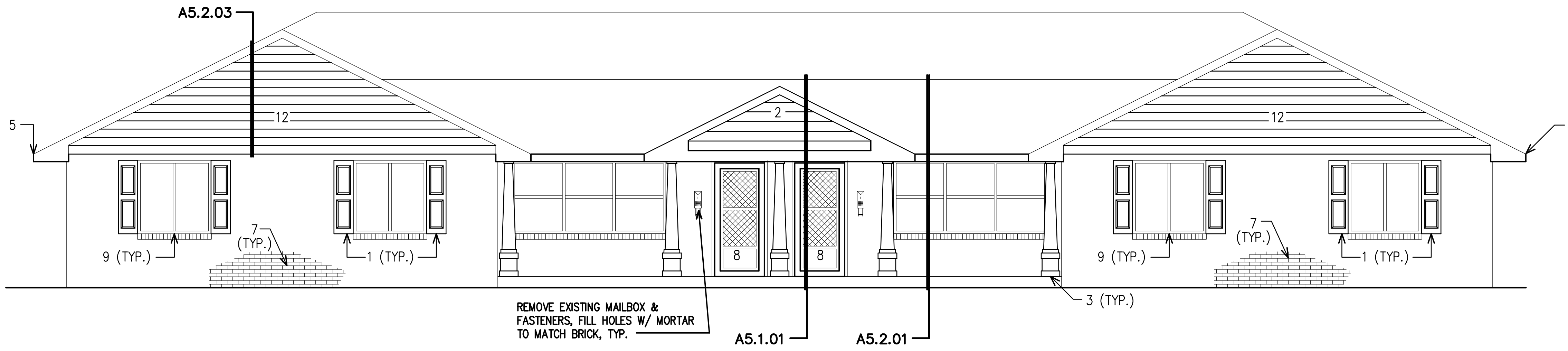
**KEYNOTES – REVISED PORCH/ROOF, FRONT ELEVATION**

1. PROVIDE NEW WINDOW SHUTTERS.
2. PROVIDE NEW SIDING AND TRIM.
3. PROVIDE NEW PORCH COLUMN.
4. PROVIDE NEW FRONT PORCH SLAD. POUR WITH 3000PSI CONCRETE.
5. REMOVE EXISTING METAL WRAP FROM FREIZE BOARD AND EXISTING WOOD, VENTED SOFFIT. PROVIDE NEW 2x6 WOOD FASCIA AND SOFFIT CONTINUOUS. WRAP FASCIA WITH NEW PRE FINISHED METAL. SEE DETAIL A5.5.
6. NOT USED.
7. EXISTING BRICK. CLEAN, PATCH AND POINT-UP AS REQUIRED.
8. EXISTING ENTRY DOOR AND STORM DOOR TO BE REPLACED.
9. EXISTING WINDOWS TO BE REPLACED.
10. PROVIDE NEW PORCH, OVERHANG AND ROOF.
11. EXISTING ROOF, SEE SHEET A1.0-A1.6 FOR WORK ASSOCIATED WITH ROOF.
12. REMOVE EXISTING SIDING, TRIM & SHEATHING COMPLETE. PROVIDE NEW SIDING AND TRIM.



**A4.5.01 REVISED PORCH/ROOF PLAN, FOUR BEDROOM UNIT – BUILDING TYPE "F" ; NC 15-1**

SCALE: 1/8" = 1'-0"



**A4.5.02 REVISED ELEVATION, FOUR BEDROOM UNIT – BUILDING TYPE "F" ; NC 15-1**

SCALE: 1/4" = 1'-0"

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 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
 GOLDSBORO NORTH CAROLINA

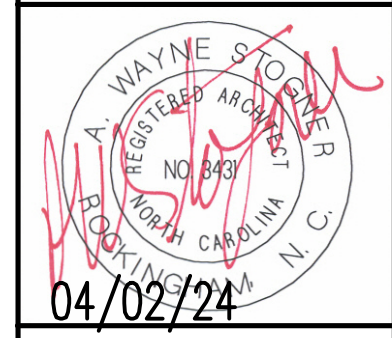
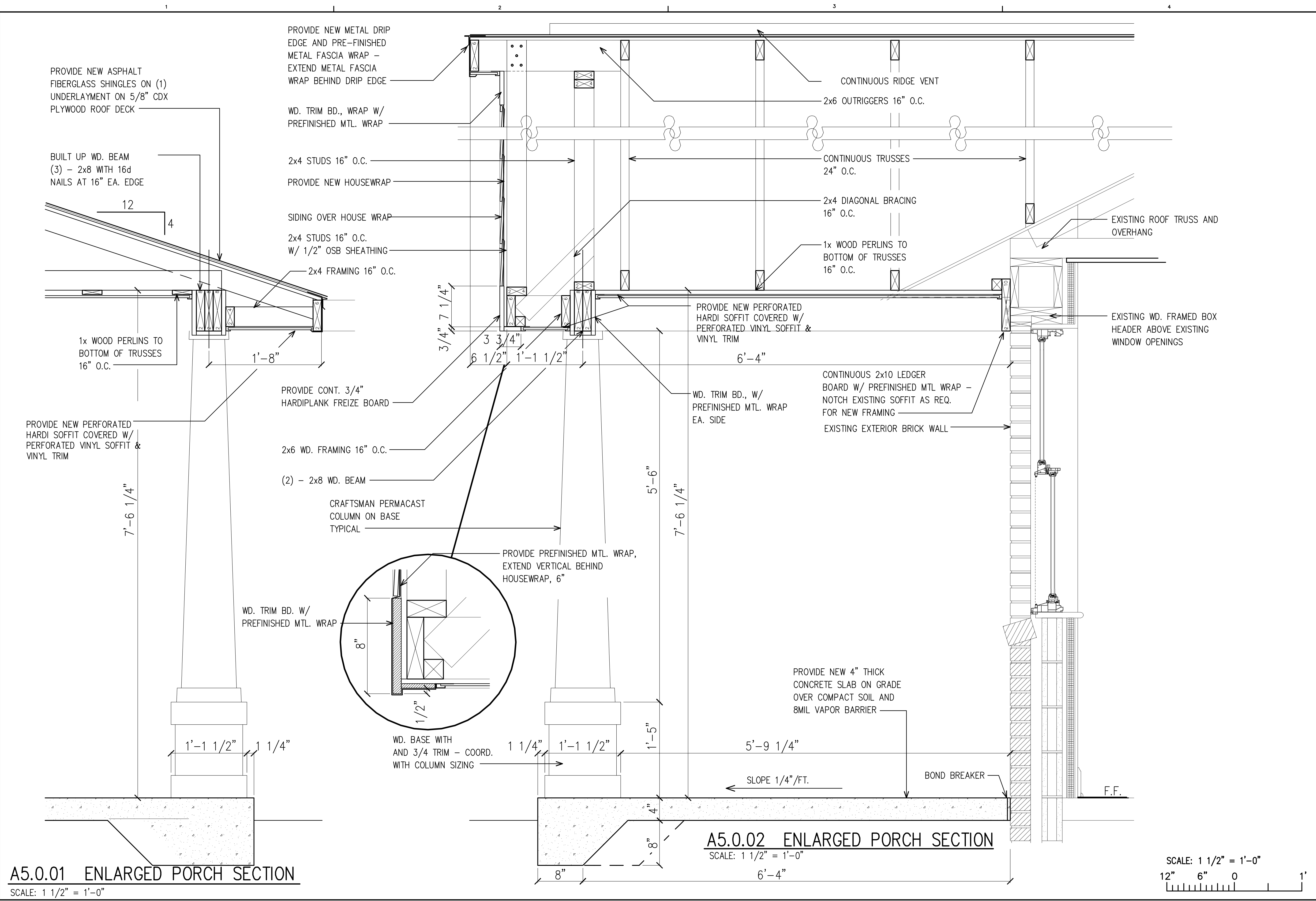
REVISED PORCH/ROOF PLAN, FRONT ELEVATION, FOUR BEDROOM UNIT – BUILDING TYPE "F" ; NC 15-1

6041-B\A4.5.AEC  
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SHEET NO. **A4.5**



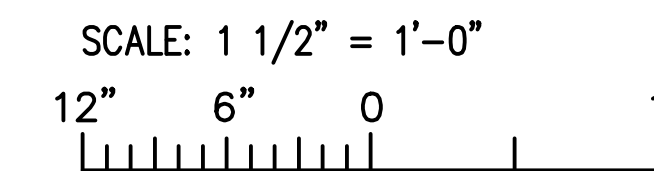
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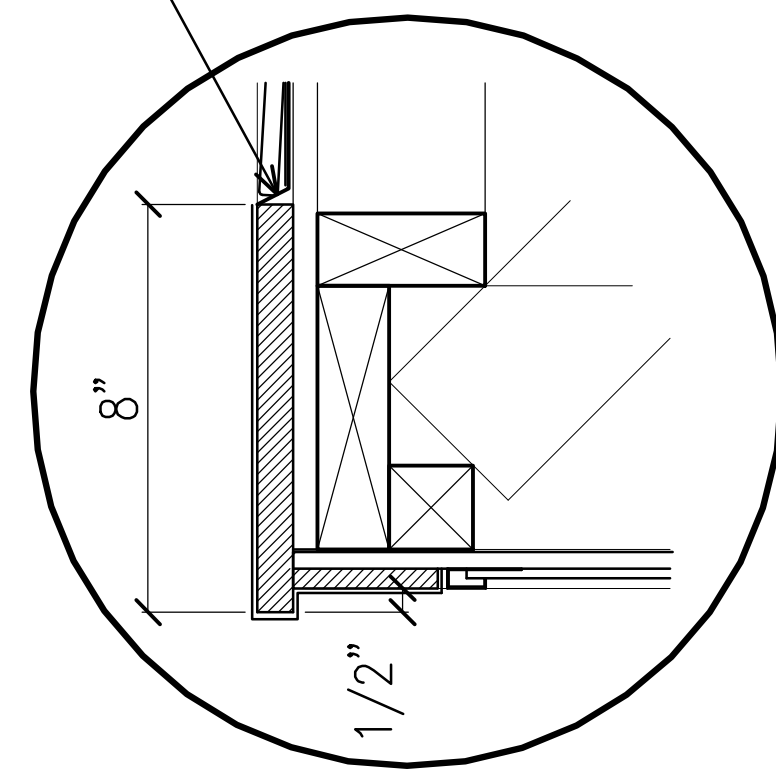
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PORCH DETAILS - BUILDING TYPE 'C' & 'E'; NC 15-1	
PORCH DETAILS - BUILDING TYPE 'C'; NC 15-3	
6041-B, A5.0, AEC	
COMM. NO. 6041-B	
DRAWN BY WBP	
CHECKED BY AWS	
DATE APRIL 2, 2024	
SHEET NO.	A5.0



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PROVIDE NEW METAL DRIP  
EDGE AND PRE-FINISHED  
METAL FASCIA WRAP -  
EXTEND METAL FASCIA  
WRAP BEHIND DRIP EDGE

WD. TRIM BD., WRAP W/  
PREFINISHED MTL TRIM

2x4 STUDS 16" O.C.

SIDING OVER HOUSEWRAP  
2x4 STUDS 16" O.C. WITH 1/2"  
OSB SHEATHING

2x4 WD. PLATE - CUT PLATE  
AND FRAME BETWEEN RAFTER

WD. TRIM, WRAP W/  
PREFINISHED MTL. WRAP

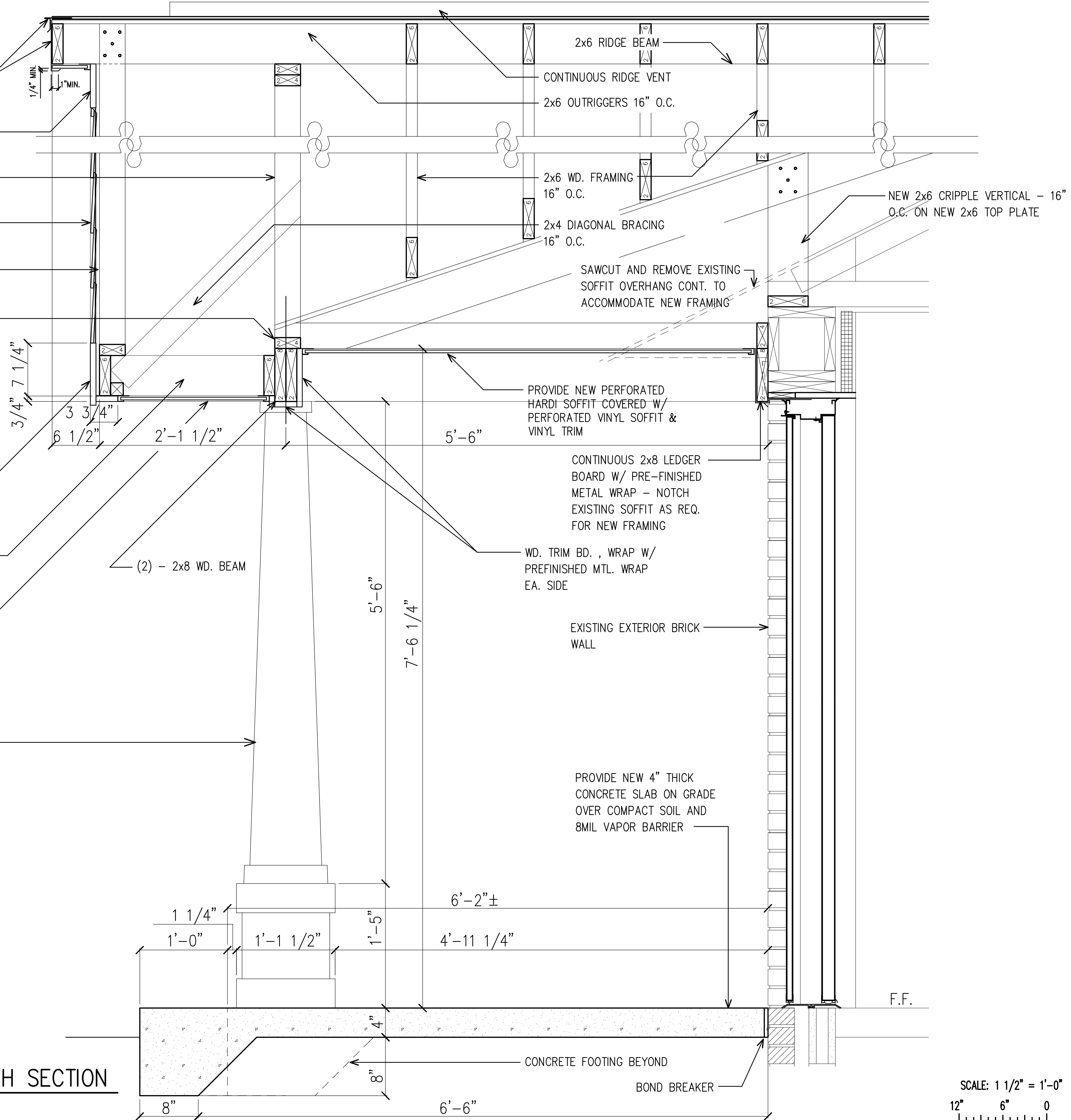
2x6 WD. FRAMING 16" O.C.

PROVIDE NEW PERFORATED  
HARDI SOFFIT COVERED W/  
PERFORATED VINYL SOFFIT &  
VINYL TRIM

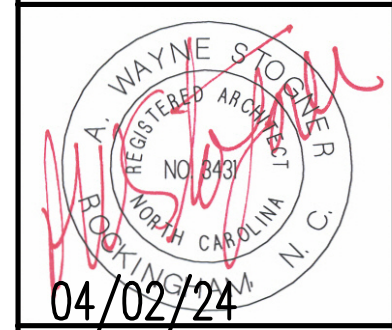
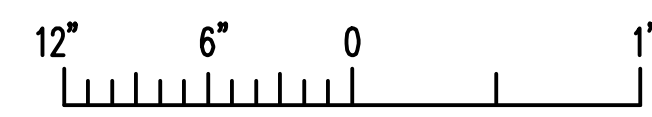
CRAFTSMAN PERMACAST  
COLUMN ON BASE  
TYPICAL

**A5.1.01 ENLARGED PORCH SECTION**

SCALE: 1 1/2" = 1'-0"



SCALE: 1 1/2" = 1'-0"



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NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
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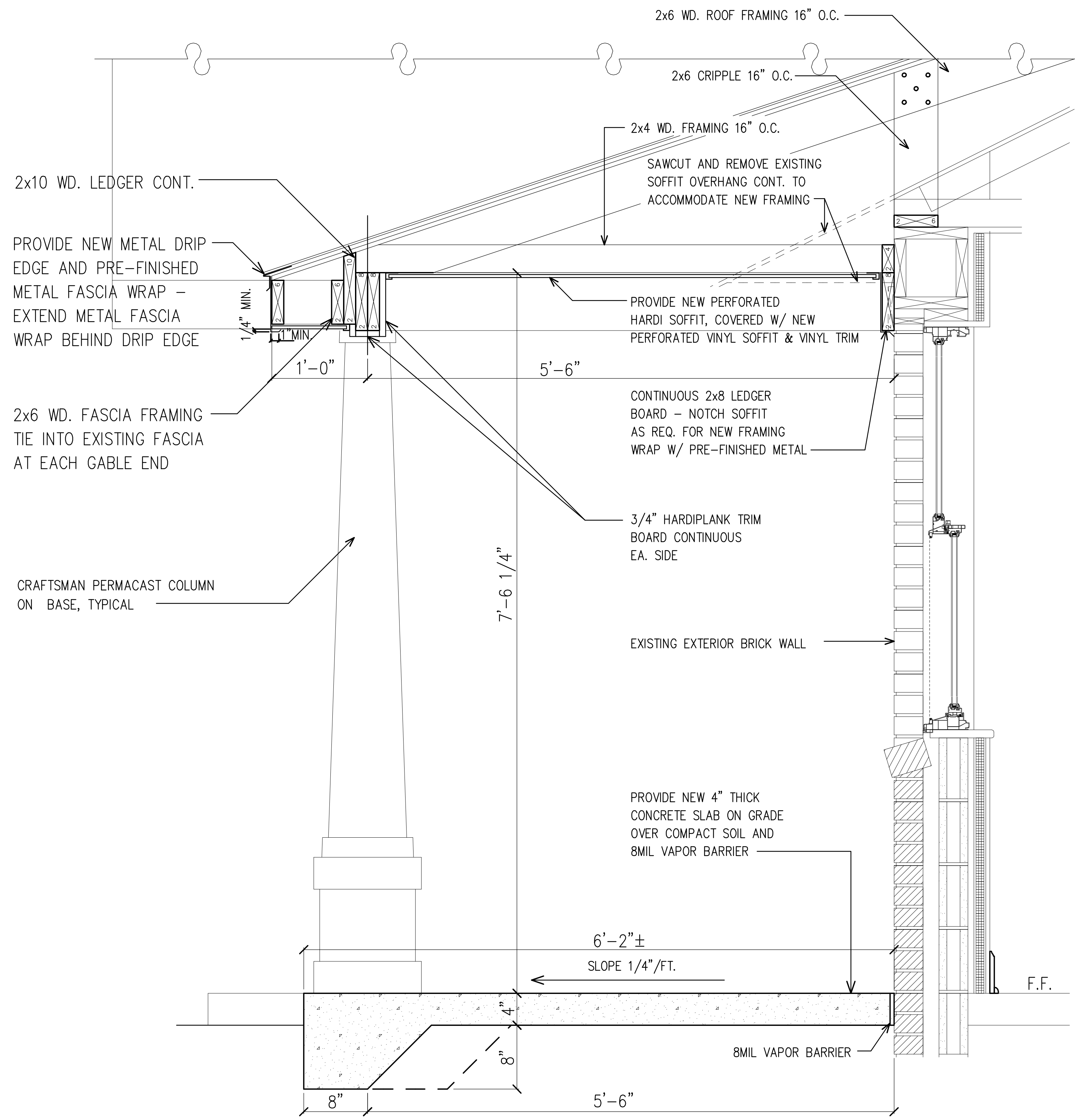
PORCH DETAILS -  
BUILDING TYPE "T";  
NC 15-1

6041-B\A5.1 .AEC  
COMM. NO. 6041-B  
DRAWN BY WBP  
CHECKED BY AWS  
DATE APRIL 2, 2024  
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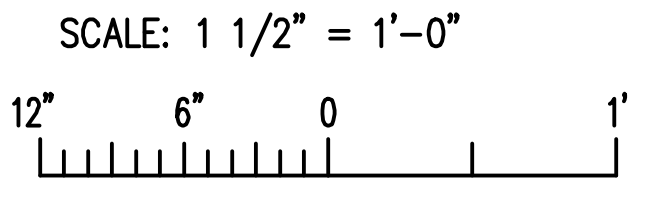
**A5.1**



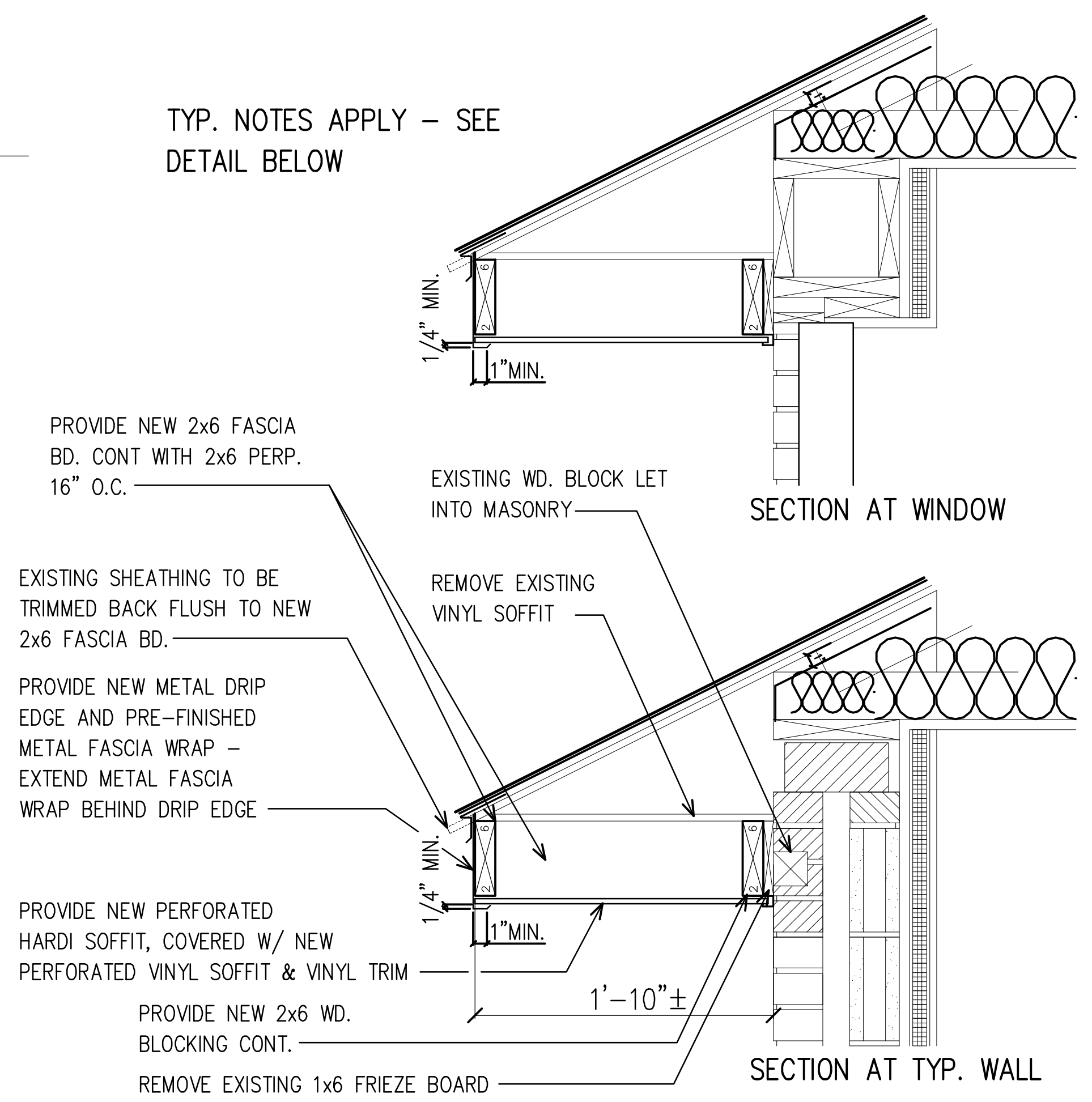
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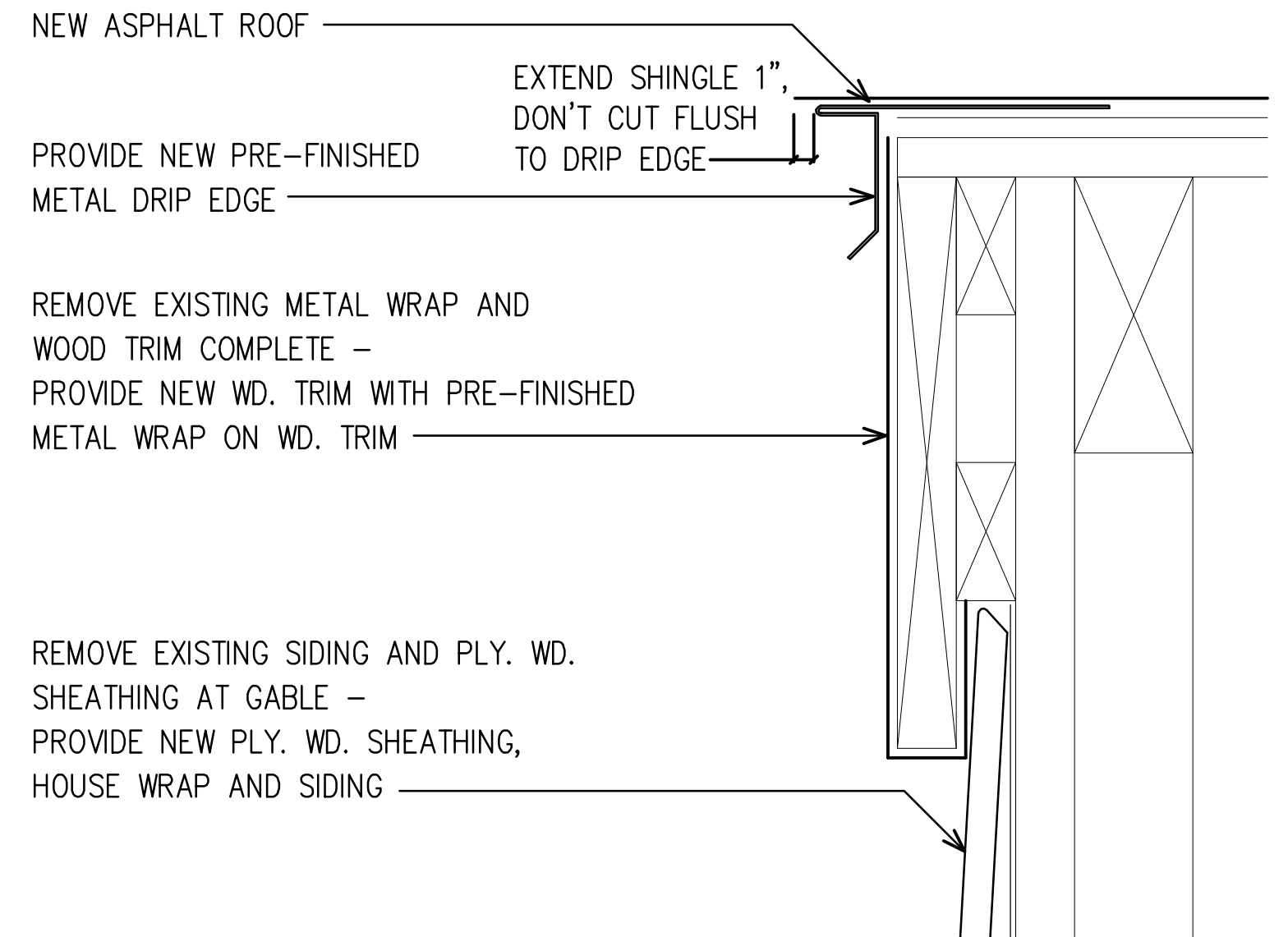
**A5.2.01 ENLARGED PORCH SECTION**  
SCALE: 1 1/2" = 1'-0"



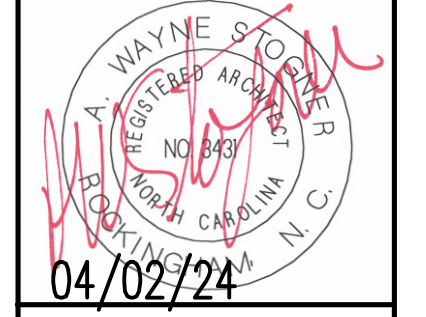
TYP. NOTES APPLY – SEE  
DETAIL BELOW



**A5.2.02 ENLARGED SOFFIT DETAIL**  
SCALE: 3/4" = 1'-0"



**A5.2.03 RAKE DETAIL @ SIDING**  
N.T.S.

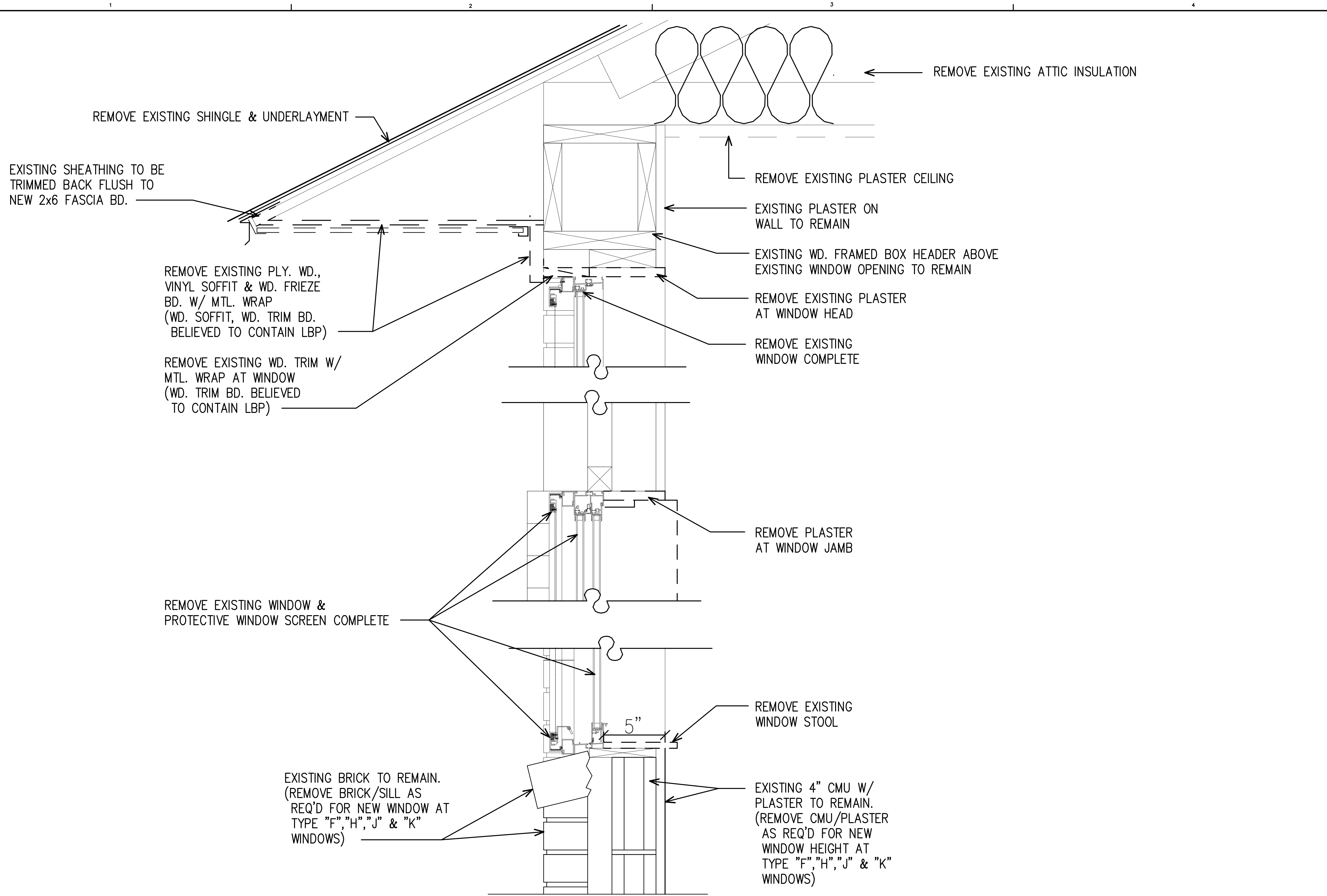


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GOLDSBORO NORTH CAROLINA

PORCH DETAILS – BUILDING TYPE "T", TYPICAL SOFFIT & RAKE DETAIL ; NC 15-1	
6041-B\A5.2.AEC	
COMM. NO. 6041-B	
DRAWN BY WBP	
CHECKED BY AWS	
DATE APRIL 2, 2024	
SHEET NO.	<b>A5.2</b>

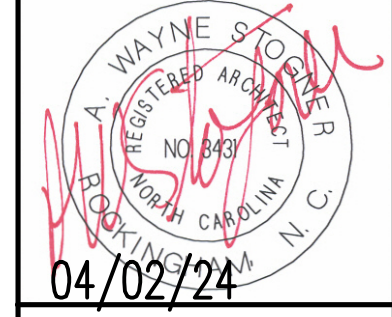
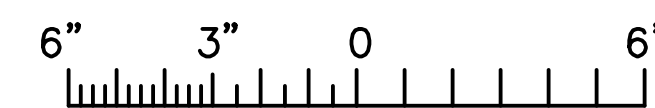
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A5.3.01 EXISTING/DEMO SECTION AT TYP. WINDOW

SCALE 3" = 1'-0"

SCALE: 3" = 1'-0"



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 GOLDSBORO NORTH CAROLINA

EXISTING/DEMO SECTION AT TYP. WINDOW  
 NC 15-1 & NC 15-3

6041-B, A5.3.AEC  
 COMM. NO. 6041-B  
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 DATE APRIL 2, 2024

SHEET NO. A5.3



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PROVIDE ENTIRE BUILDING W/  
NEW UNDERLAYMENT & SHINGLES

PROVIDE NEW PREFINISHED  
METAL DRIP EDGE ENTIRE BUILDING

PROVIDE NEW 2x6 WD. FASCIA BD.  
CONT. W/ 2x6 PERP. 16" O.C.,  
PROVIDE NEW PREFINISHED METAL  
WRAP ON WD. FASCIA

PROVIDE NEW PERFORATED HARDI  
SOFFIT COVERED W/ NEW PERFORATED  
VINYL SOFFIT & VINYL TRIM

PROVIDE NEW WD. TRIM W/ PREFINISHED  
MTL. WRAP ABOVE WINDOW

PROVIDE 1/4" MIN. BEAD OF SEALANT

EXISTING BRICK VENEER TO REMAIN

PROVIDE 1/4" MIN. BEAD OF SEALANT

PROVIDE BACKER ROD AS REQ'D,  
PROVIDE 1/4" MIN. BEAD OF SEALANT

EXISTING BRICK SILL TO REMAIN EXCEPT ;  
AT WINDOW TYPE "F","H","J" & "K",  
PROVIDE NEW BRICK SILL WHERE  
WINDOW HEIGHT HAS CHANGED,  
SEE ELEVATIONS

EXISTING BRICK VENEER TO REMAIN

PROVIDE NEW R38 INSUL. IN  
ATTIC, PROVIDE INSUL. STOPS

PROVIDE NEW 1/2" GYP. BD.

PROVIDE NEW 1 1/2" RIGID INSUL. BD.,  
MTL. "Z" STRIPS MT'D VERT. @ 16" O.C.  
TYP. PROVIDE 1/2" GYP. BD. ON NEW "Z" STRIPS

PROVIDE NEW WD. BLOCKING AS REQ'D

PROVIDE NEW WINDOW SHADE BRACKET

PROVIDE 1/4" MIN. BEAD OF SEALANT

PROVIDE NEW VINYL REPLACEMENT  
WINDOW & SCREEN COMPLETE

PROVIDE NEW 1 1/2" RIGID INSUL. BD.,  
MTL. "Z" STRIPS MT'D VERT. @ 16" O.C.  
TYP. PROVIDE 1/2" GYP. BD. ON NEW "Z" STRIPS

PROVIDE NEW BLOCKING AS REQ'D

PROVIDE 1/4" MIN. BEAD OF SEALANT

PROVIDE NEW VINYL REPLACEMENT  
WINDOW & SCREEN COMPLETE

PROVIDE 1/4" MIN. BEAD OF SEALANT

PROVIDE NEW PAINTED WD. STOOL W/ ROUND NOSE EDGE &  
NEW PAINTED 1x4 WD. APRON

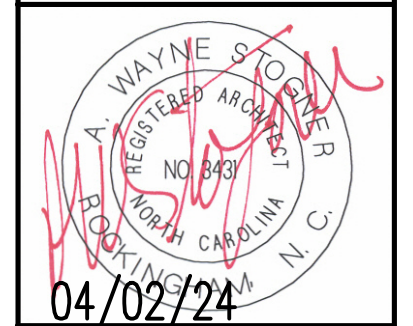
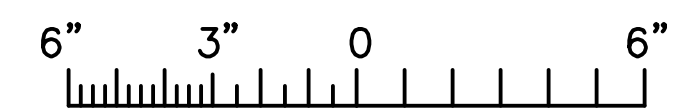
AT WINDOW TYPE "F","H","J" & "K" ;  
FILL CELL W/ MORTAR & PROVIDE NEW  
WD. BLOCKING

PROVIDE NEW 1 1/2" RIGID INSUL. BD.,  
MTL. "Z" STRIPS MT'D VERT. @ 16" O.C.  
TYP. PROVIDE 1/2" GYP. BD. ON NEW "Z" STRIPS

**A5.4.01 NEW/RENO SECTION AT TYP. WINDOW**

SCALE 3" = 1'-0"

SCALE: 3" = 1'-0"



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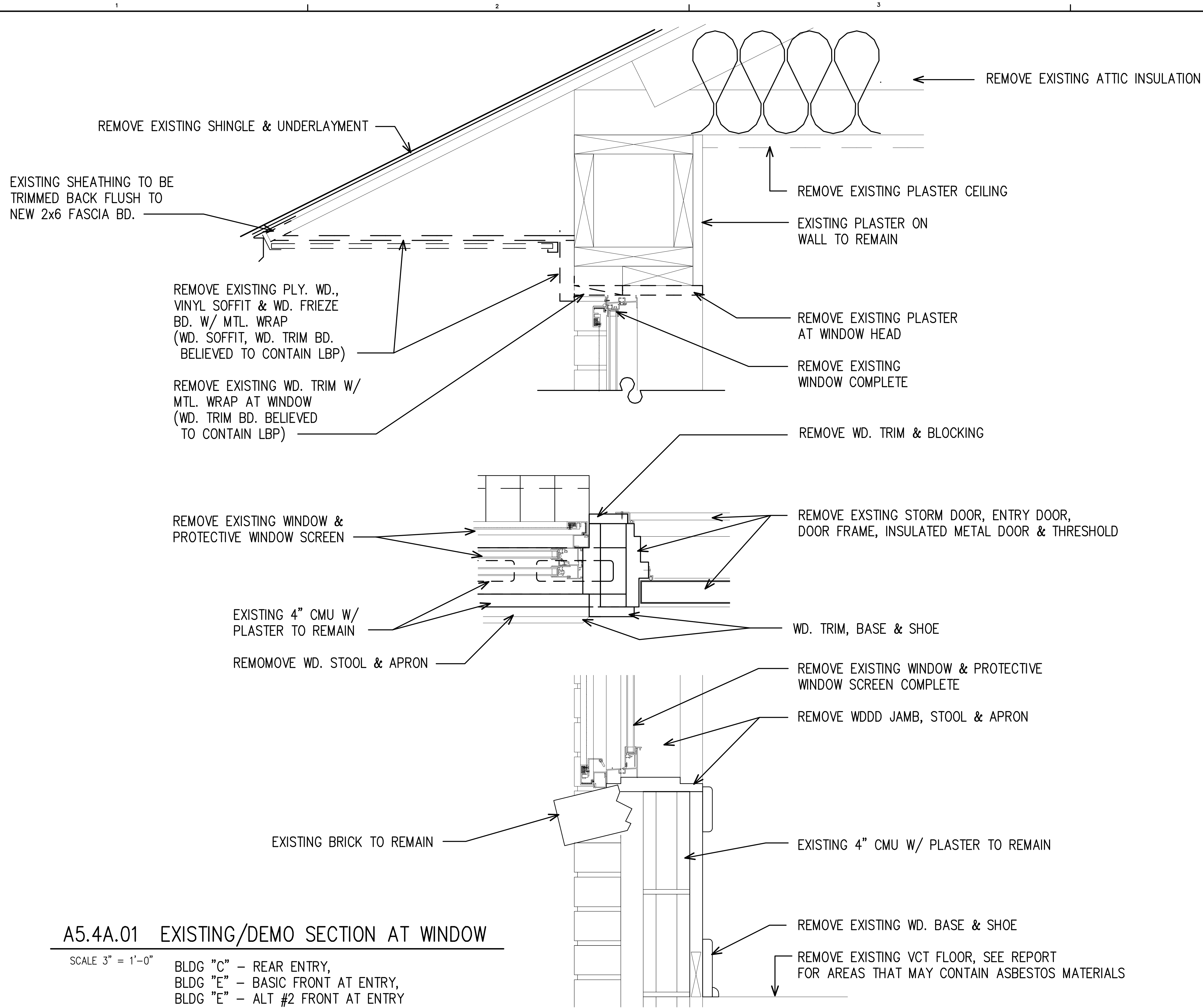
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RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
GOLDSBORO NORTH CAROLINA

NEW/RENO SECTION  
AT TYP. WINDOW  
NC 15-1 & NC 15-3

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**A5.4**

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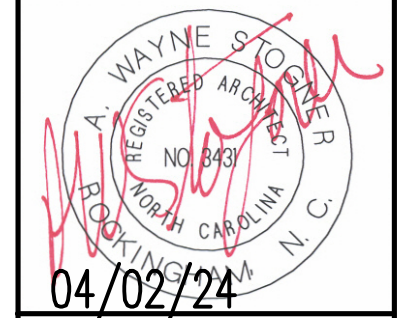
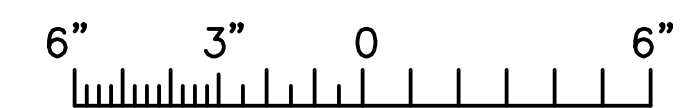


### A5.4A.01 EXISTING/DEMO SECTION AT WINDOW

SCALE 3" = 1'-0"

BLDG "C" - REAR ENTRY,  
BLDG "E" - BASIC FRONT AT ENTRY,  
BLDG "E" - ALT #2 FRONT AT ENTRY

SCALE: 3" = 1'-0"



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GOLDSBORO NORTH CAROLINA

EXISTING/DEMO SECTION AT WINDOW  
NC 15-1 & NC 15-3

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PROVIDE ENTIRE BUILDING W/  
NEW UNDERLAYMENT & SHINGLES

PROVIDE NEW PREFINISHED  
METAL DRIP EDGE ENTIRE BUILDING

PROVIDE NEW 2x6 WD. FASCIA BD.  
CONT. W/ 2x6 PERP. 16" O.C.,  
PROVIDE NEW PREFINISHED METAL  
WRAP ON WD. FASCIA

PROVIDE NEW PERFORATED HARDI  
SOFFIT COVERED W/ NEW PERFORATED  
VINYL SOFFIT & VINYL TRIM

PROVIDE NEW WD. TRIM W/ PREFINISHED  
MTL. WRAP ABOVE WINDOW

PROVIDE 1/4" MIN. BEAD OF SEALANT

PROVIDE NEW VINYL  
REPLACEMENT WINDOW

PROVIDE NEW  
FLASHING & SEALANT

EXISTING BRICK  
TO REMAIN

PROVIDE NEW VINYL  
REPLACEMENT WINDOW

NEW WD. TRIM,  
STOOL & APRON

PROVIDE NEW 1 1/2" RIGID INSUL. BD.,  
MTL. "Z" STRIPS MT'D VERT. @ 16" O.C.  
TYP. PROVIDE 1/2" GYP. BD. ON NEW "Z" STRIPS

PROVIDE NEW PAINTED WD. BASE

REMOVE EXISTING VCT FLOOR & PROVIDE NEW, SEE REPORT  
FOR AREAS THAT MAY CONTAIN ASBESTOS MATERIALS

EXISTING 4" THK. CONCRETE SLAB

**A5.4B.01 NEW/RENO SECTION AT WINDOW**

SCALE 3" = 1'-0"

BLDG "C" - REAR ENTRY,  
BLDG "E" - BASIC FRONT AT ENTRY,  
BLDG "E" - ALT #2 FRONT AT ENTRY

PROVIDE NEW R38 INSUL. IN  
ATTIC, PROVIDE INSUL. STOPS

PROVIDE NEW 1/2" GYP. BD.

PROVIDE NEW 1 1/2" RIGID INSUL. BD.,  
MTL. "Z" STRIPS MT'D VERT. @ 16" O.C.  
TYP. PROVIDE 1/2" GYP. BD. ON NEW "Z" STRIPS

PROVIDE NEW WD. BLOCKING AS REQ'D

PROVIDE NEW WINDOW SHADE BRACKET

PROVIDE 1/4" MIN. BEAD OF SEALANT

PROVIDE NEW VINYL REPLACEMENT  
WINDOW & SCREEN COMPLETE

NEW WD. BLOCKING W/  
PREFINISHED METAL WRAP

NEW STORM DOOR

A-A

NEW HOLLOW METAL DOOR  
FRAME, INSULATED METAL DOOR,  
THRESHOLD & HARDWARE

PAINTED WD. TRIM

NEW VINYL  
REPLACEMENT  
WINDOW & STOOL

NEW WD. BLOCKING

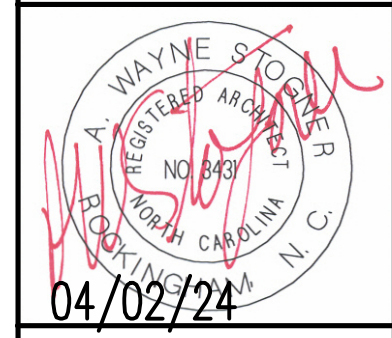
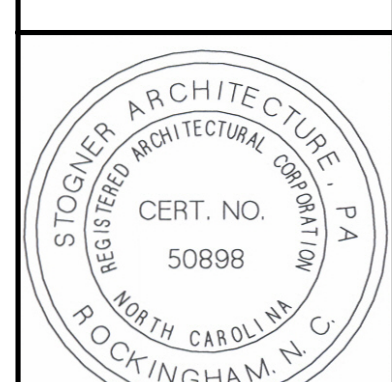
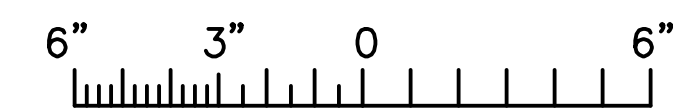
NEW HOLLOW METAL  
DOOR FRAME

PROVIDE BLOCKING &  
1/4" ANCHOR BOLT,  
FILL CELL W/ MORTAR

NEW THRESHOLD IN  
BED OF SEALANT

**SECTION A-A**

SCALE: 3" = 1'-0"



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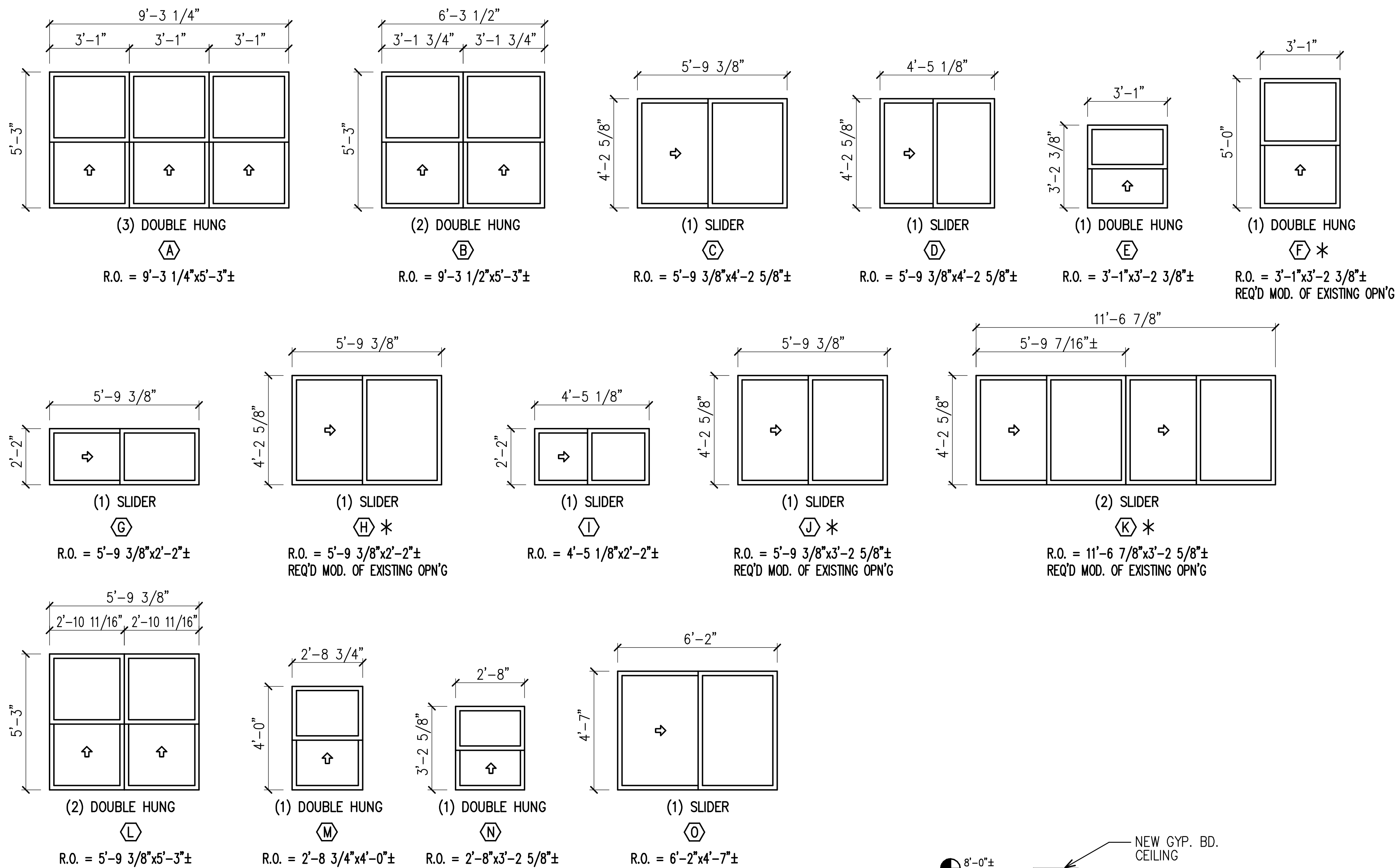
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RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
GOLDSBORO NORTH CAROLINA

NEW/RENO SECTION  
AT WINDOW  
NC 15-1 & NC 15-3

6041-B\A5.4B.AEC  
COMM. NO. 6041-B  
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CHECKED BY AWS  
DATE APRIL 2, 2024

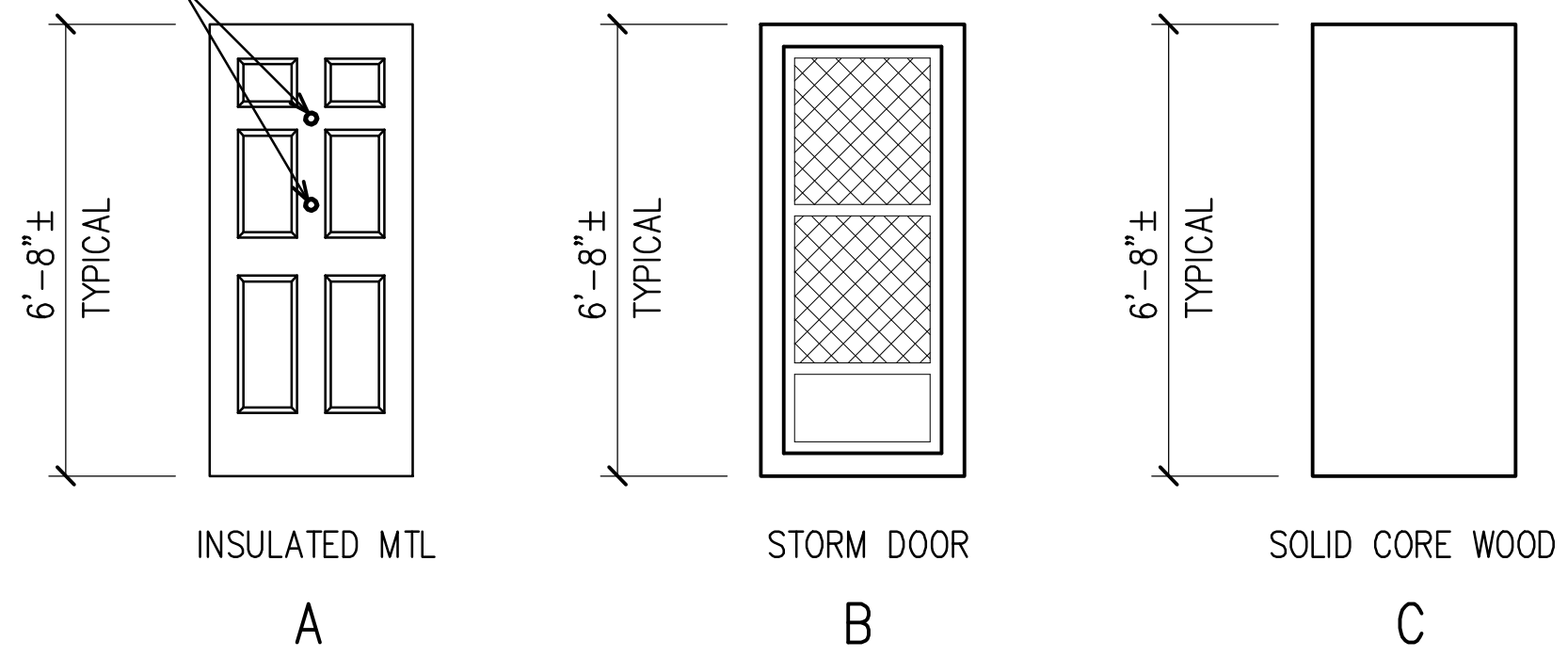
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**A5.4B**





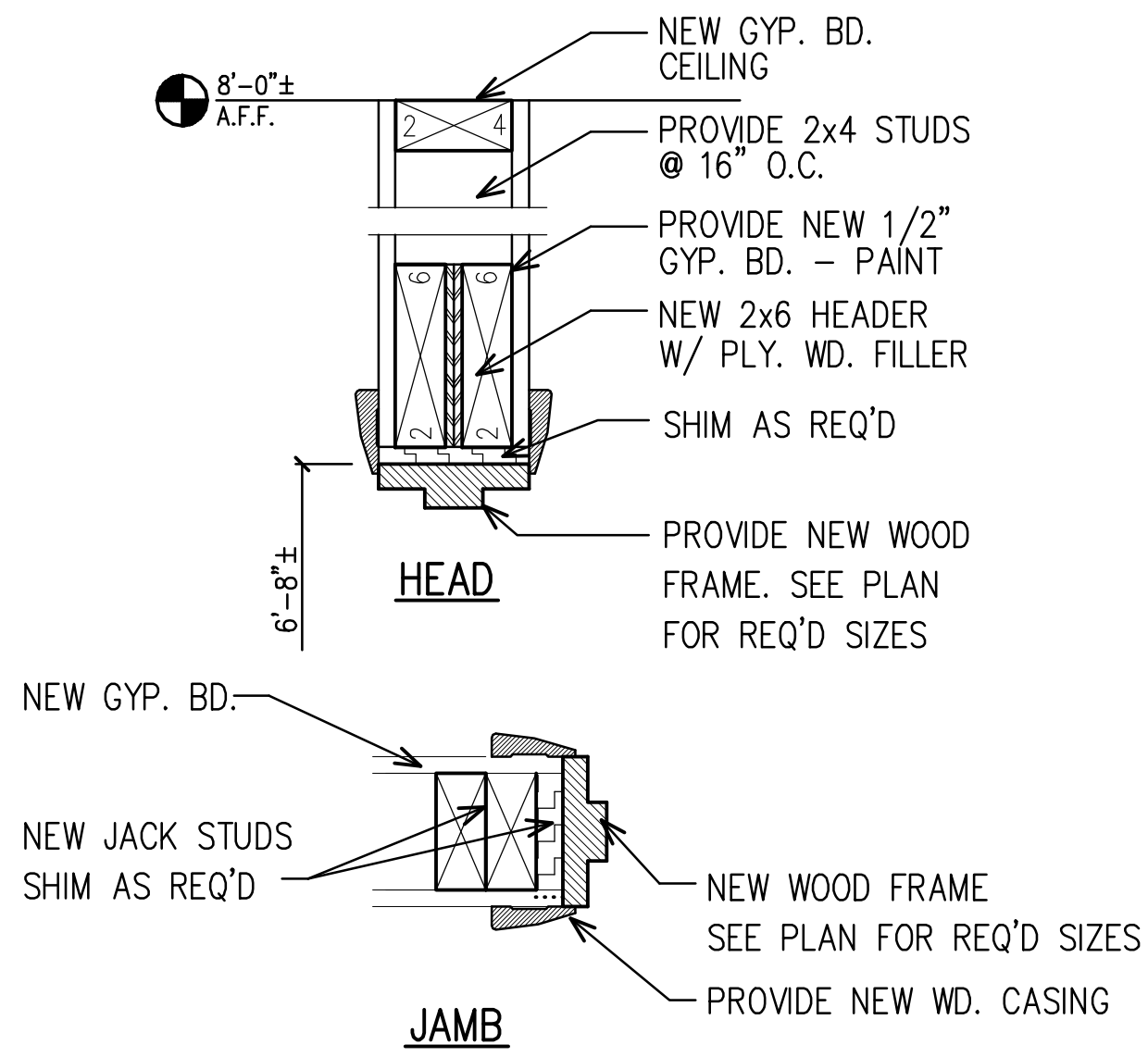
**WINDOW ELEVATIONS**  
SCALE: 3/8" = 1'-0"

SEE PLANS FOR DOOR WIDTHS.  
 PROVIDE PEEP SIGHT @ FRONT ENTRY @ 60" A.F.F. AND @ H/C APT. PROVIDE 2nd SIGHT @ 48" A.F.F.



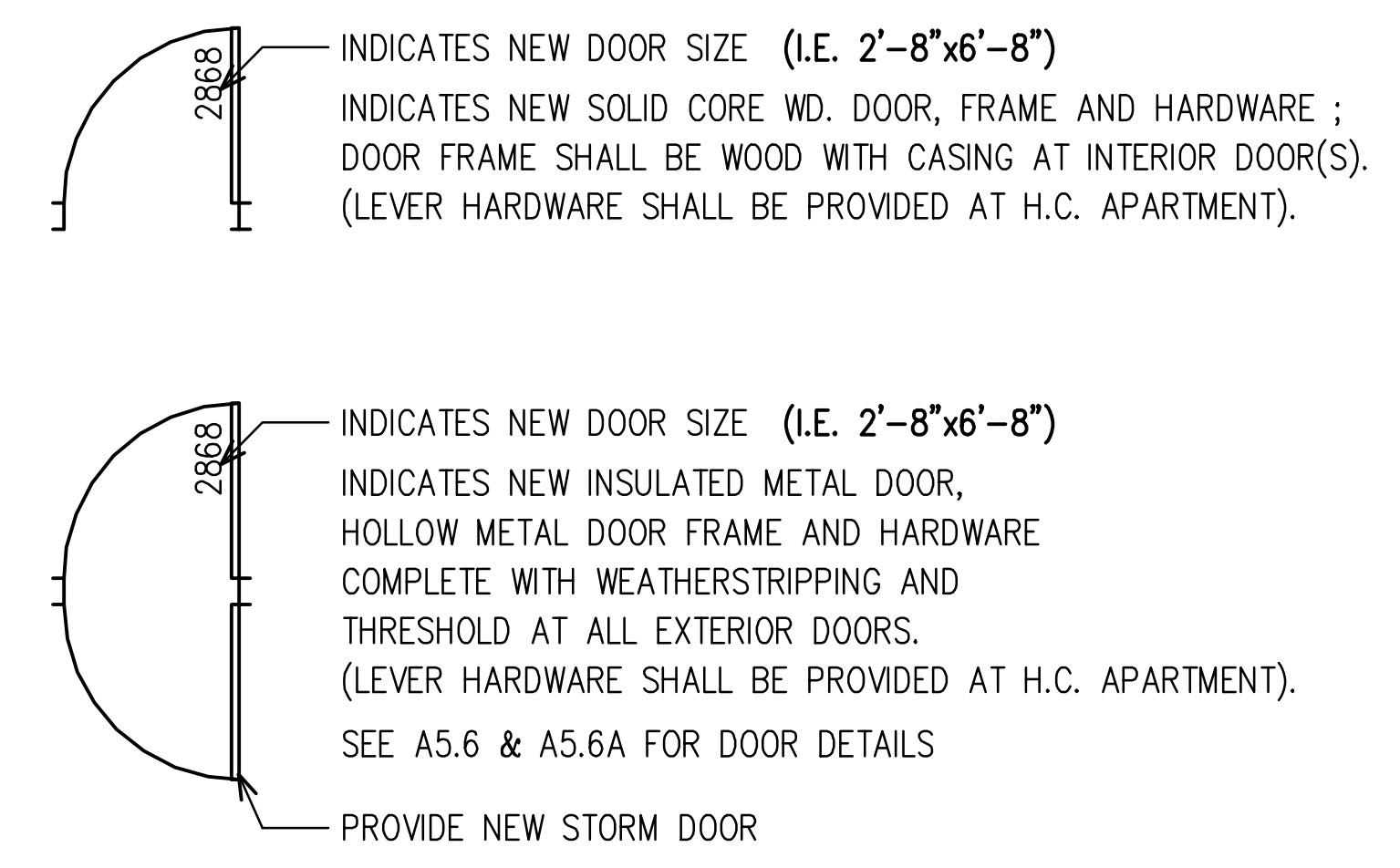
**DOOR ELEVATIONS**  
SCALE: 3/8" = 1'-0"

PROVIDE DOOR STOP AT WALL WHEN OPEN 90° TO ADJACENT WALL



**NEW INTERIOR DOOR DETAIL**  
N.T.S.

**DOOR GENERAL NOTE/LEGEND**



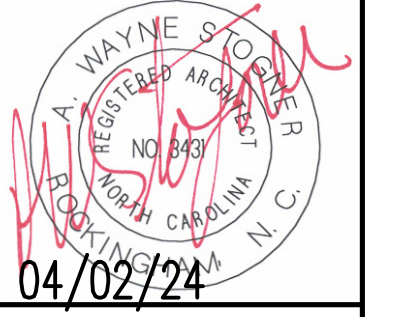
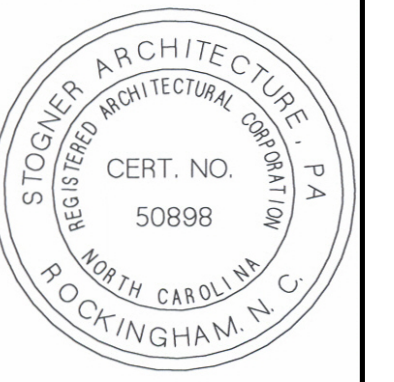
SCALE: 3/8" = 1'-0"  
 12" 0 3'

**WINDOW KEYNOTES**

- W-1 REMOVE EXISTING WINDOWS, PROVIDE NEW VINYL REPLACEMENT WINDOWS AT ALL LOCATIONS
- W-2 BUILDING FLOOR PLAN INDICATES APPROXIMATE WINDOW LOCATION ONLY
- W-3 WINDOW SIZES ARE APPROXIMATE, CONTRACTOR TO FIELD VERIFY SIZES & QUANTITIES PRIOR TO ORDERING ANY MATERIALS  
 NOTE: REQUIRED WINDOW OPENING SIZE & EGRESS : 821 SQ/IN OR 5.7 SQ/FT REQUIRED (24"H & 20"W MIN.)
- W-4 CAULK ALL EXTERIOR WINDOWS WHERE BRICK BUTTS TO WINDOW / TRIM, CAULK JOINTS NOT TO EXCEED 3/8".
- W-5 CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPERED GLASS AT ALL LOCATIONS AS REQ'D BY CODE.
- W-6 CONTRACTOR SHALL PROVIDE INSULATION AT ALL SIDES OF NEW WINDOWS.
- W-7 AT ALL WINDOWS PROVIDE SAFETY LATCH REGARDLESS OF HEIGHT ABOVE GRADE.

**WINDOW LEGEND**

- A** REMOVE EXISTING WINDOW, PROVIDE NEW VINYL REPLACEMENT WINDOW AT LOCATIONS INDICATED
- A\*** REMOVE EXISTING WINDOW, PROVIDE NEW VINYL REPLACEMENT WINDOW AT LOCATIONS INDICATED EXISTING SILL HEIGHT TO MODIFIED FOR NEW WINDOW TO MEET EGRESS REQUIREMENT
- A2.0.01** INDICATES SECTION & DETAIL OF EXISTING / NEW WINDOW INSTALLATION REQUIRED, SEE ELEVATIONS



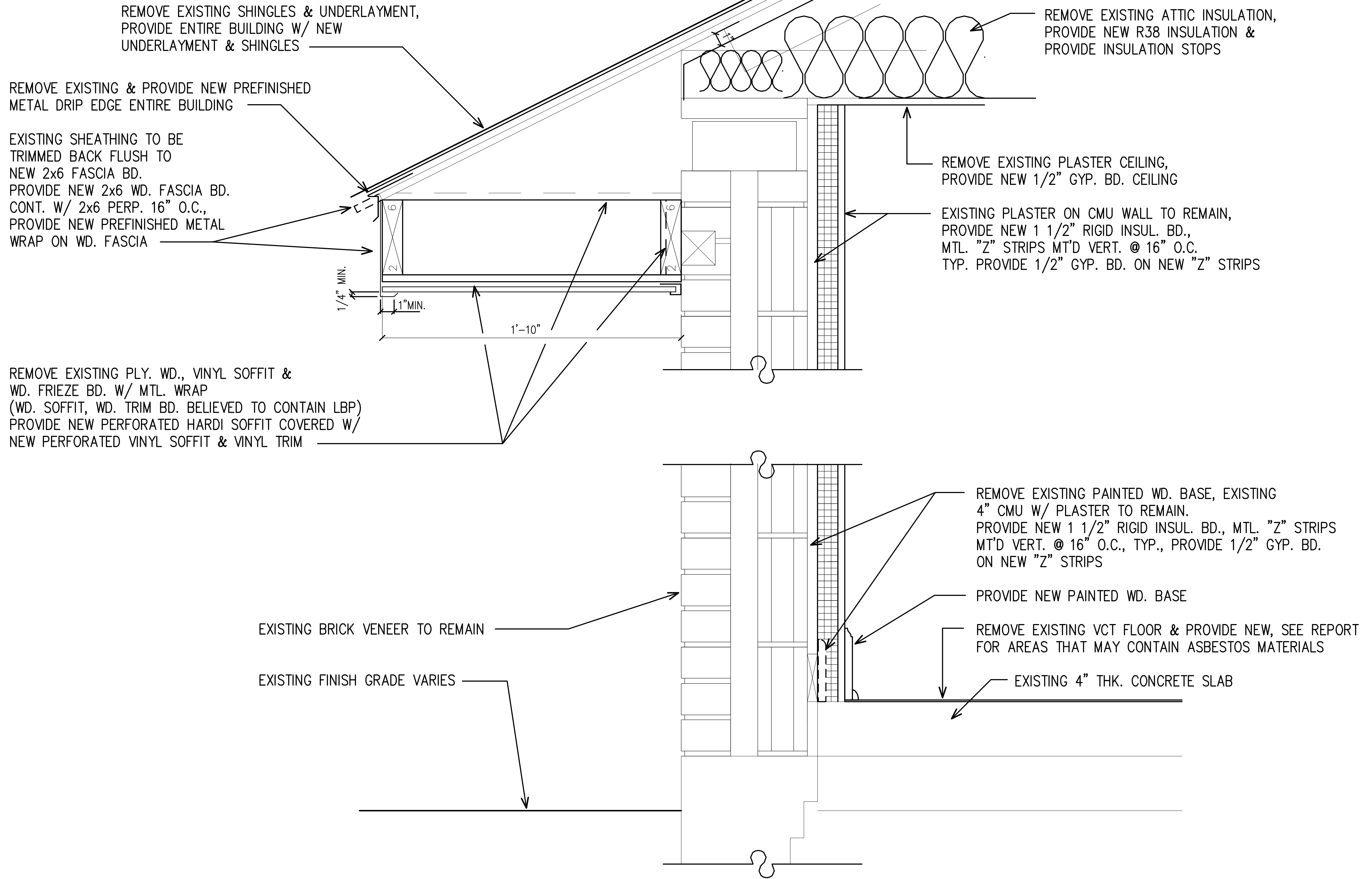
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**Housing Authority of the City of Goldsboro**  
 RENOVATIONS - FAIRVIEW APARTMENTS  
 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
 GOLDSBORO NORTH CAROLINA

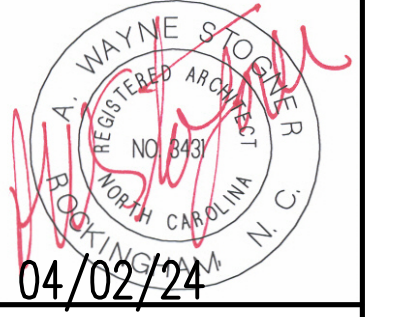
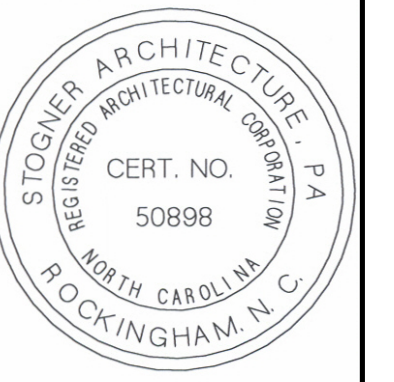
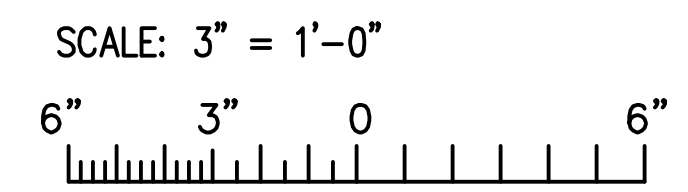
**WINDOW & DOOR ELEVATIONS, LEGEND & NOTES**  
 NC 15-1 & NC 15-3  
 6041-B\A5.4C.AEC  
 COMM. NO. 6041-B  
 DRAWN BY WBP  
 CHECKED BY AWS  
 DATE APRIL 2, 2024  
 SHEET NO. **A5.4C**



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A5.5.01 TYPICAL EXTERIOR WALL SECTION  
SCALE 3" = 1'-0"

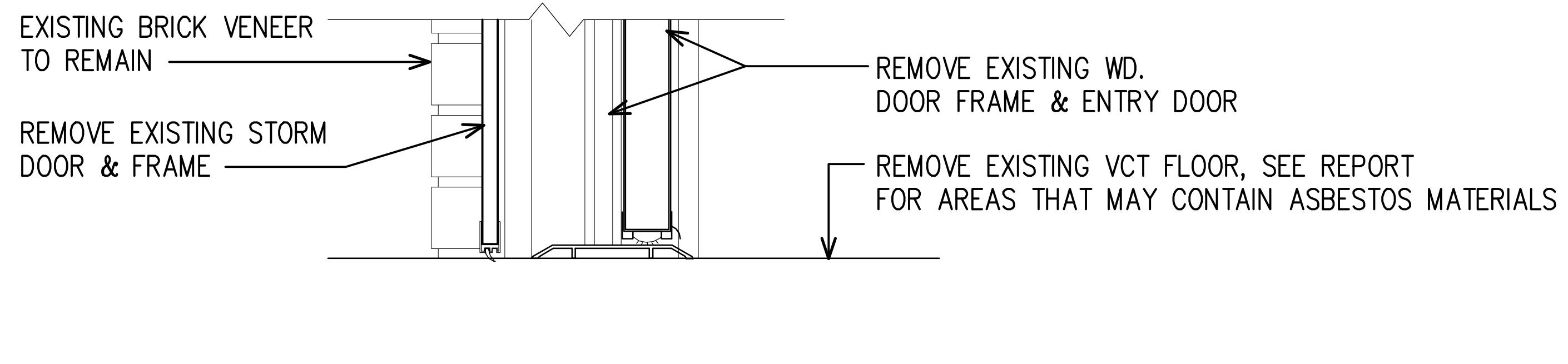
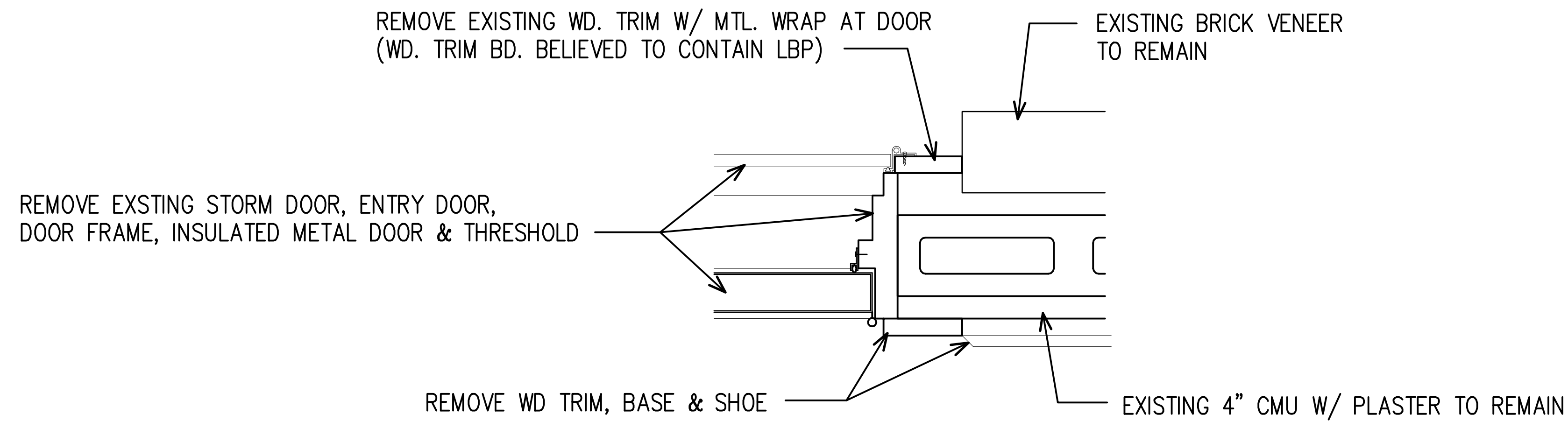
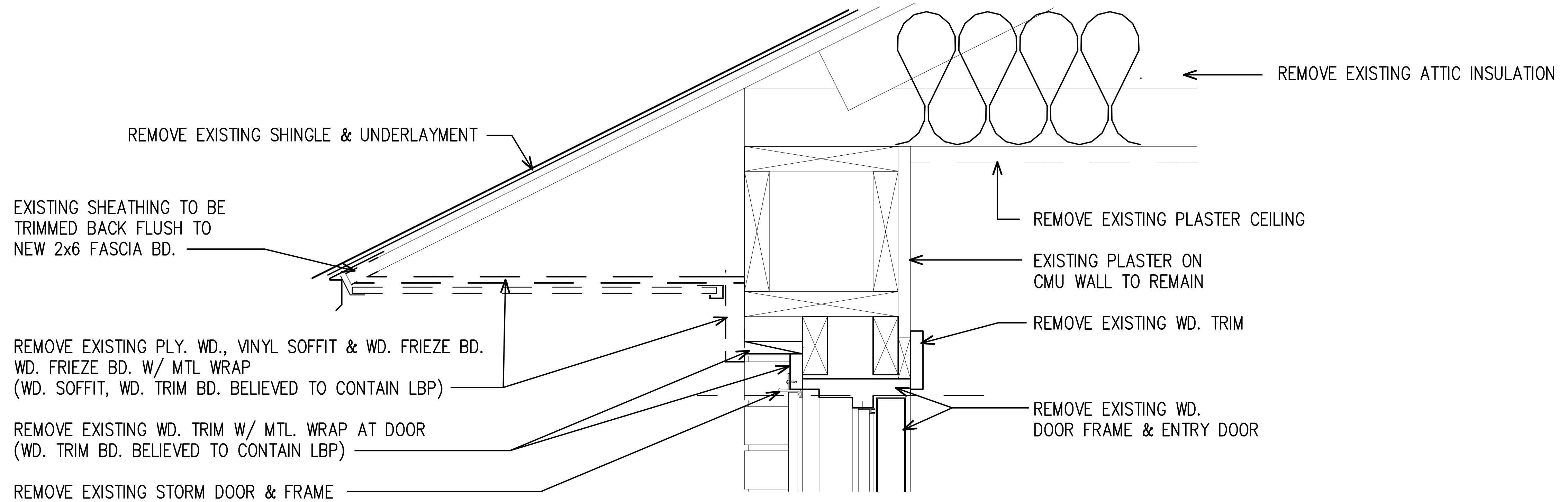


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TYPICAL EXTERIOR WALL SECTION, NC 15-1 & NC 15-3
6041-B, A5.5.AEC
COMM. NO. 6041-B
DRAWN BY WBP
CHECKED BY AWS
DATE APRIL 2, 2024
SHEET NO. A5.5

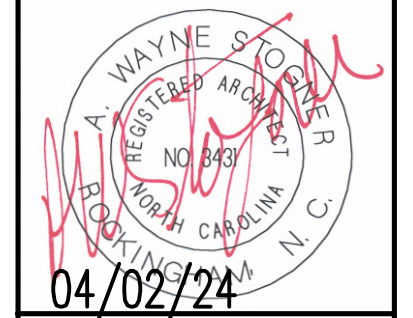
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**A5.6.01 EXISTING/DEMO SECTION AT DOOR**

SCALE 3" = 1'-0"

SCALE: 3" = 1'-0"



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EXISTING/DEMO SECTION AT DOOR  
 NC 15-1 & NC 15-3

6041-B, A5.6.AEC  
 COMM. NO. 6041-B  
 DRAWN BY WBP  
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 DATE APRIL 2, 2024

SHEET NO. **A5.6**



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PROVIDE ENTIRE BUILDING W/  
NEW UNDERLAYMENT & SHINGLES

PROVIDE NEW PREFINISHED  
METAL DRIP EDGE ENTIRE BUILDING

PROVIDE NEW 2x6 WD. FASCIA BD.  
CONT. W/ 2x6 PERP. 16" O.C.,  
PROVIDE NEW PREFINISHED METAL  
WRAP ON WD. FASCIA

PROVIDE NEW PERFORATED HARDI  
SOFFIT COVERED W/ NEW PERFORATED  
VINYL SOFFIT & VINYL TRIM

PROVIDE NEW R38 INSUL. IN  
ATTIC, PROVIDE INSUL. STOPS

PROVIDE NEW 1/2" GYP. BD.

PROVIDE NEW 1 1/2" RIGID INSUL. BD.,  
MTL. "Z" STRIPS MT'D VERT. @ 16" O.C.  
TYP. PROVIDE 1/2" GYP. BD. ON NEW "Z" STRIPS

EXISTING WD. FRAMED BOX HEADER & PLASTER TO REMAIN

PROVIDE NEW WD. BLOCKING AS REQ'D

NEW HOLLOW METAL DOOR  
FRAME, INSULATED METAL DOOR,  
THRESHOLD & HARDWARE

NEW WD. BLOCKING W/  
PREFINISHED METAL WRAP  
NEW STORM DOOR

NEW WD. BLOCKING W/  
PREFINISHED METAL WRAP

NEW STORM DOOR

EXISTING BRICK VENEER  
TO REMAIN

NEW HOLLOW METAL DOOR  
FRAME, INSULATED METAL DOOR,  
THRESHOLD & HARDWARE

PROVIDE NEW 1 1/2" RIGID INSUL. BD.,  
MTL. "Z" STRIPS MT'D VERT. @ 16" O.C.  
TYP. PROVIDE 1/2" GYP. BD. ON NEW "Z" STRIPS

EXISTING BRICK VENEER  
TO REMAIN

NEW STORM DOOR

NEW HOLLOW METAL DOOR FRAME, INSULATED METAL DOOR,  
THRESHOLD & HARDWARE. PROVIDE 1/4" BEAD OF SEALANT  
AT FINISH FLOOR & THRESHOLD

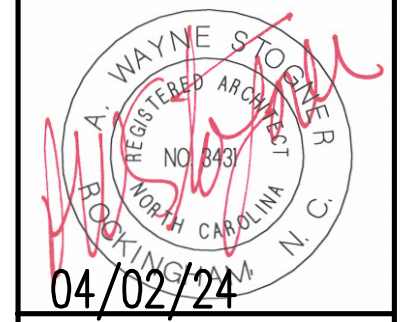
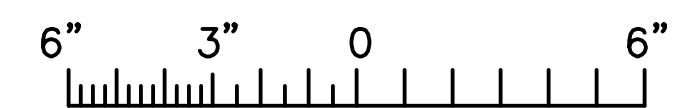
REMOVE EXISTING VCT FLOOR & PROVIDE NEW, SEE REPORT  
FOR AREAS THAT MAY CONTAIN ASBESTOS MATERIALS

EXISTING 4" THK. CONCRETE SLAB

A5.6A.01 NEW/RENO SECTION AT DOOR

SCALE 3" = 1'-0"

SCALE: 3" = 1'-0"



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GOLDSBORO NORTH CAROLINA

NEW/RENO SECTION  
AT DOOR  
NC 15-1 & NC 15-3

6041-B, A5.6.AEC

COMM. NO. 6041-B

DRAWN BY WBP

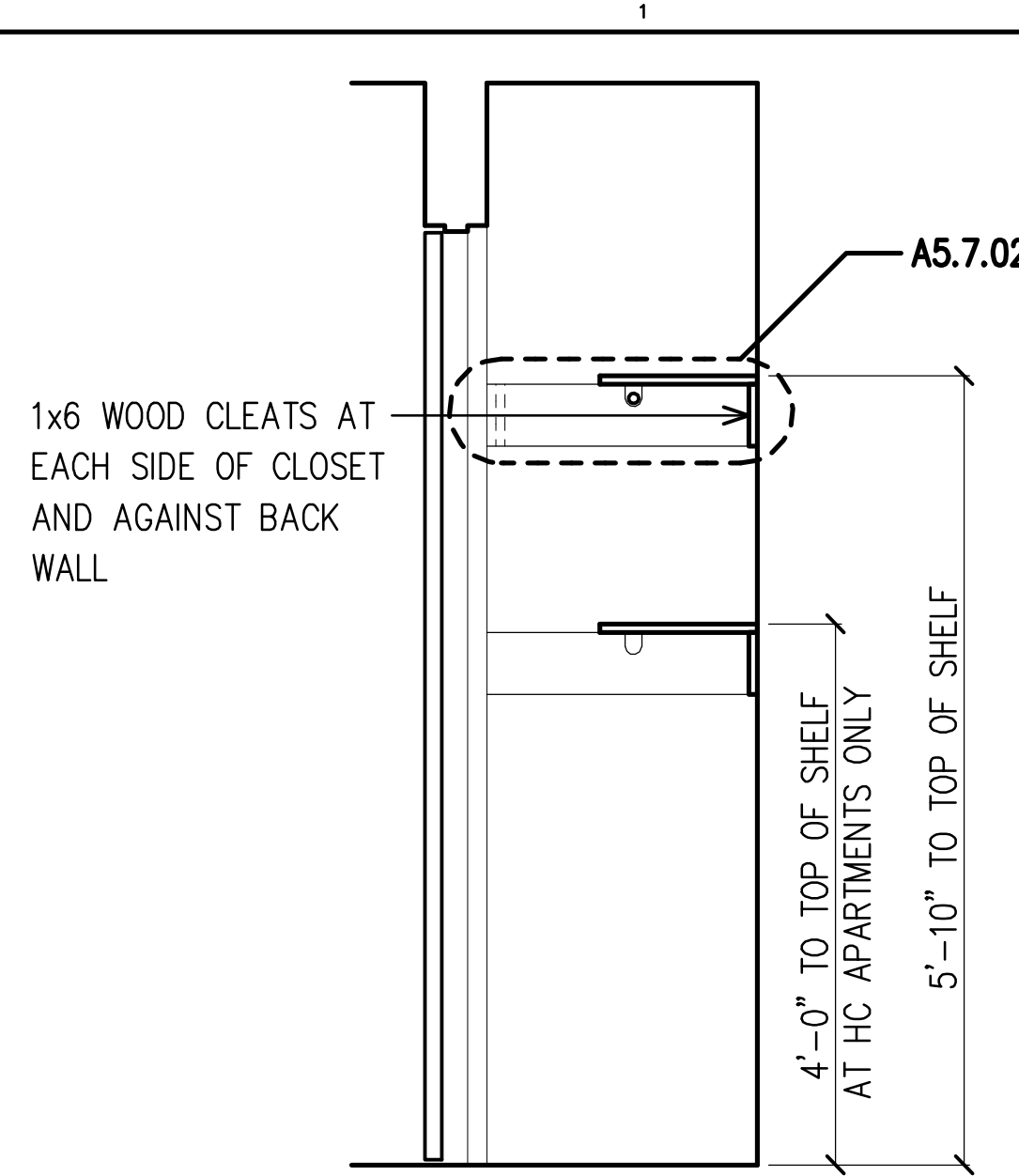
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DATE APRIL 2, 2024

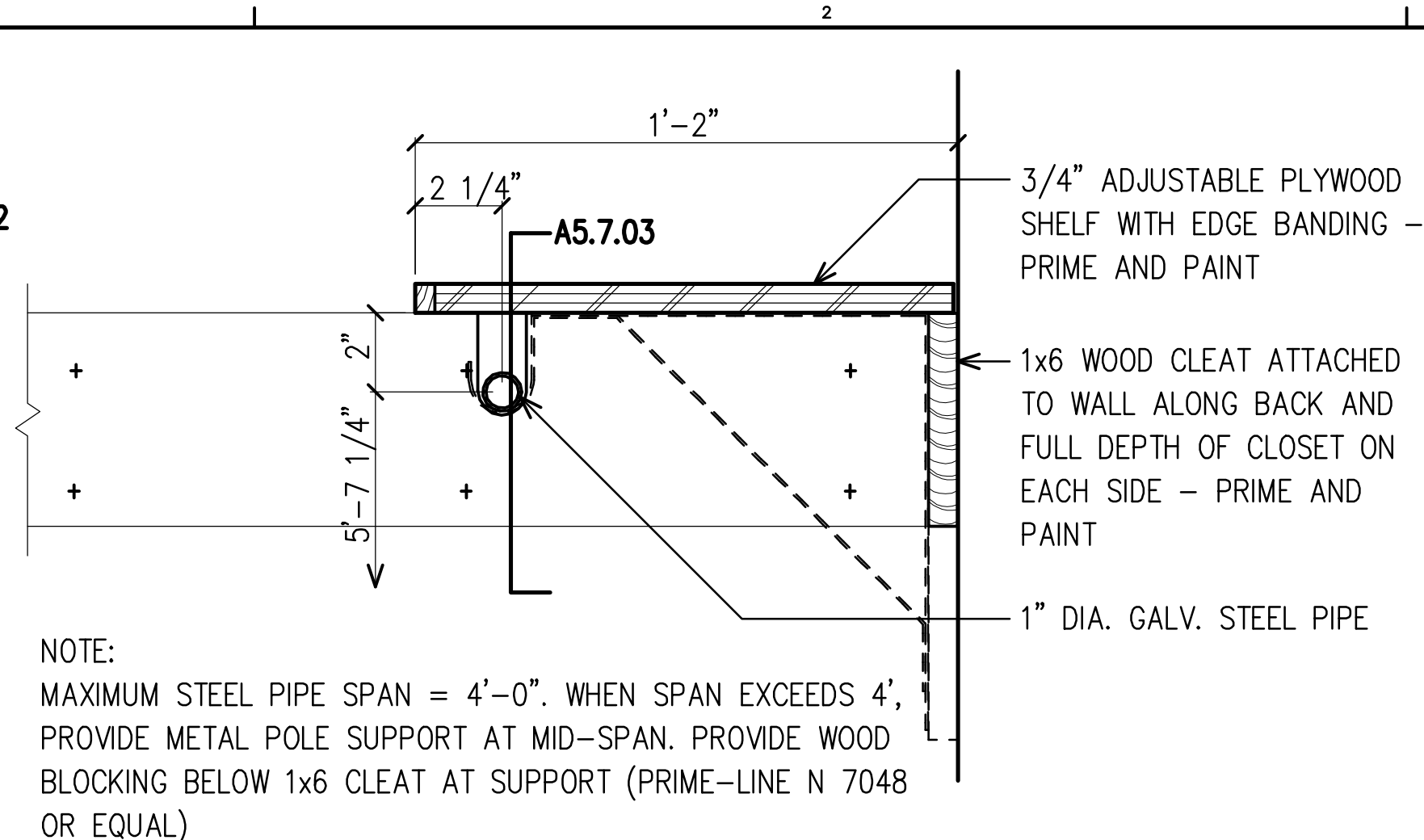
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A5.6A

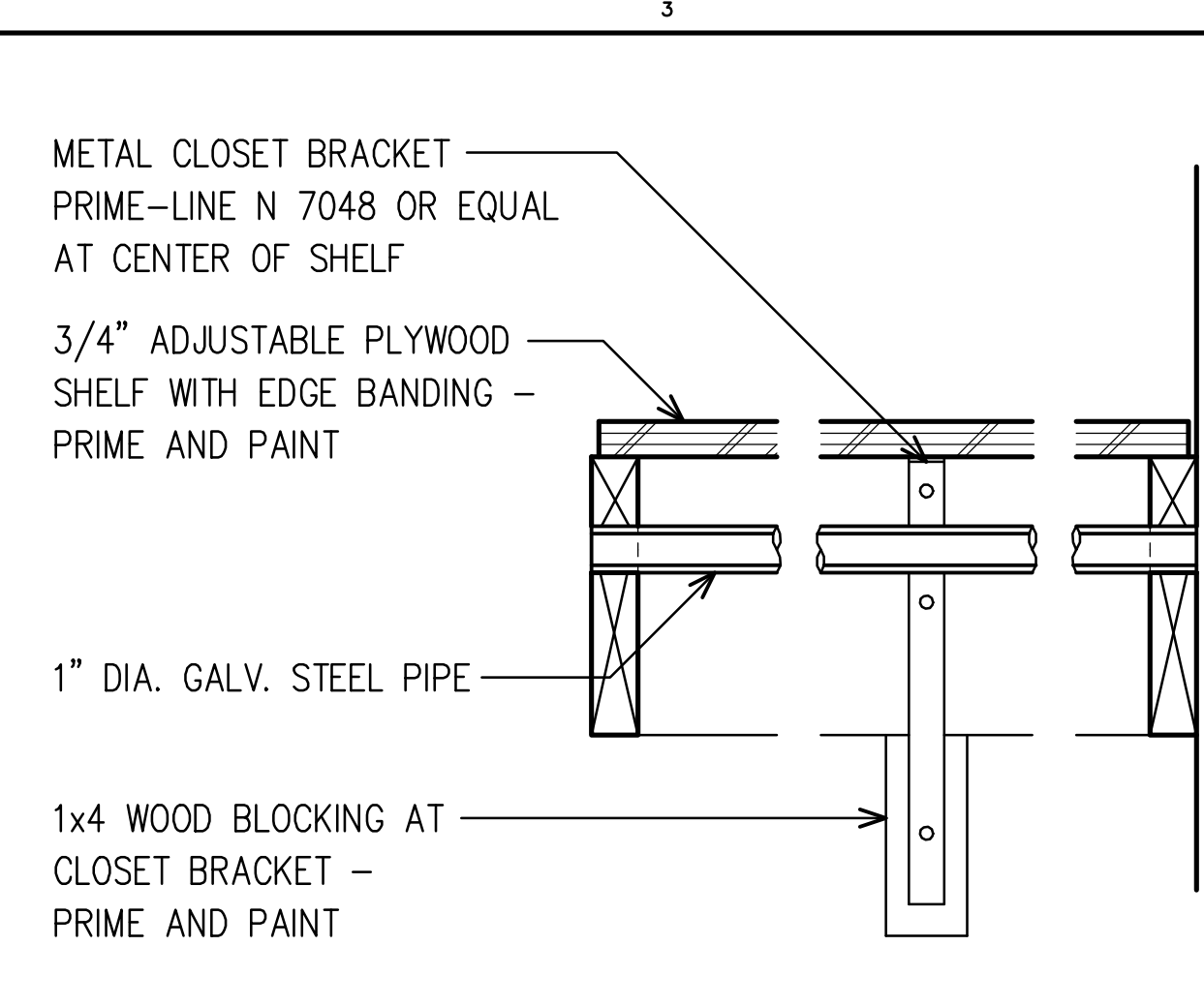
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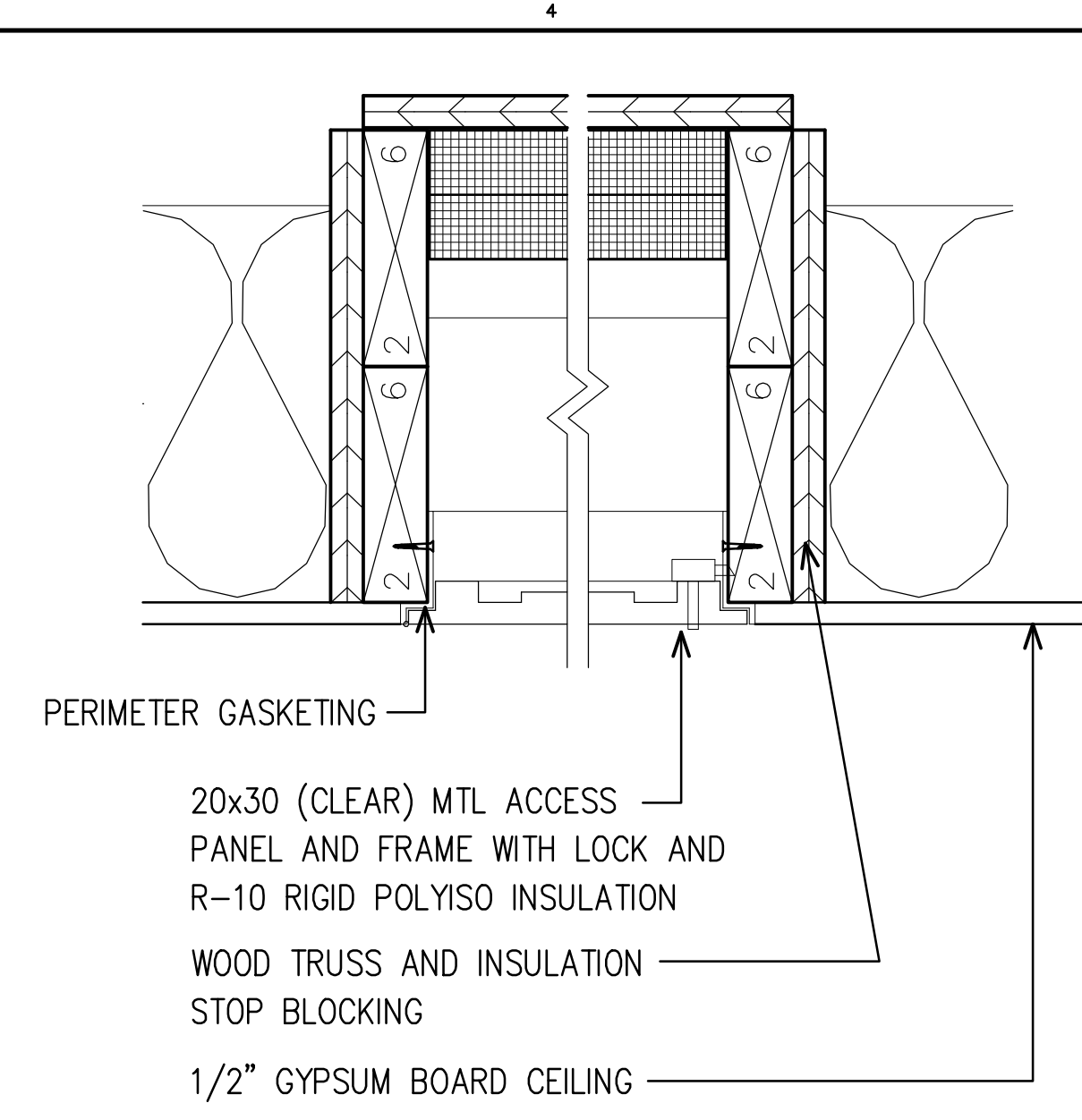
**A5.7.01 CLOSET SECTION**  
N.T.S.



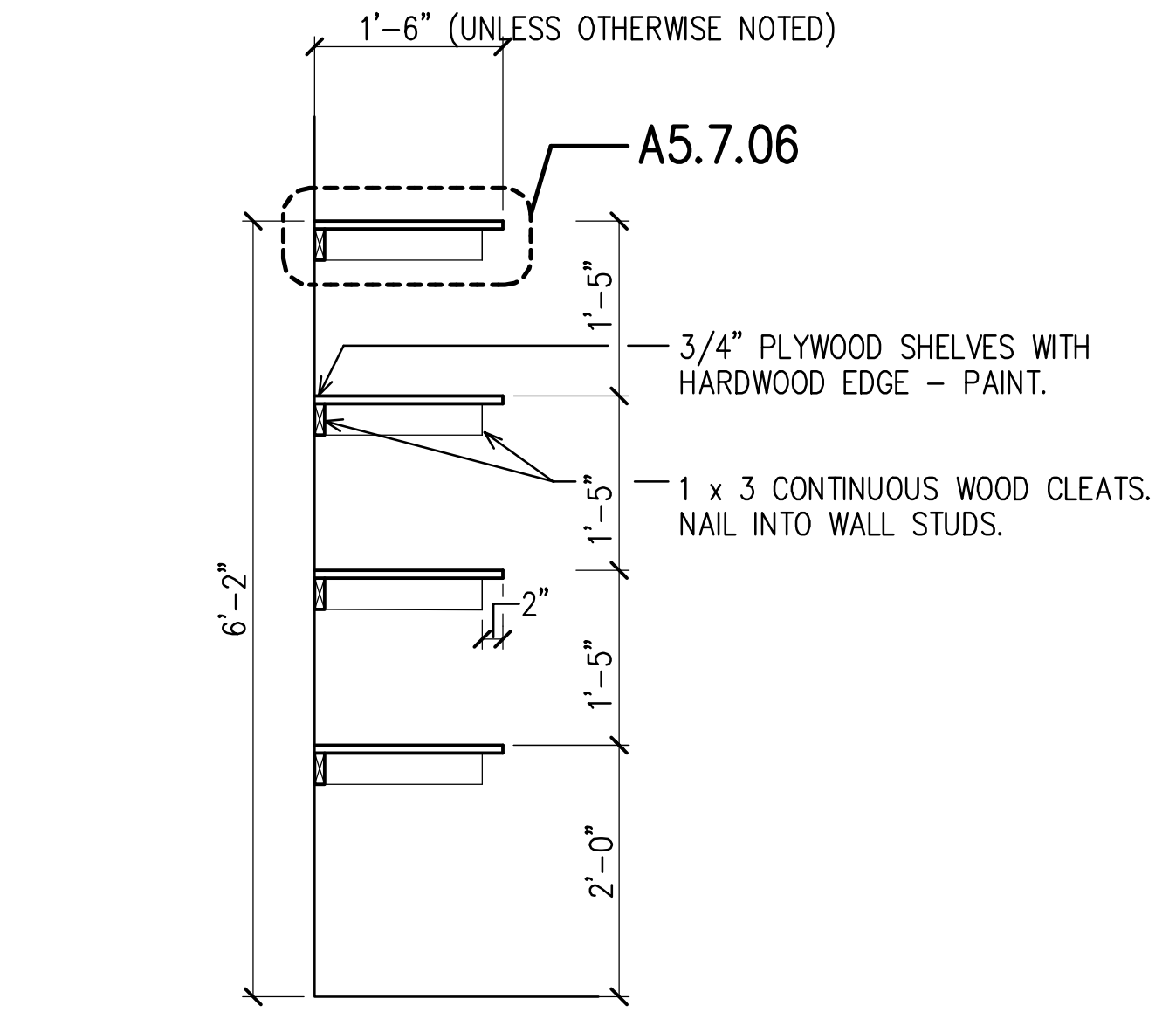
**A5.7.02 ENLARGED SHELF SECTION**  
N.T.S.



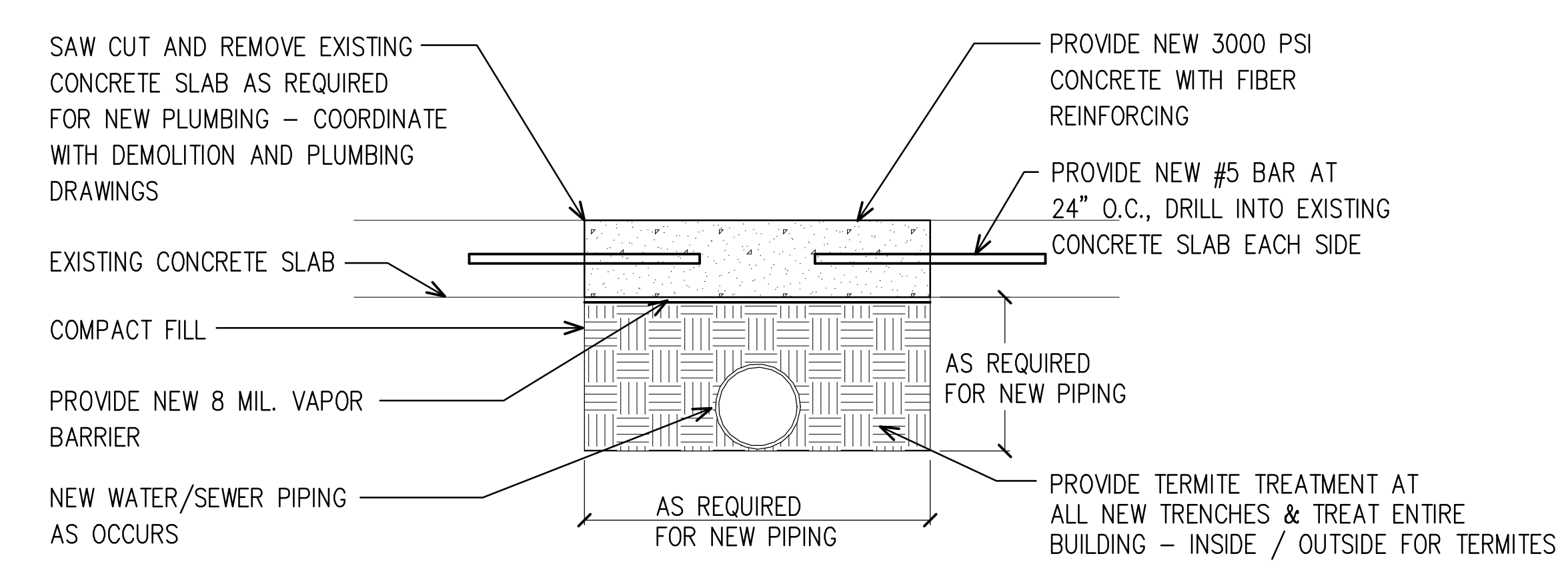
**A5.7.03 ENLARGED SHELF SECTION**  
N.T.S.



**A5.7.04 CEILING ACCESS PANEL**  
N.T.S.



**A5.7.05 SECTION - FIXED SHELVES**  
N.T.S.



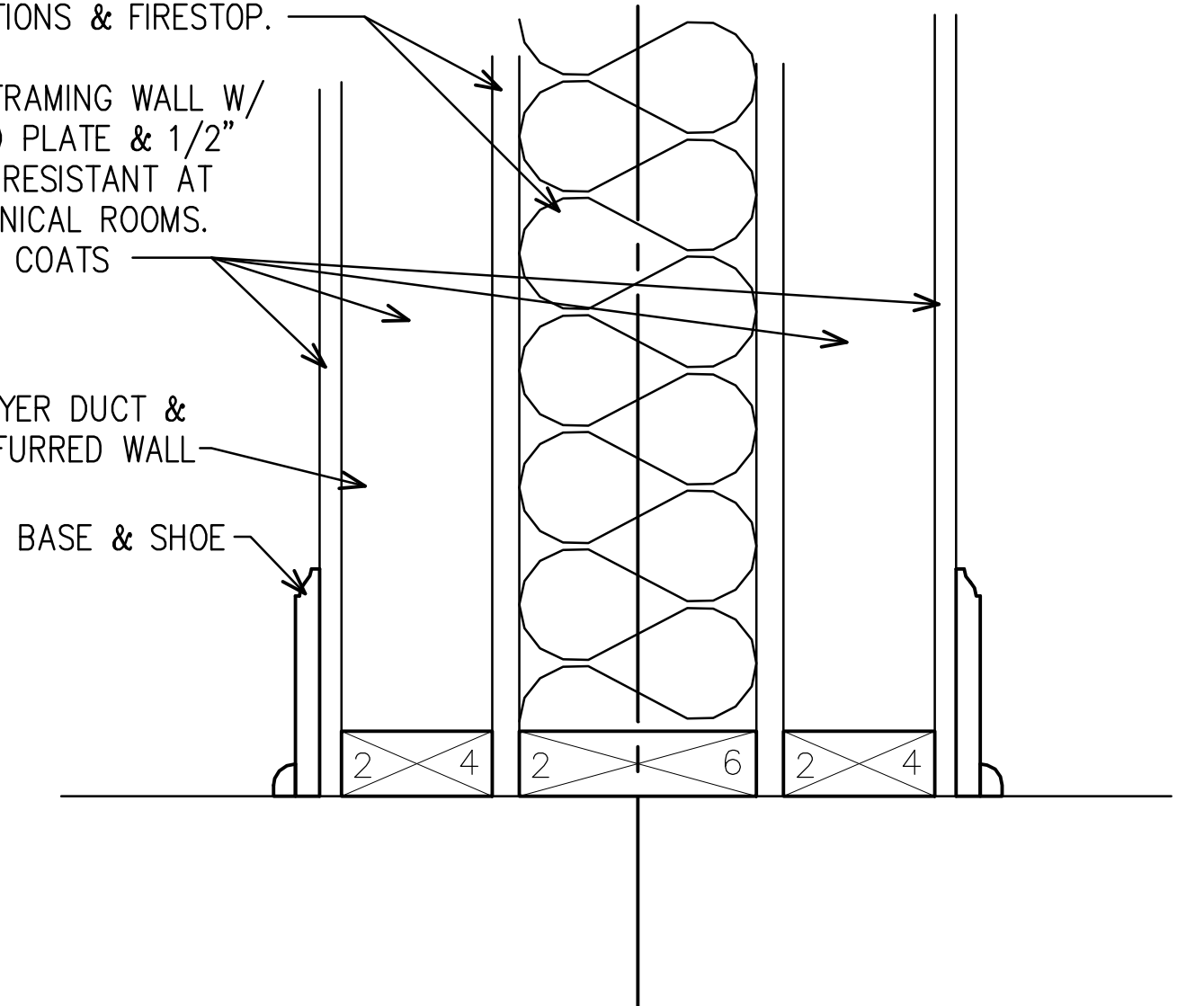
**A5.7.07 SLAB REMOVAL DETAIL**  
N.T.S.

PROVIDE NEW 1HR. FIRE RATED SEPARATION WALL -  
(1) LAYER 5/8" FIRE RATED GYP. BD. EA. SIDE ON  
2x6 WD. STUDS AT 16" O.C., FASTEN GYP. BD. 8" O.C.  
PARTITION TO RUN FROM FRONT WALL TO REAR WALL &  
FROM TOP OF FINISH FLOOR TO UNDERSIDE OF ROOF DECK  
(DESIGN BASIS U305) PROVIDE (1) LAYER OF 5" SOUND BATT  
INSULATION TO 2 FT. ABOVE CEILING. CONTRACTOR SHALL  
PROVIDE UL RATED DEVICES FOR RATING REQUIRED  
STAGGER PENETRATIONS & FIRESTOP.

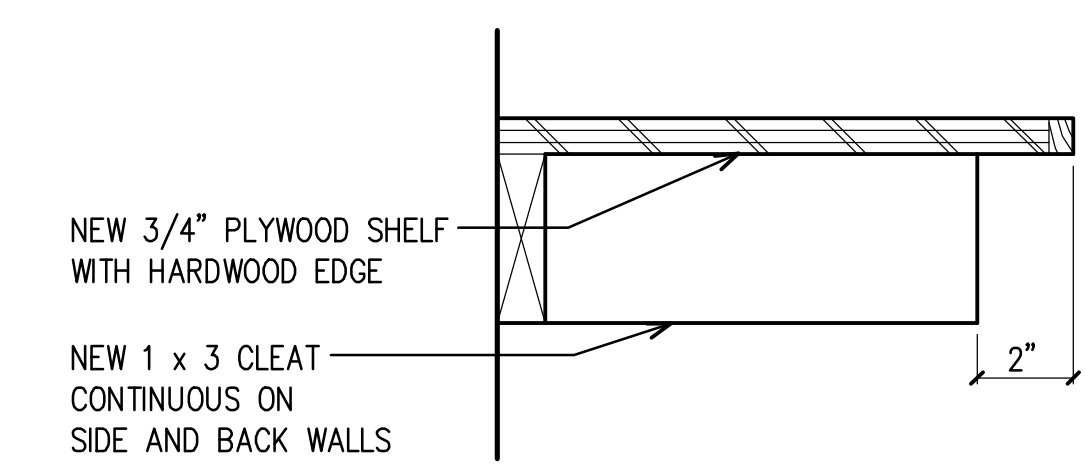
PROVIDE 2x4 WD. FRAMING WALL W/  
PRESSURE TREATED PLATE & 1/2" MOLD & MOISTURE RESISTANT AT  
LAUNDRY & MECHANICAL ROOMS.  
PRIME & PAINT (2) COATS

DRYER VENT BOX, DRYER DUCT &  
WASHER BOX TO BE FURRED WALL

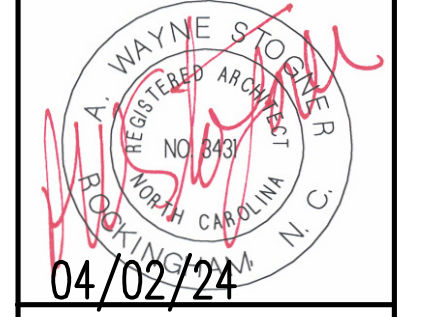
PROVIDE PAINTED WD. BASE & SHOE



**A5.7.08 APT. SEPARATION WALL/LAUNDRY RM. WALL**  
N.T.S.



**A5.7.06 ENLARGED SHELF SECTION**  
N.T.S.



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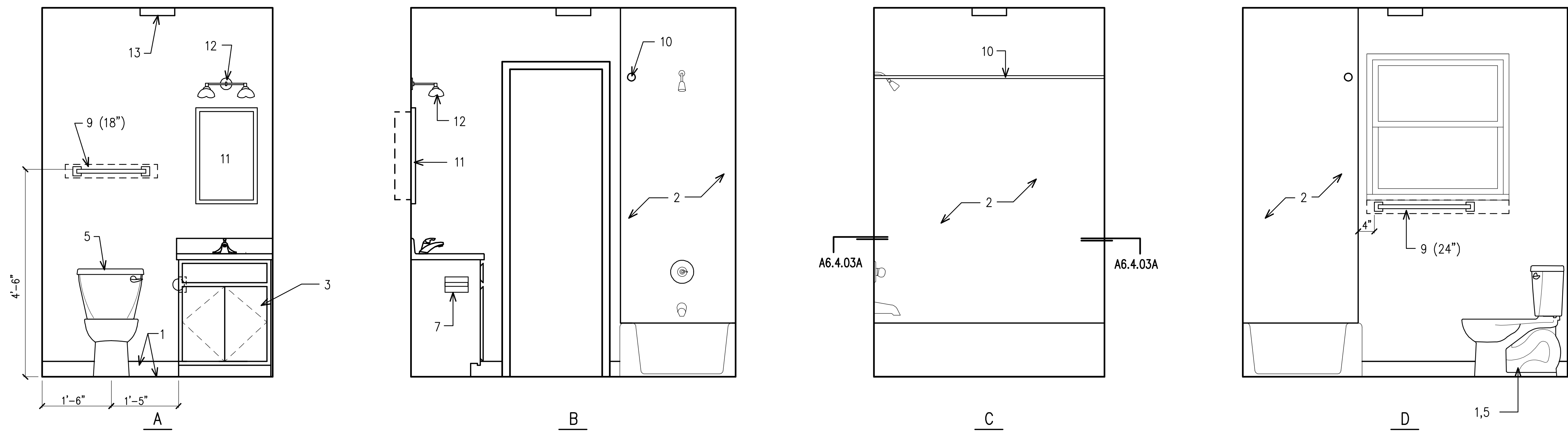
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MISCELLANEOUS DETAILS	
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DATE APRIL 2, 2024	
SHEET NO.	A5.7



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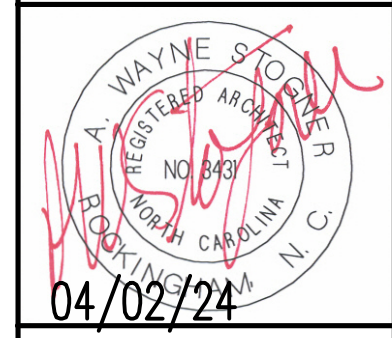
SEE SHEET A6.4 FOR BATHROOM KEYNOTES



**A6.0.01 BATHROOM ELEVATIONS – TWO BEDROOM UNIT ; NC 15-1**

SCALE: 3/4" = 1'-0"

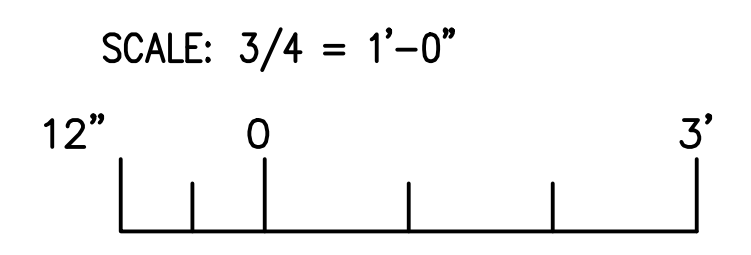
BUILDING TYPE "C"



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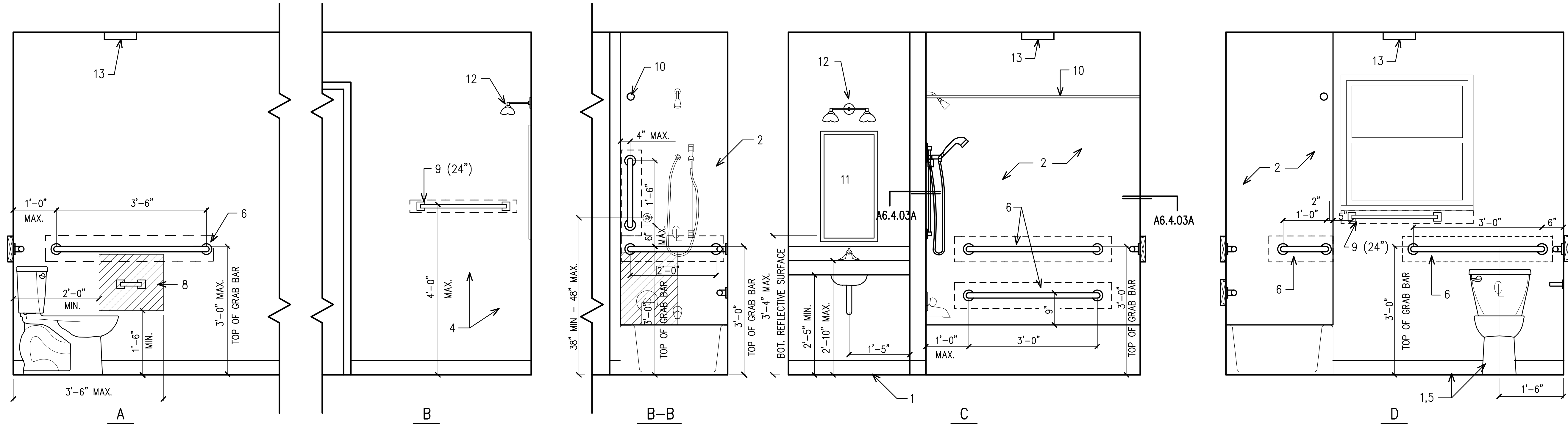
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 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
 GOLDSBORO NORTH CAROLINA

BATHROOM ELEVATIONS, TWO BEDROOM UNIT ;	
NC 15-1	
6041-B, A6.0.AEC	
COMM. NO.	6041-B
DRAWN BY	WBP
CHECKED BY	AWS
DATE	APRIL 2, 2024
SHEET NO.	A6.0



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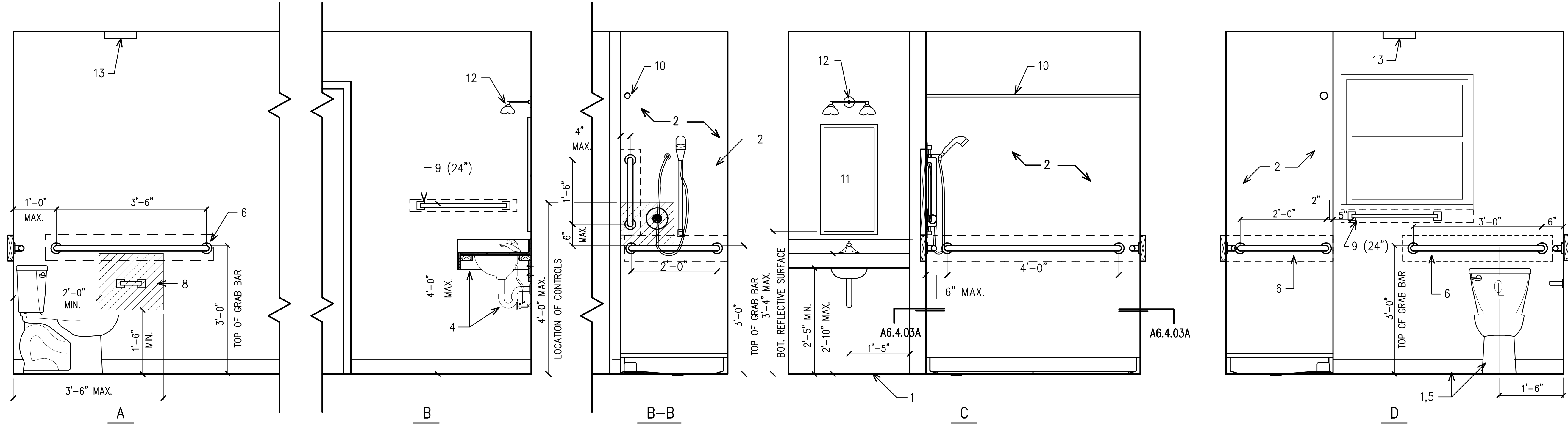
SEE SHEET A6.4 FOR BATHROOM KEYNOTES



**A6.1.01 BATHROOM ELEVATIONS – TWO BEDROOM HANDICAP UNIT ; NC 15-1**

SCALE: 3/4" = 1'-0"

BUILDING TYPE "C"

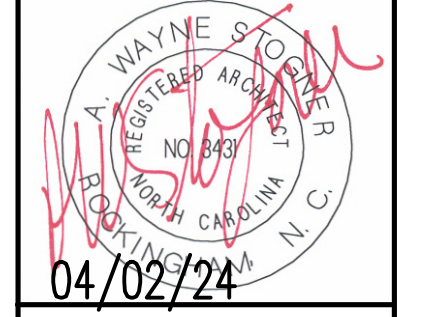


**A6.1.02 BATHROOM ELEVATIONS (ROLL-IN SHOWER) – TWO BEDROOM HANDICAP UNIT ; NC 15-1**

SCALE: 3/4" = 1'-0"

BUILDING TYPE "C"

SCALE: 3/4" = 1'-0"



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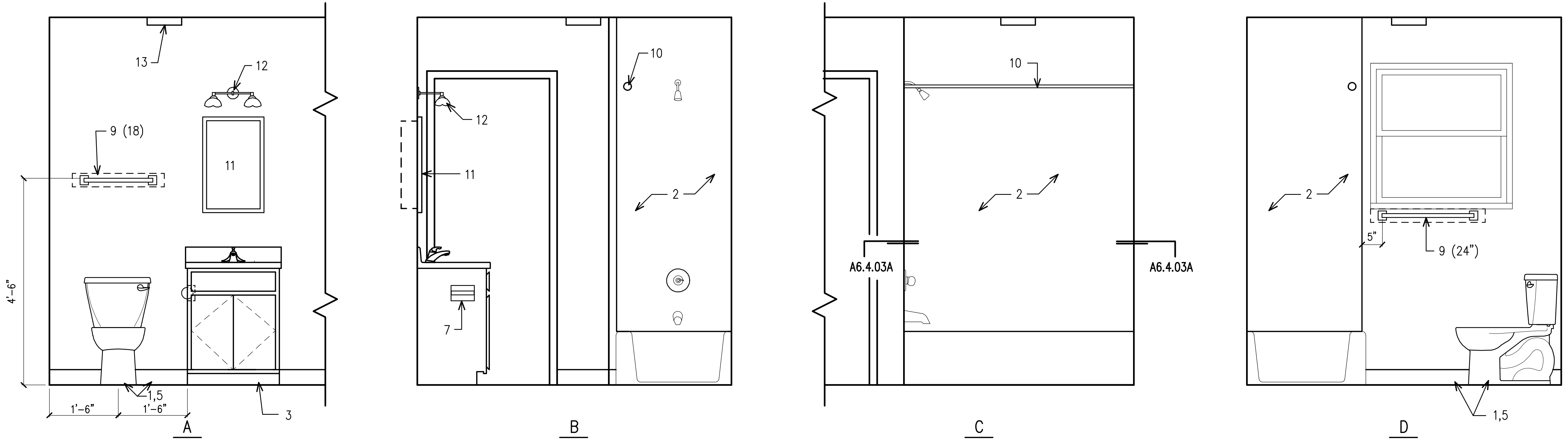
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BATHROOM ELEVATIONS, TWO BEDROOM HANDICAP UNIT ;	
NC 15-1	
6041-B, A6.1.AEC	
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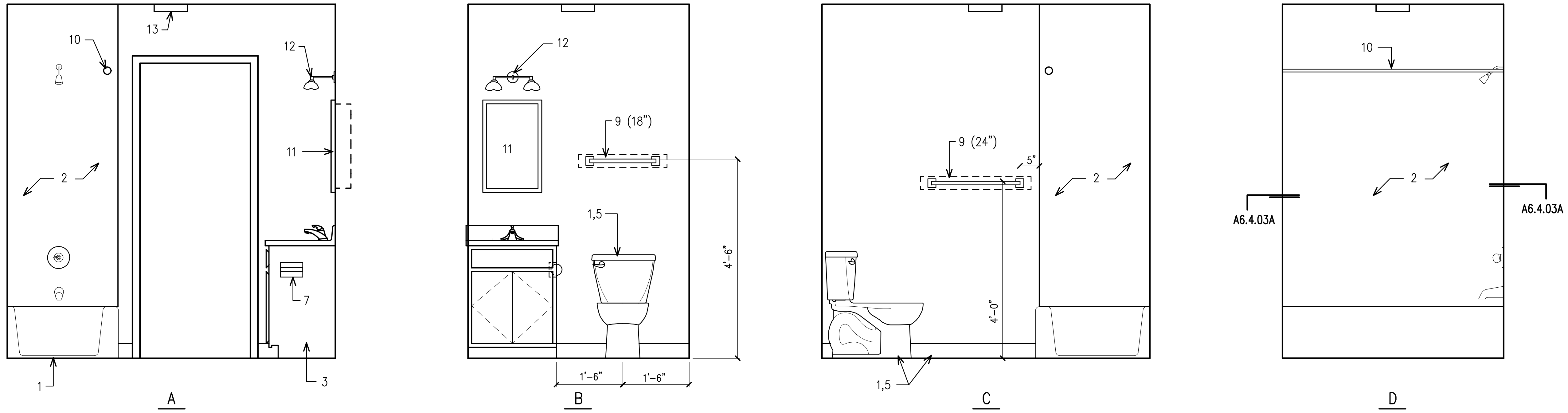
SEE SHEET A6.4 FOR BATHROOM KEYNOTES



**A6.2.01 BATHROOM ELEVATIONS – THREE BEDROOM UNIT ; NC 15-1**

SCALE: 3/4" = 1'-0"

BUILDING TYPE "E"

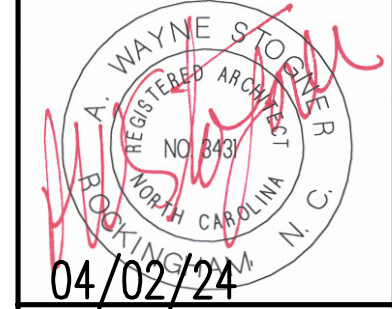


**A6.2.02 BATHROOM ELEVATIONS – FOUR BEDROOM UNIT ; NC 15-1**

SCALE: 3/4" = 1'-0"

BUILDING TYPE "F"

SCALE: 3/4" = 1'-0"



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BATHROOM ELEVATIONS, THREE BEDROOM UNIT & FOUR BEDROOM UNIT ;

NC 15-1

6041-B, A6.2.AEC

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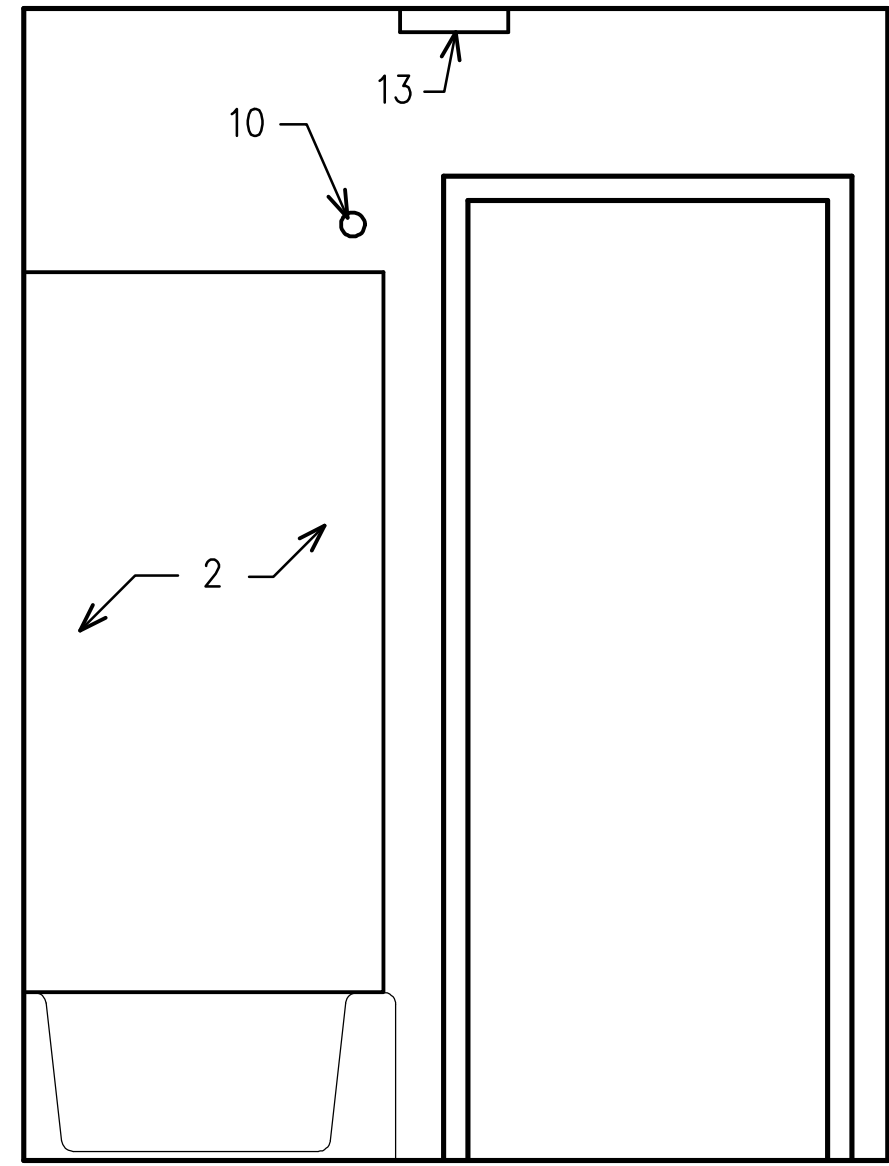
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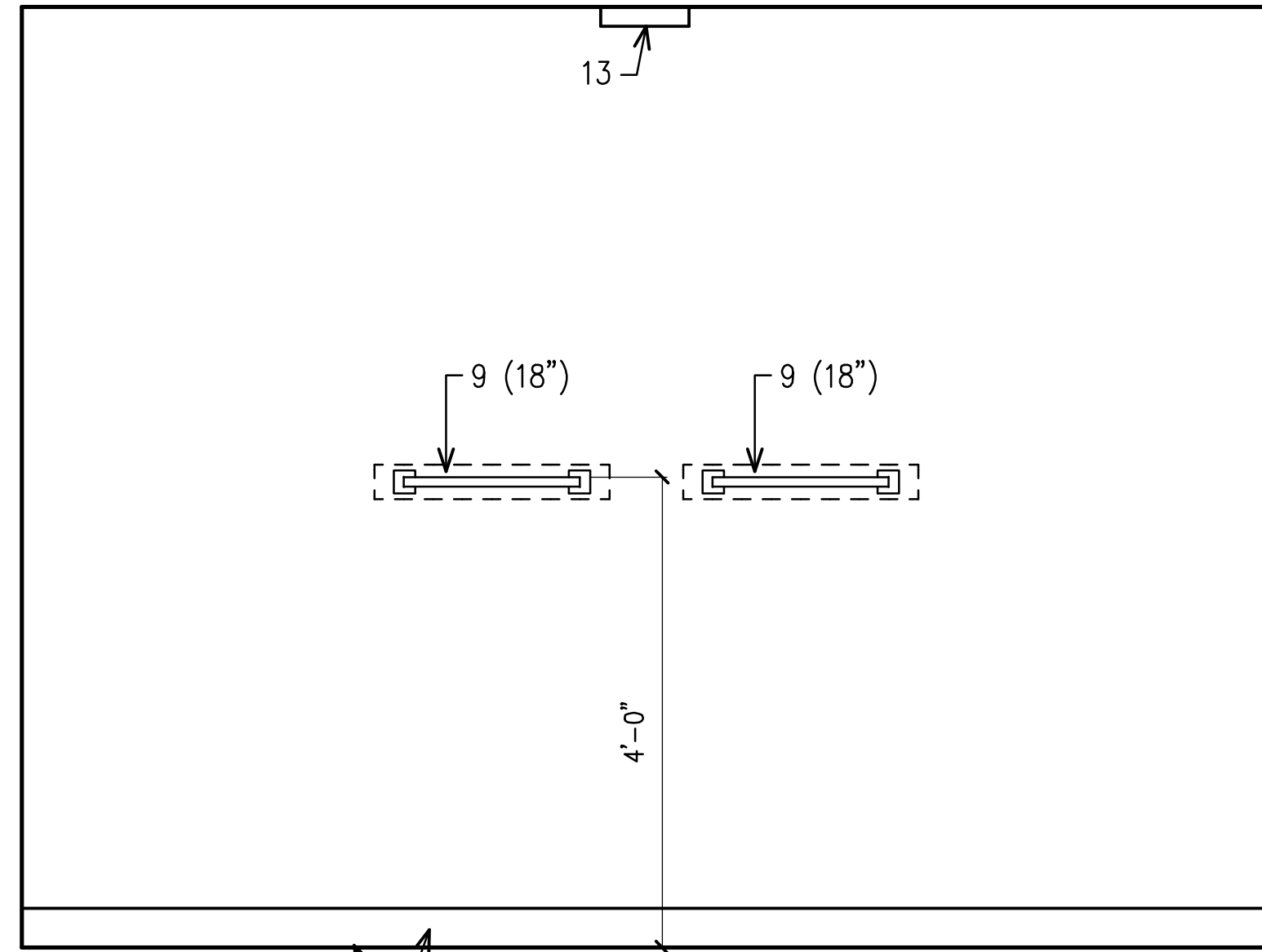
**A6.2**

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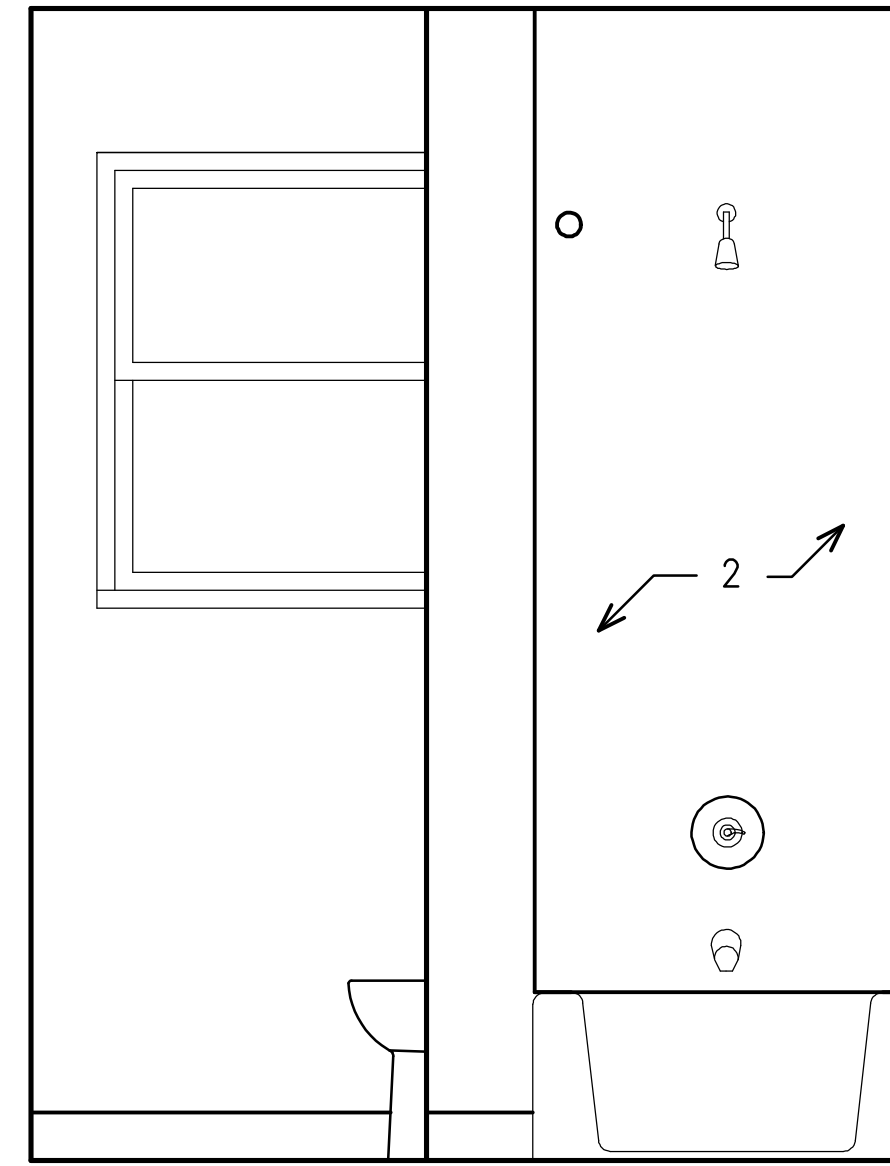
SEE SHEET A6.4 FOR BATHROOM KEYNOTES



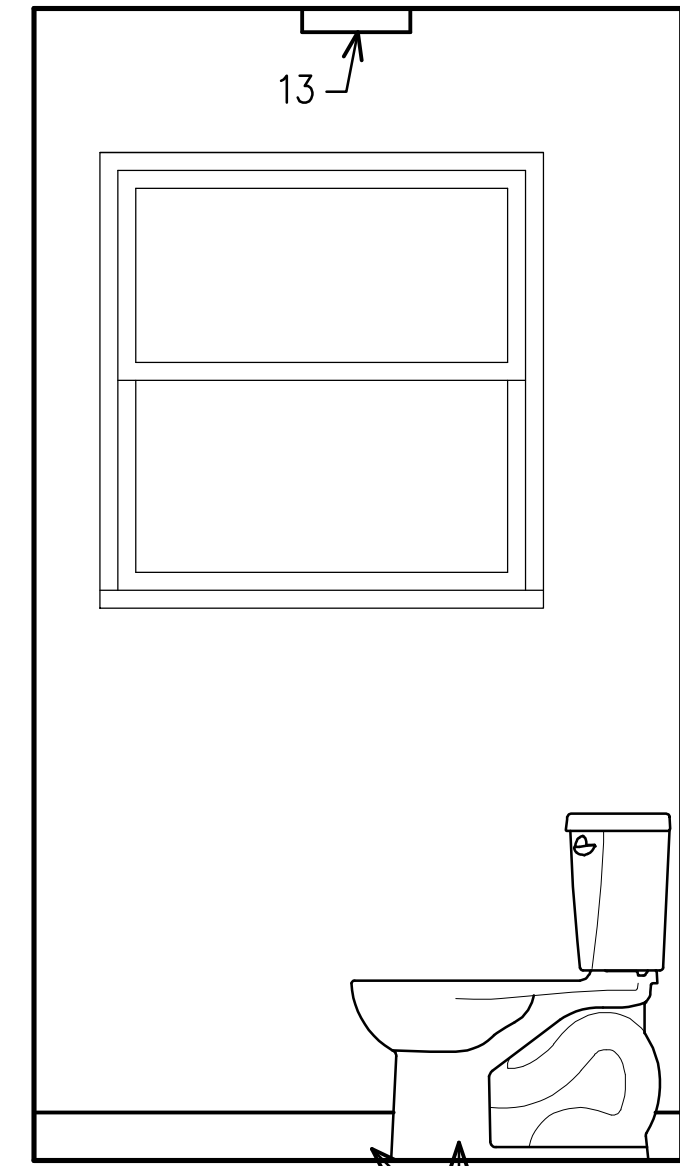
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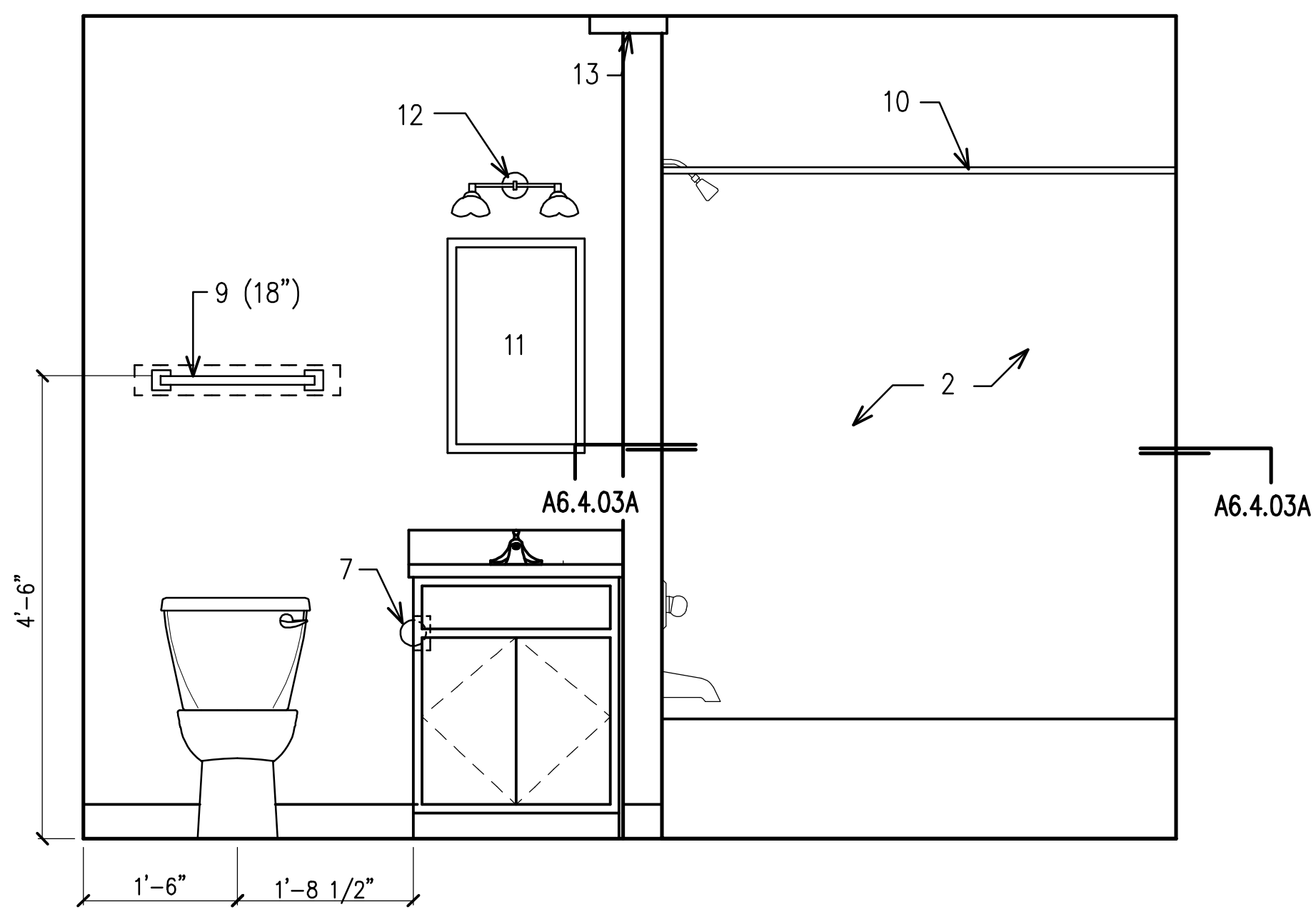
B



C-C



C



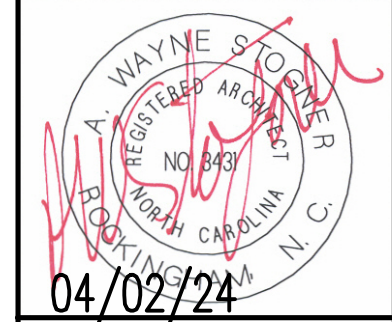
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**A6.3.01 BATHROOM ELEVATIONS – FOUR BEDROOM UNIT ; NC 15-1**

SCALE: 3/4" = 1'-0"

BUILDING TYPE "F"

SCALE: 3/4" = 1'-0"



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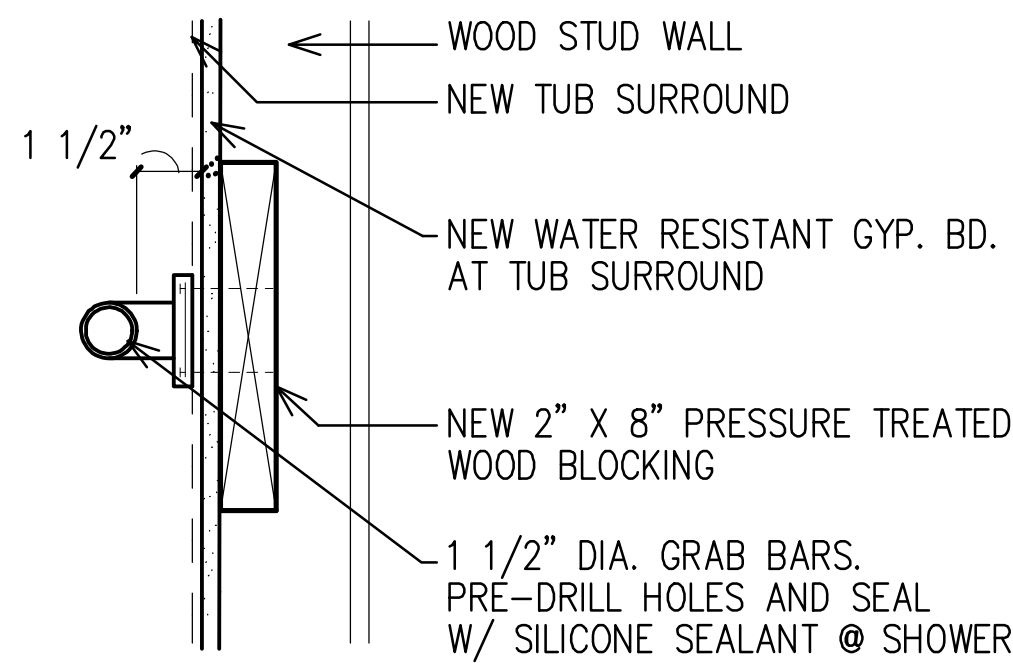
BATHROOM ELEVATIONS,  
 FOUR BEDROOM UNIT ;

NC 15-1  
 6041-B, A6.3.AEC  
 COMM. NO. 6041-B  
 DRAWN BY WBP  
 CHECKED BY AWS  
 DATE APRIL 2, 2024  
 SHEET NO.

**A6.3**

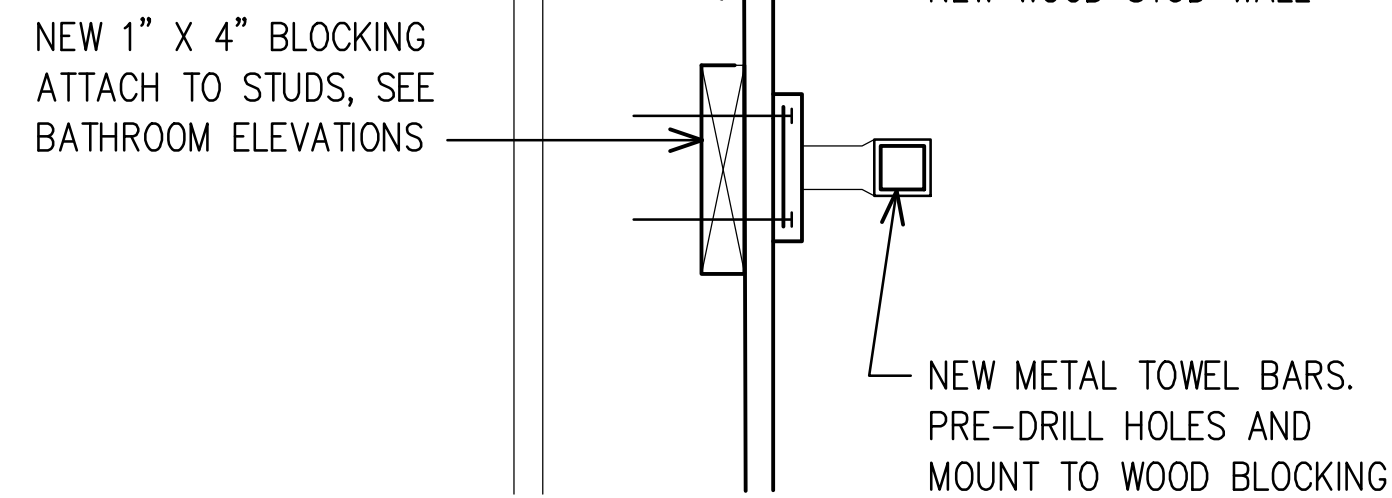


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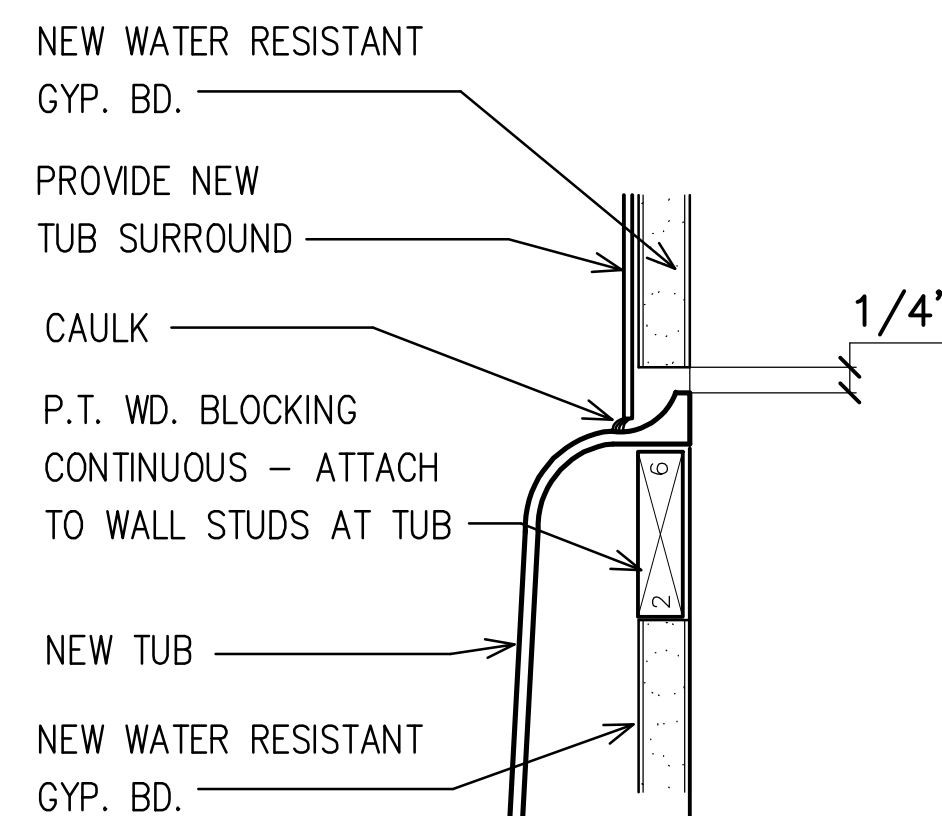
**A6.4.01 GRAB BAR DETAIL**

SCALE: NONE



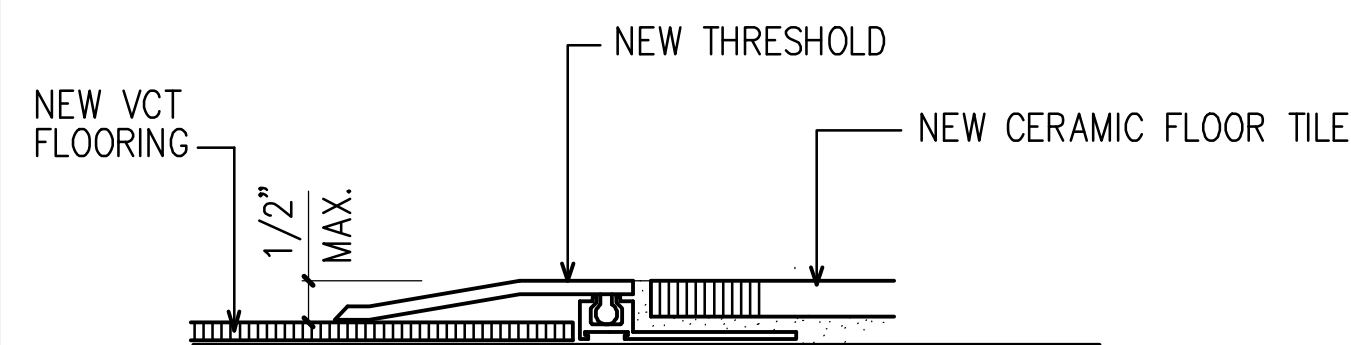
**A6.4.02 TOWEL BAR DETAIL**

SCALE: NONE



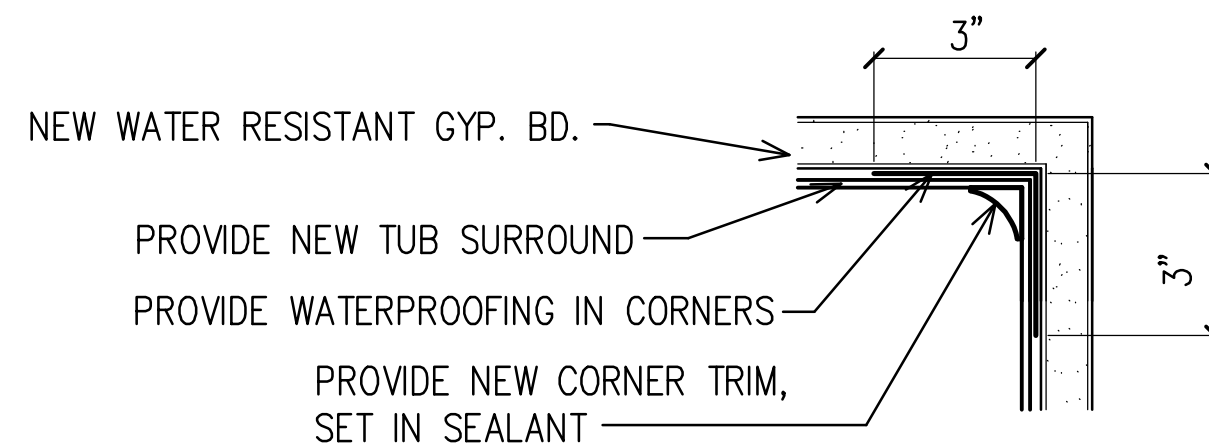
**A6.4.03 TUB RIM SUPPORT DETAIL**

SCALE: NONE



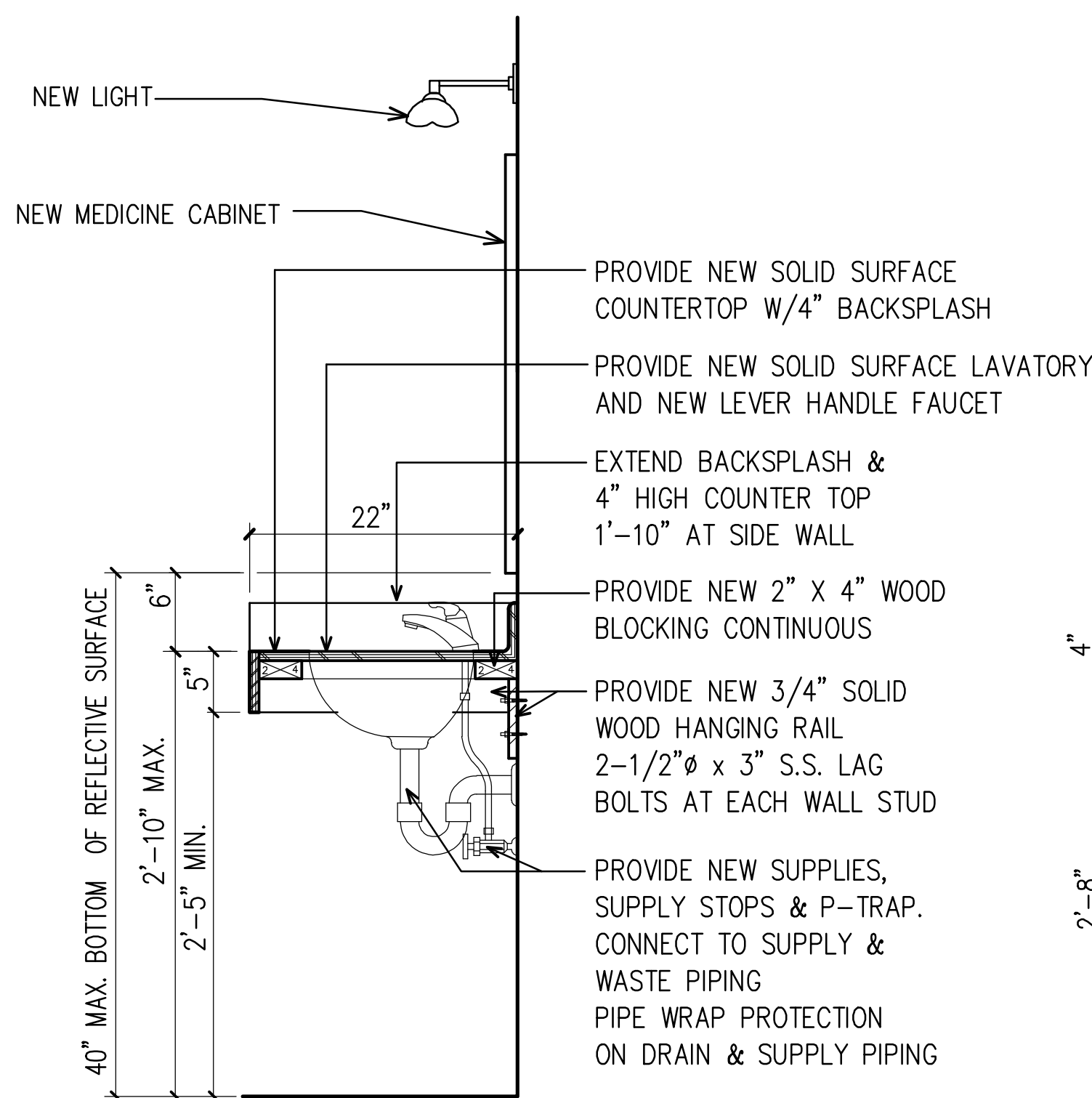
**A6.4.04 NEW THRESHOLD DETAIL AT C.T.**

SCALE: NONE



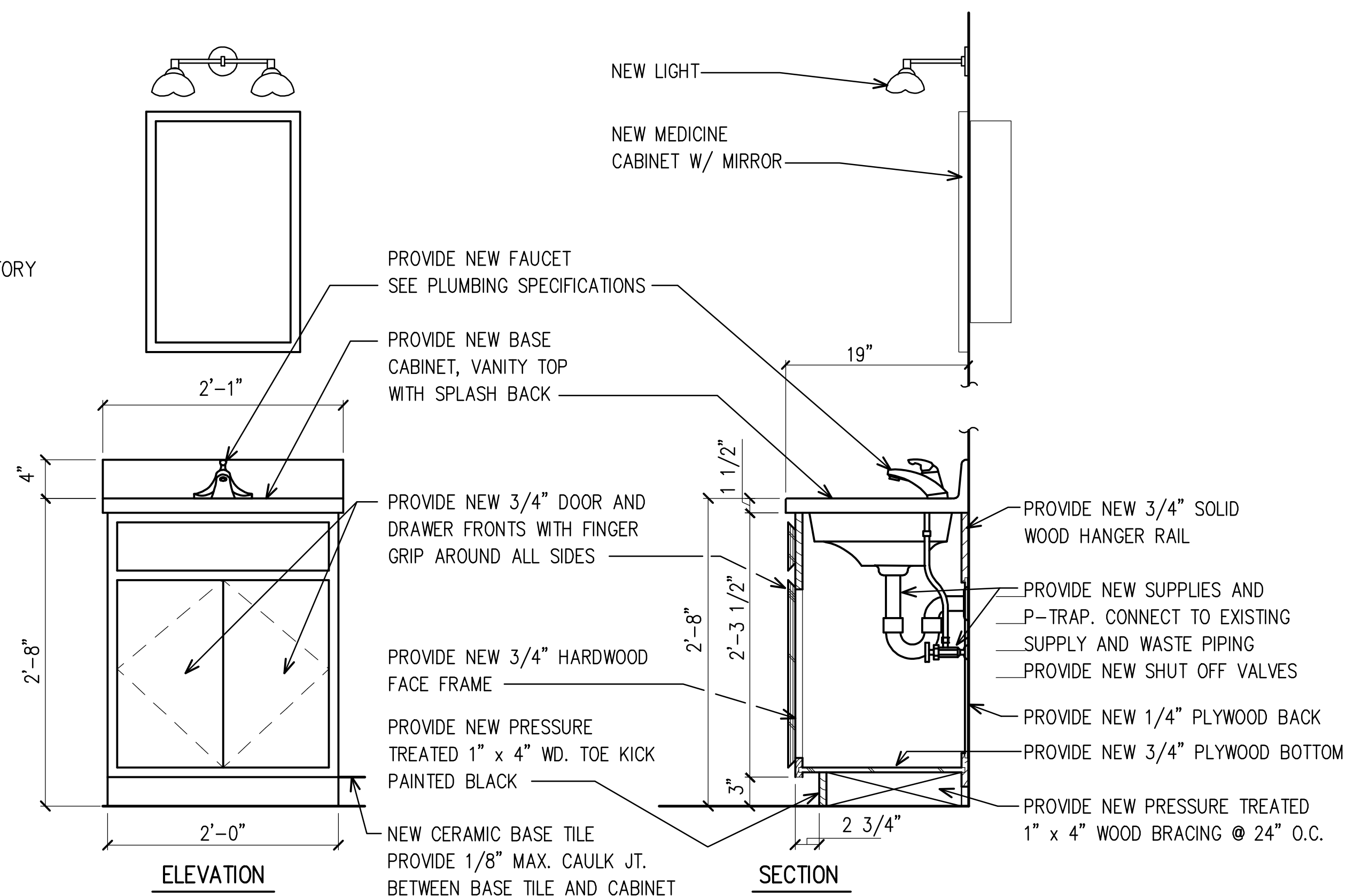
**A6.4.03A WATERPROOF CORNER @ SURROUND**

SCALE: NONE



**A6.4.05 COUNTER/LAVATORY @ H.C. APT.**

SCALE 1" = 1'-0"

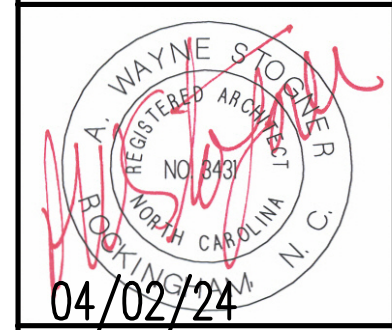


**A6.4.06 TYPICAL VANITY DETAIL**

SCALE 1" = 1'-0"

**BATHROOM KEYNOTES**

1. REMOVE EXISTING CERAMIC TILE FLOOR & BASE. REMOVE EXISTING MARBLE TILE FLOOR & BASE, PROVIDE NEW THRESHOLD. REPLACE UNDERSLAB SEWER PIPING. PROVIDE NEW CERAMIC TILE FLOOR & BASE, PROVIDE NEW THRESHOLD.
2. REMOVE EXISTING TUB & TUB SURROUND COMPLETE. PROVIDE NEW TUB, FAUCET & SPOUT. PROVIDE NEW RISER PIPE, NEW SHOWER HEAD AT 6'-6" A.F.F. PROVIDE NEW WATER RESISTANT GYP. BD. AT TUB WALL. PROVIDE NEW SOLID SURFACE SURROUND, EXTEND TO CLG. PROVIDE WATERPROOF AT CORNERS & PROVIDE CORNER TRIM @ SURROUND. AT HANDICAP APT'S., PROVIDE DIVERter VALVE, SHOWER CONTROLS, HANDHELD SHOWER W/ SLIDE & 60" FLEXIBLE HOSE. PROVIDE WD. BLOCKING & GRAB BARS AT HANDICAP APT'S., AT (2) HANDICAP APT'S, PROVIDE ROLL-IN SHOWER.
3. REMOVE EXISTING WALL HUNG LAVATORY, WALL HANGER, SUPPLY & WASTE PIPING. PROVIDE NEW PVC WASTE PIPING. PROVIDE NEW VANITY BASE, TOP, FAUCET, SUPPLIES & STOPS.
4. AT HANDICAP APT'S., REMOVE EXISTING WALL HUNG LAVATORY, WALL HANGER, SUPPLY & WASTE PIPING, PROVIDE NEW SOLID SURFACE COUNTER W/ LEVER HANDLE FAUCET. PROVIDE NEW SUPPLIES, STOPS & PVC DRAIN PIPING. PROVIDE PIPE PROTECTION WRAP ON SUPPLY & DRAIN PIPING.
5. REMOVE EXISTING WATER CLOSET, SUPPLY STOP, WASTE PIPING. PROVIDE NEW WASTE PIPE/TOILET FLANGE, WAX RING, WATER CLOSET, CLOSET BOLTS, SUPPLY & SUPPLY STOP. PROVIDE ESCUTCHEON PLATE ON SUPPLY PIPING.
6. PROVIDE WD. BLOCKING & GRAB BARS AT HANDICAP APT'S.
7. PROVIDE RECESSED TISSUE HOLDER, MOUNT IN SIDE OF VANITY CABINET.
8. AT HANDICAP APT'S., PROVIDE WD. BLOCKING & NEW TISSUE HOLDER.
9. PROVIDE 1"x4" WD. BLOCKING IN WALL & NEW TOWEL BAR, MOUNT TOWEL BAR TO WD. BLOCKING.
10. PROVIDE NEW SHOWER CURTAIN ROD. PROVIDE BLOCKING IN WALL FOR MOUNTING. AT HANDICAP APT'S., PROVIDE WEIGHTED SHOWER CURTAIN @ ROLL-IN SHOWER.
11. REMOVE EXISTING MEDICINE CABINET & PROVIDE NEW RECESSED MEDICINE CABINET W/ MIRROR. TYPICAL MEDICINE CABINET IS 16" x 25", AT HANDICAP APT., MEDICINE CABINET IS 16" x 32".
12. REMOVE EXISTING WALL MOUNTED LIGHT, PROVIDE NEW WALL MOUNTED LIGHT & WIRE TO EXHAUST FAN/LIGHT TIMER SWITCH.
13. REMOVE EXISTING EXHAUST FAN, PROVIDE NEW HUMIDITY SENSING EXHAUST FAN/LIGHT, RIGID DUCT TO NEW ROOF CAP. WIRE FAN/LIGHT & LAV./ VANITY LIGHT TO SAME SWITCH. PROVIDE NEW COVER PLATE.



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BATHROOM KEYNOTES, BATHROOM DETAILS ;

NC 15-1 & NC 15-3

6041-B, A6.4.AEC

COMM. NO. 6041-B

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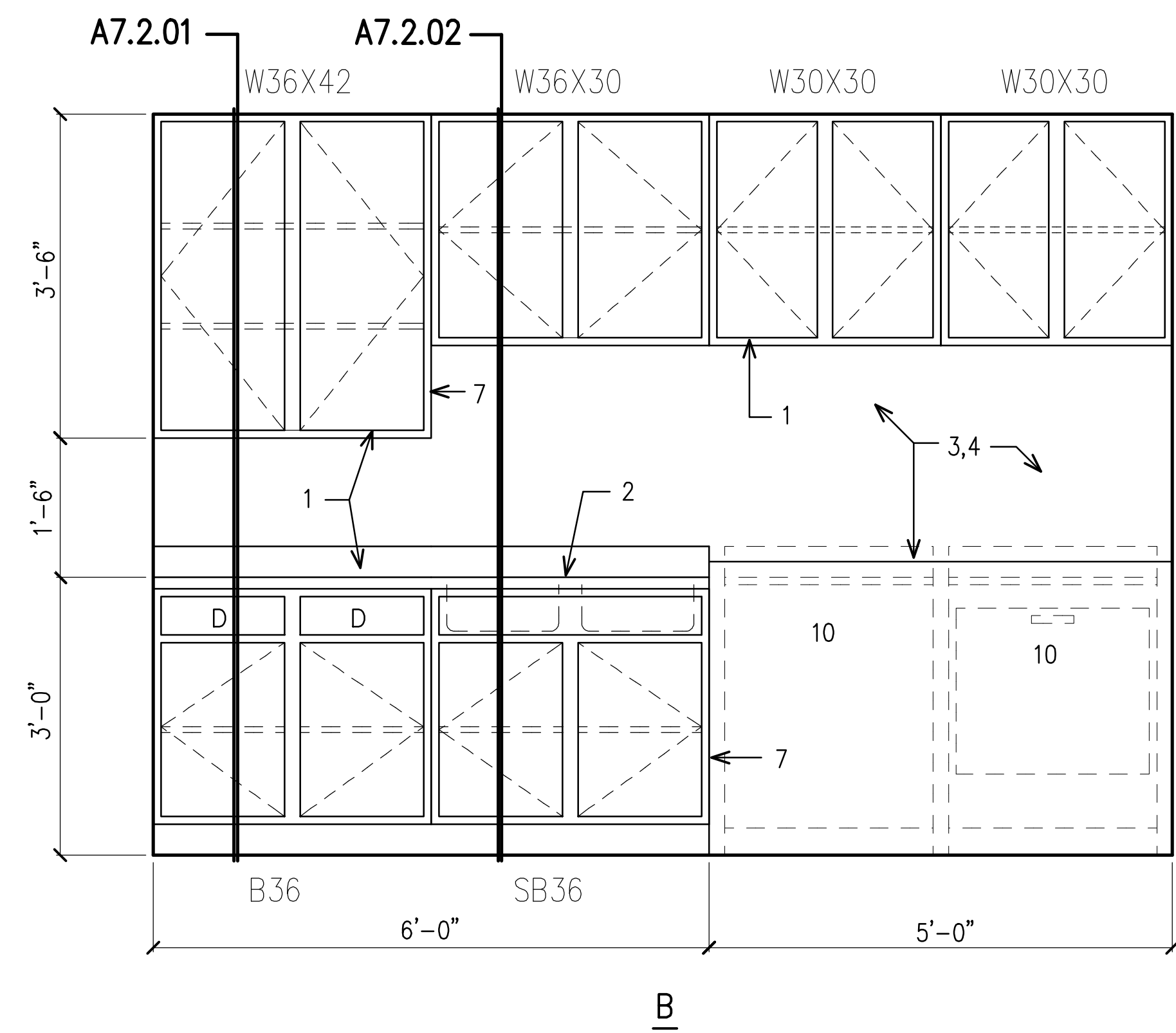
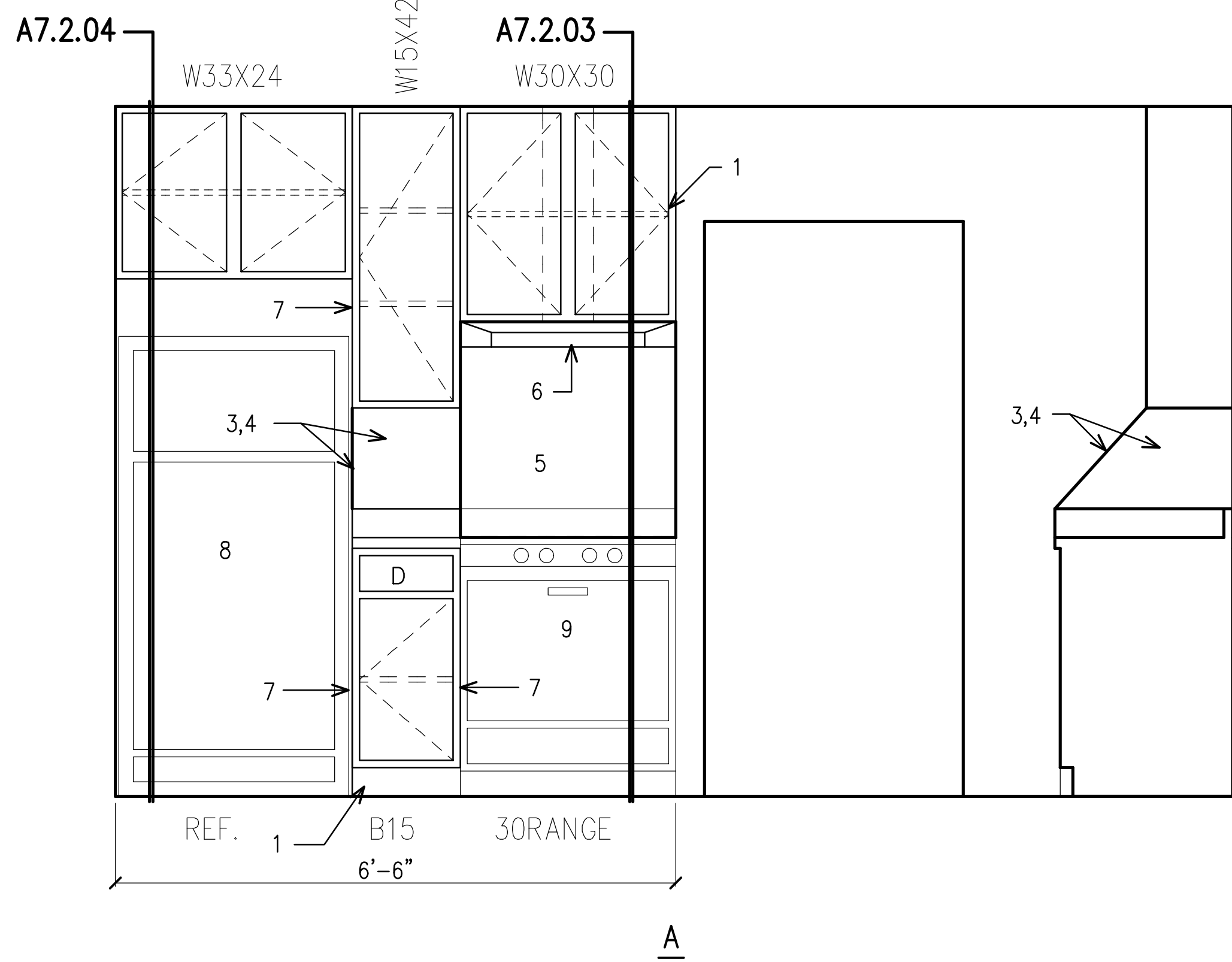
DATE APRIL 2, 2024

SHEET NO.

**A6.4**



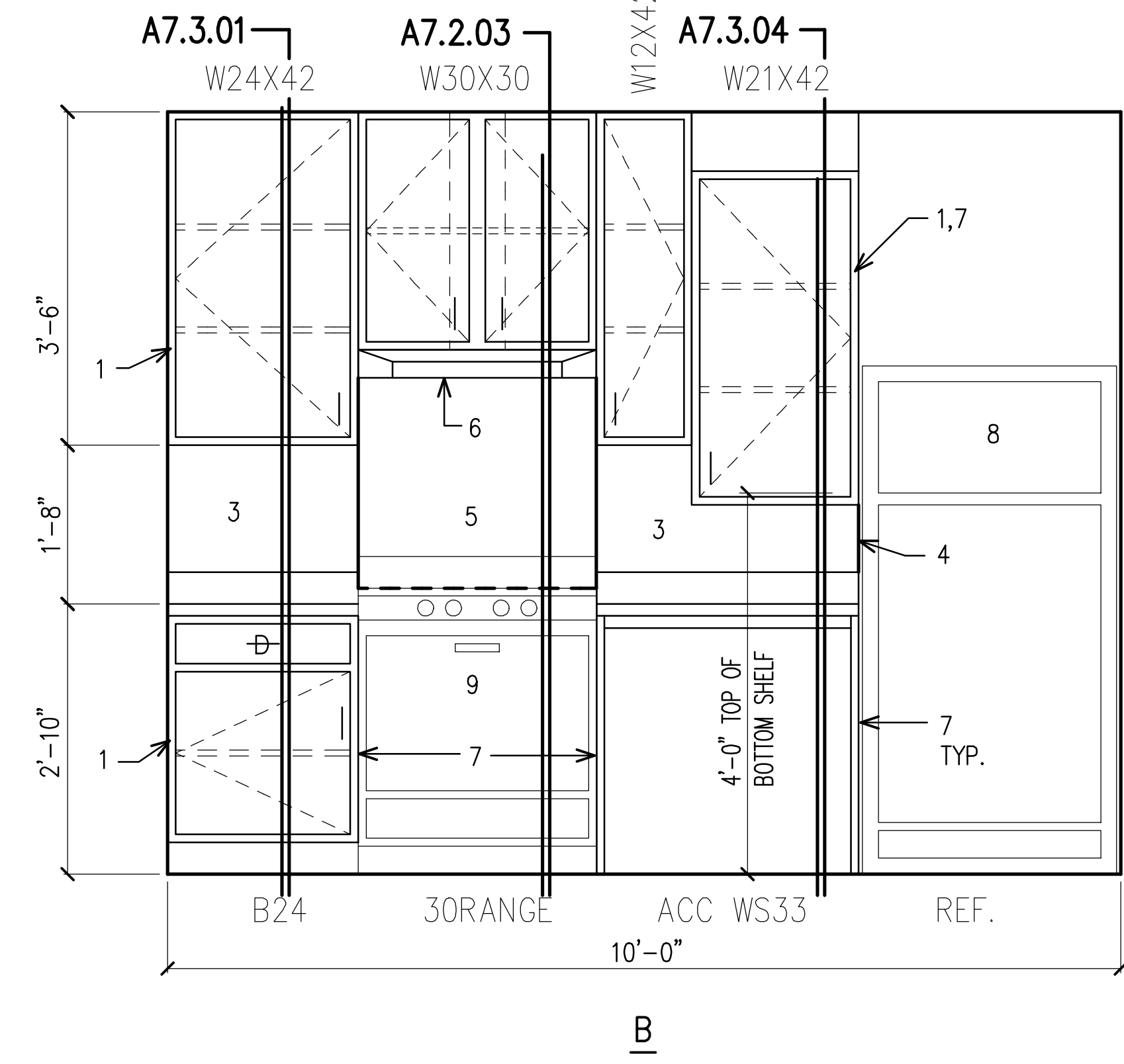
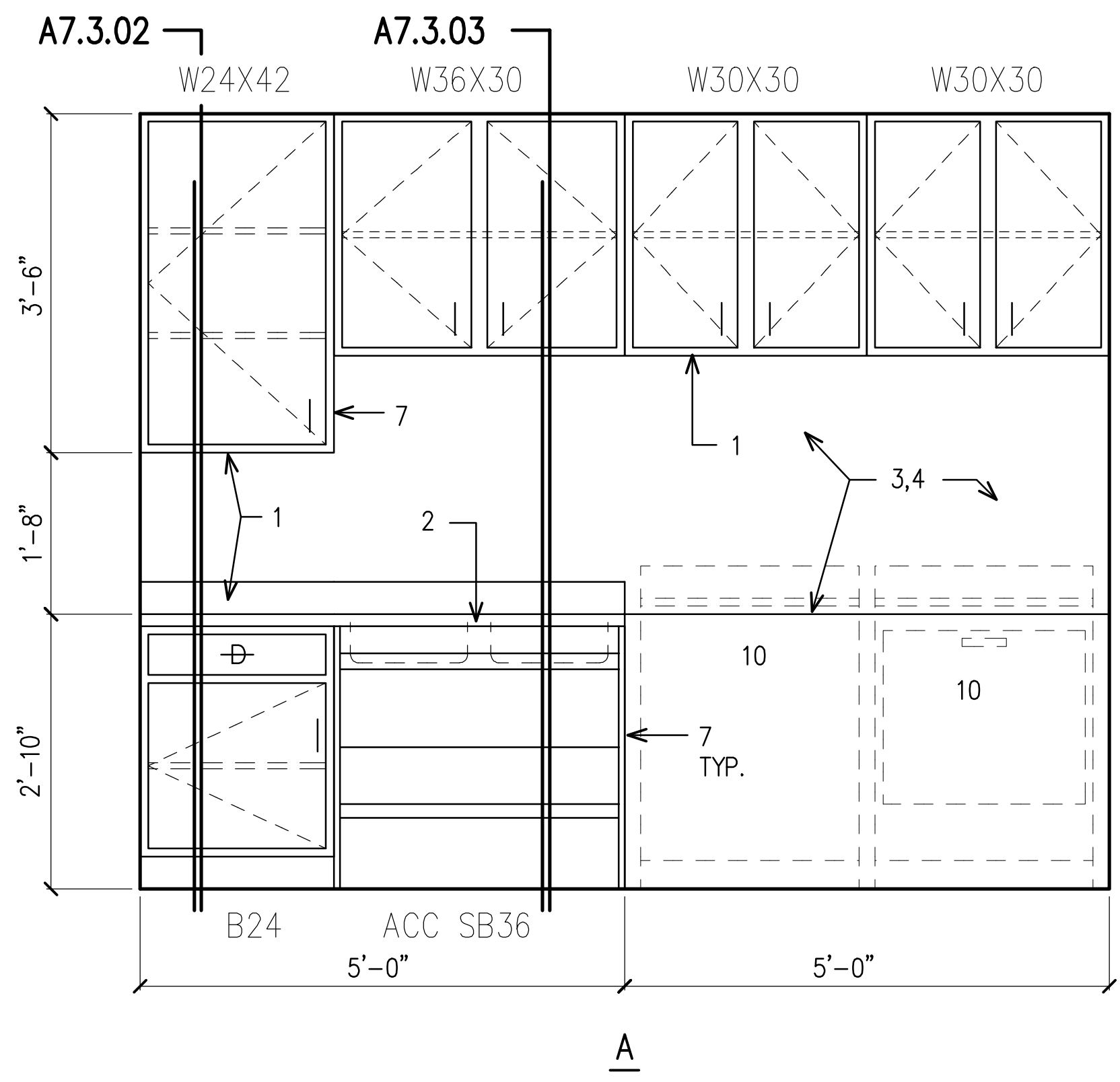
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**A7.0.01 CABINET ELEVATIONS, TWO BEDROOM UNIT ; NC 15-1**

SCALE: 3/8" = 1'-0"

BUILDING TYPE "C"



**A7.0.02 CABINET ELEVATIONS, TWO BEDROOM HANDICAP UNIT ; NC 15-1**

SCALE: 3/4" = 1'-0"

BUILDING TYPE "C"

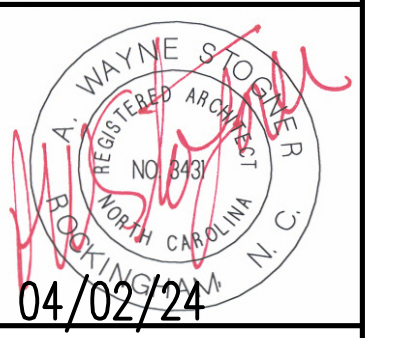
(APARTMENT #905A, #927A, #1730B & #1726A (OPP. HD.))

- CABINET KEYNOTES**
- REMOVE EXISTING WALL CABINETS, BASE CABINETS, WOOD SHELF & COUNTERTOPS. PROVIDE NEW WALL CABINET, BASE CABINET, SOLID SURFACE COUNTERTOP W/ SPLASH (BASE BID) & PLASTIC LAMINATE COUNTERTOP W/ 4" POST FORMED BLACKSPLASH (ATL. BID).
  - REMOVE EXISTING ST. STL. SINK, DRAIN PIPING, P-TRAP, SUPPLIES AND STOPS. PROVIDE NEW ST. STL. SINK & ACCESSORIES. PROVIDE DRAIN PIPE, P-TRAP, NEW FAUCET SET, SUPPLIES & STOPS.
  - PROVIDE NEW PLASTIC LAMINATE SPLASH ON WALL.
  - PROVIDE NEW ALUMINUM EDGE TRIM AT EXPOSED EDGE OF PLASTIC LAMINATE SPLASH ON WALL.
  - PROVIDE NEW S.S. SPLASH ON WALL AT RANGE.
  - PROVIDE NEW VENTED RANGE HOOD W/ PLY. WD. ENCLOSURE. PROVIDE (2) FIRE STOP EXTINGUISHERS AT EA. RANGE.
  - PROVIDE FINISHED END PANEL AT EXPOSED ENDS OF BASE AND WALL CABINETS.
  - REFRIGERATORY OWNER.
  - RANGE BY OWNER.
  - WASHER & DRYER BY OWNER.

- GENERAL NOTES**
- CONTRACTOR TO FIELD MEASURE EACH KITCHEN PRIOR TO PERPARING SHOP DRAWINGS OR ORDERING MATERIALS.
  - PROVIDE CLOSURE PIECE @ BOTTOM OF CABINETS, WHERE CABINETS ABUT WALL. SEE DETAIL A7.2.06
  - ALLOW OWNER TO SALVAGE CABINETS, SINKS & FAUCETS AS THEY WANT FOR INVENTORY.
  - CONTRACTOR TO DISPOSE OF ANY ITEMS NOT SALVAGED BY OWNER.

**CABINET LEGEND**

D - DRAWER	SB - SINK BASE
F - FILLER	CW - CORNER WALL
W - WALL CABINET	CB - CORNER BASE
B - BASE CABINET	
ACC SB - ACCESSIBLE SINK BASE	
ACC WS - ACCESSIBLE WORK SURFACE	

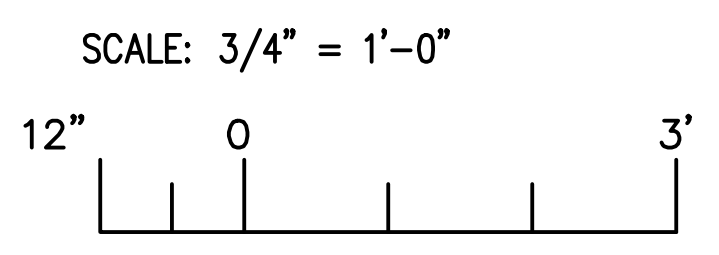


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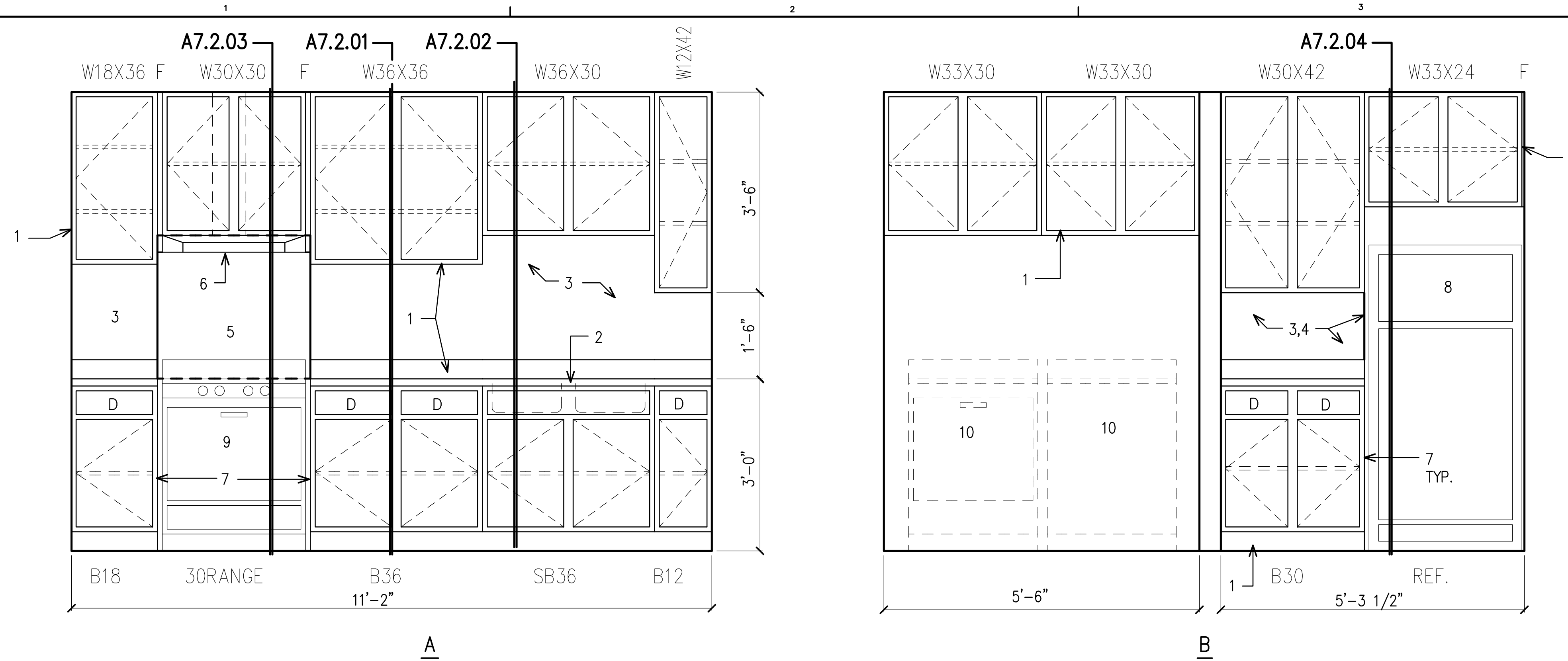
CABINET KEYNOTES, CABINET ELEVATIONS, TWO BEDROOM UNIT & TWO BEDROOM HANDICAP UNIT ; NC 15-1

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 SHEET NO. **A7.0**

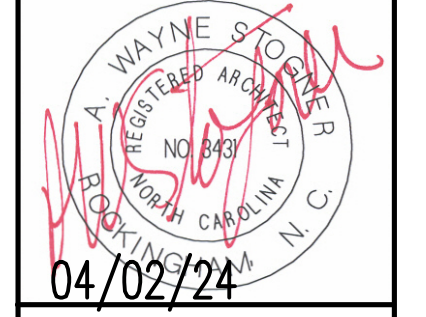




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SEE SHEET A7.0 FOR CABINET KEYNOTES



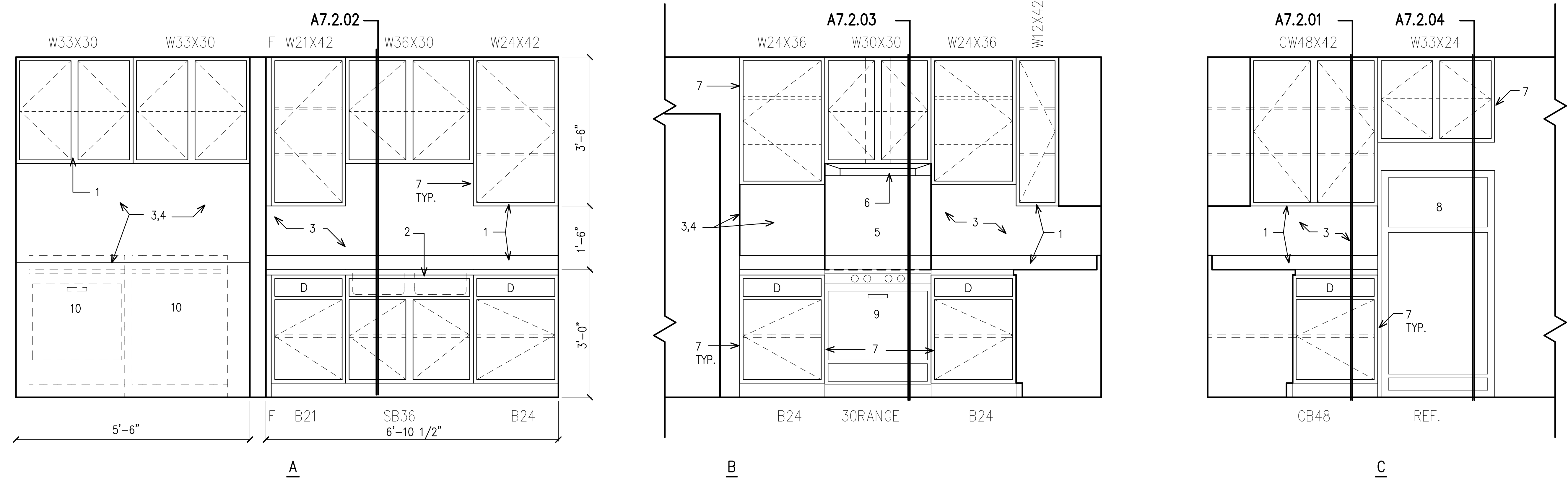
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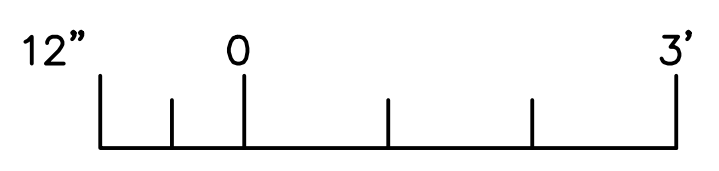
CABINET ELEVATIONS,  
 THREE BEDROOM UNIT &  
 FOUR BEDROOM UNIT ;  
 NC 15-1  
 6041-B, A7.1.AEC  
 COMM. NO. 6041-B  
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 SHEET NO. **A7.1**

**A7.1.01 CABINET ELEVATIONS, THREE BEDROOM UNIT ; NC 15-1**

SCALE: 3/4" = 1'-0" BUILDING TYPE "E" & "E-1"



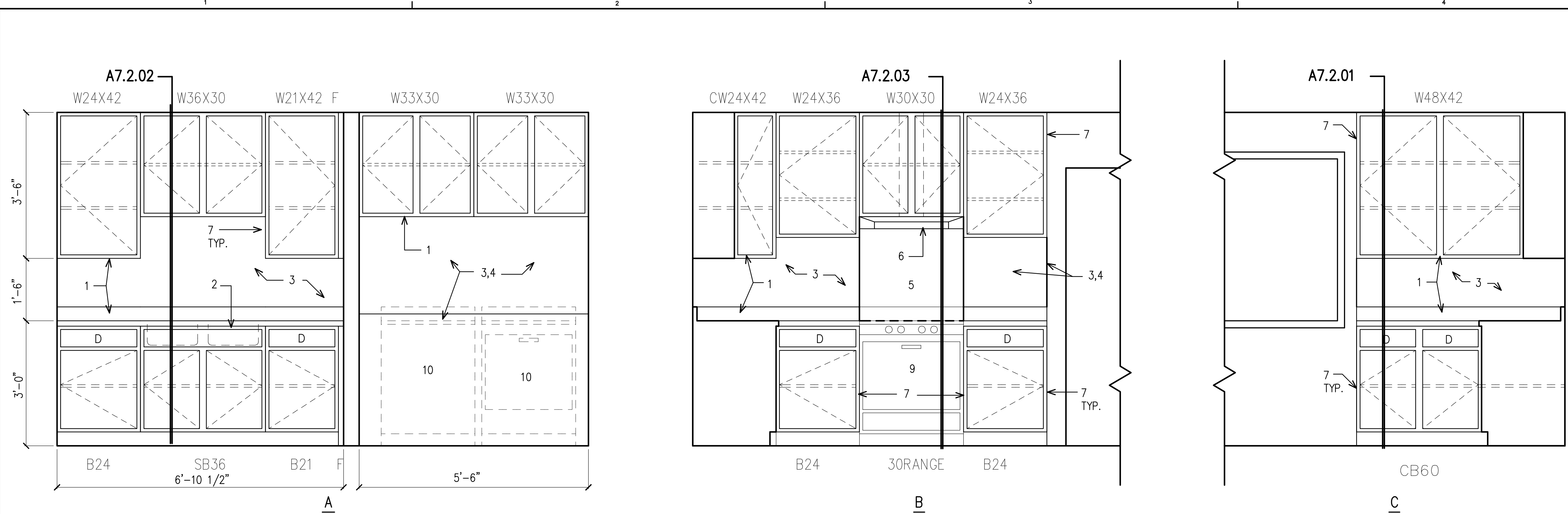
SCALE: 3/4" = 1'-0"



**A7.1.02 CABINET ELEVATIONS, FOUR BEDROOM UNIT ; NC 15-1**

SCALE: 3/4" = 1'-0" BUILDING TYPE "F"

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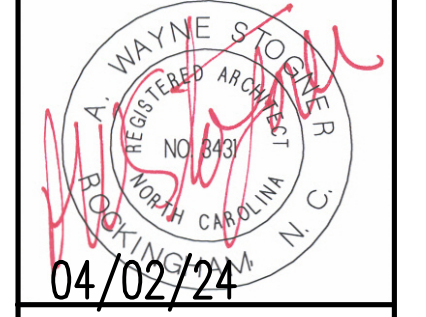


**A7.1A.01 CABINET ELEVATIONS, FOUR BEDROOM UNIT ; NC 15-1**

SCALE: 3/4" = 1'-0"

BUILDING TYPE "F-1"

SCALE: 3/4" = 1'-0"



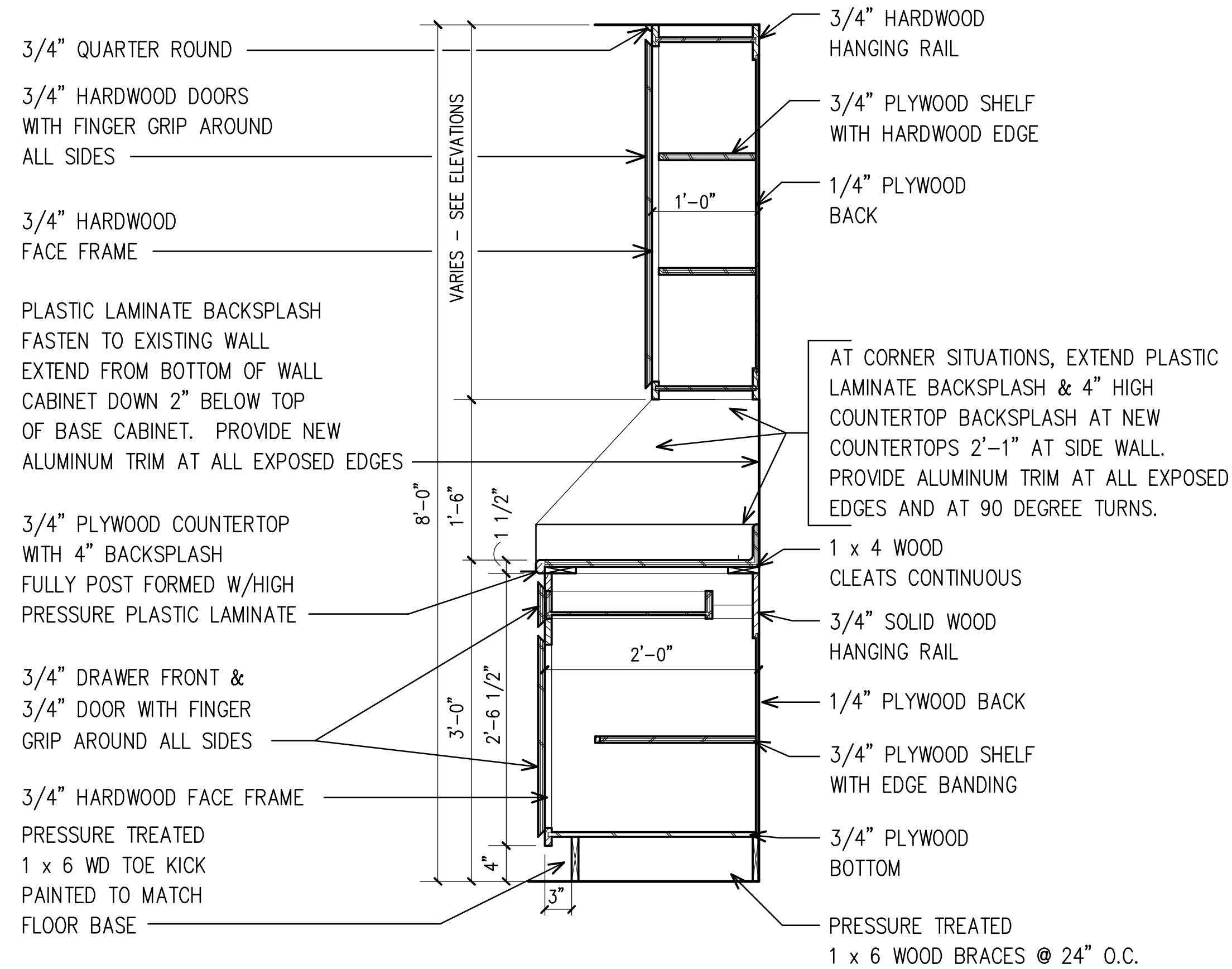
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CABINET ELEVATIONS, FOUR BEDROOM UNIT	
NC 15-1	
6041-B, A7.1A.01	
COMM. NO.	6041-B
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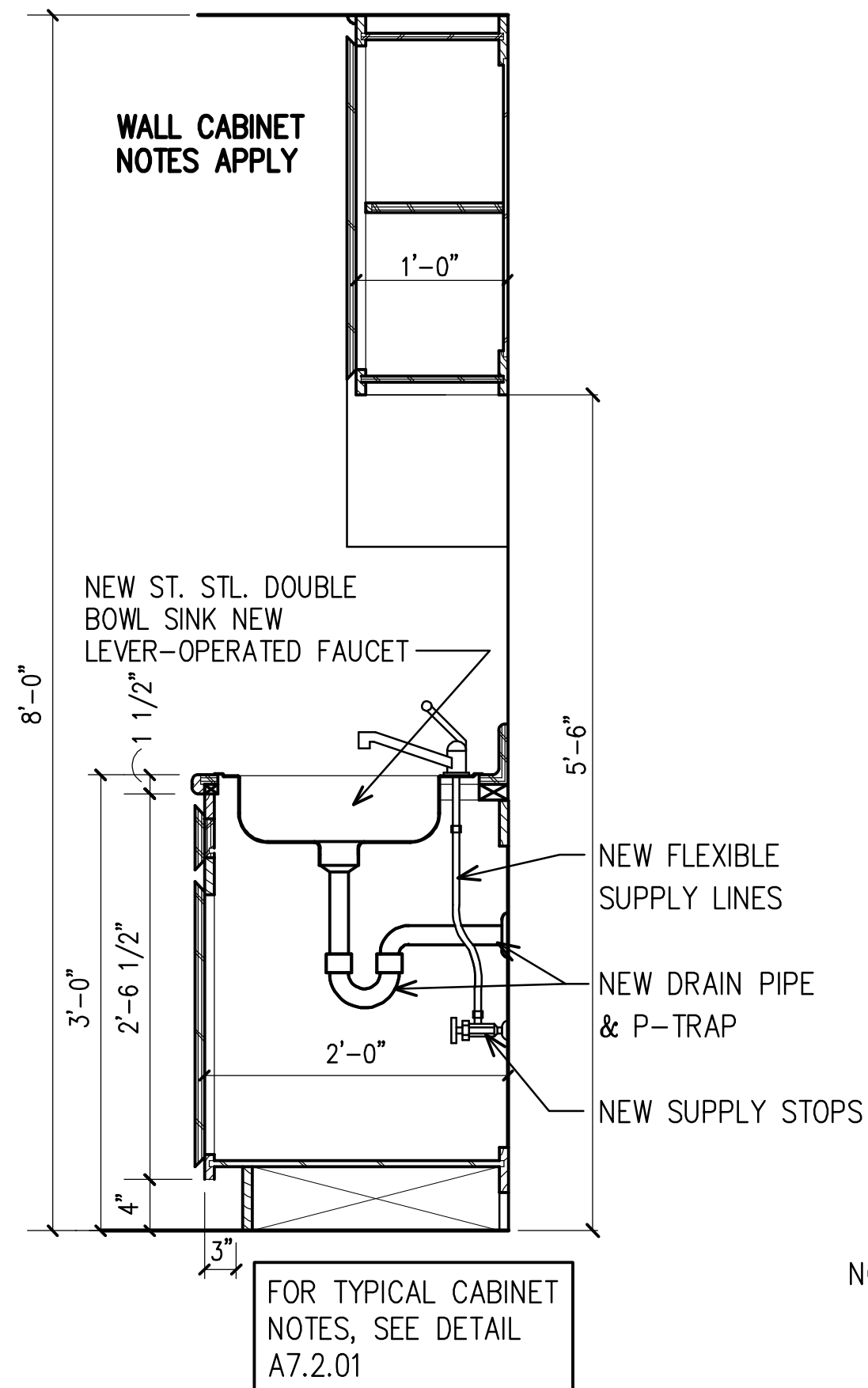


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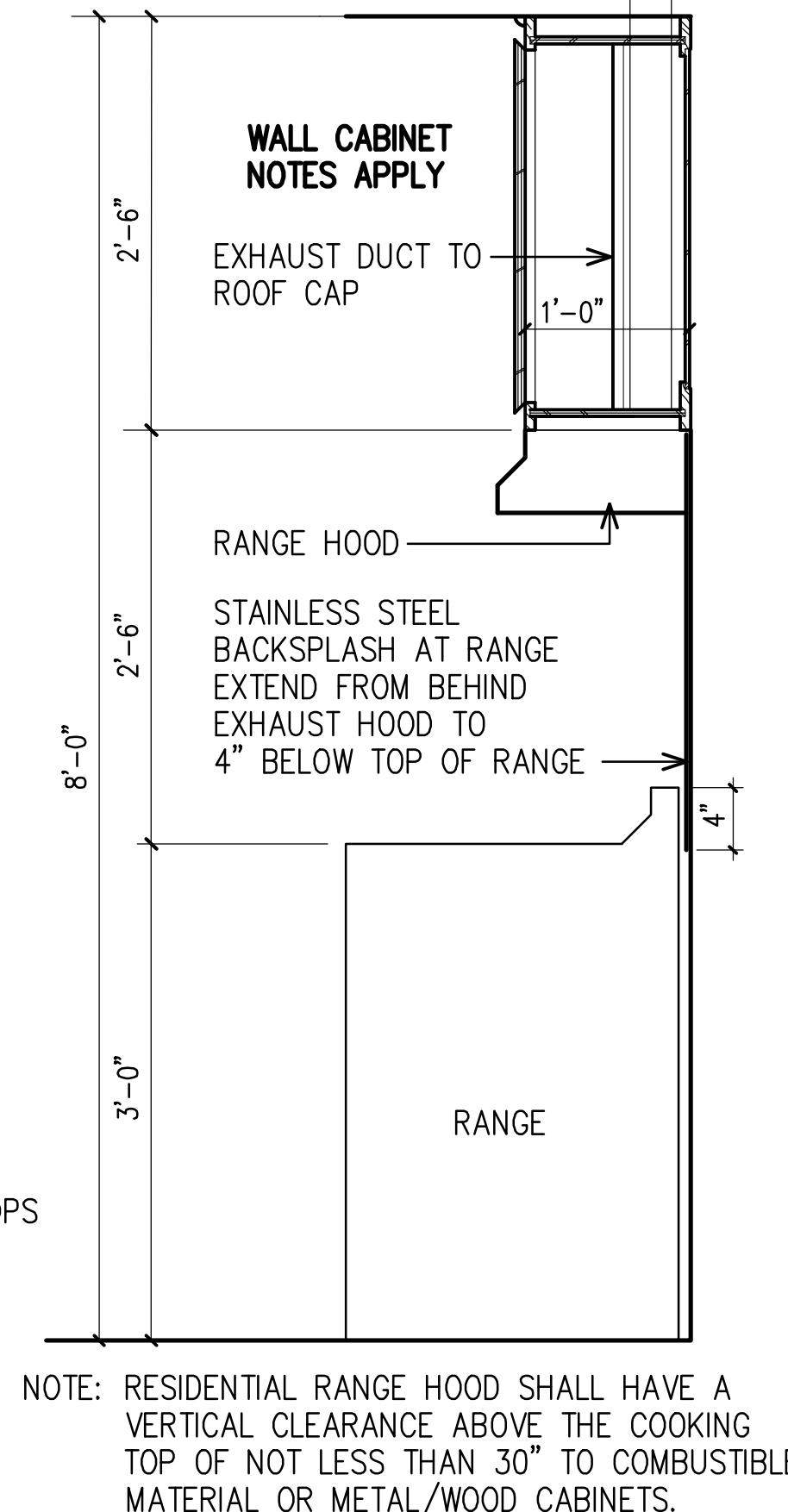
**A7.2.01 TYPICAL SECTION THRU KITCHEN CABINETS**

SCALE 1" = 1'-0"



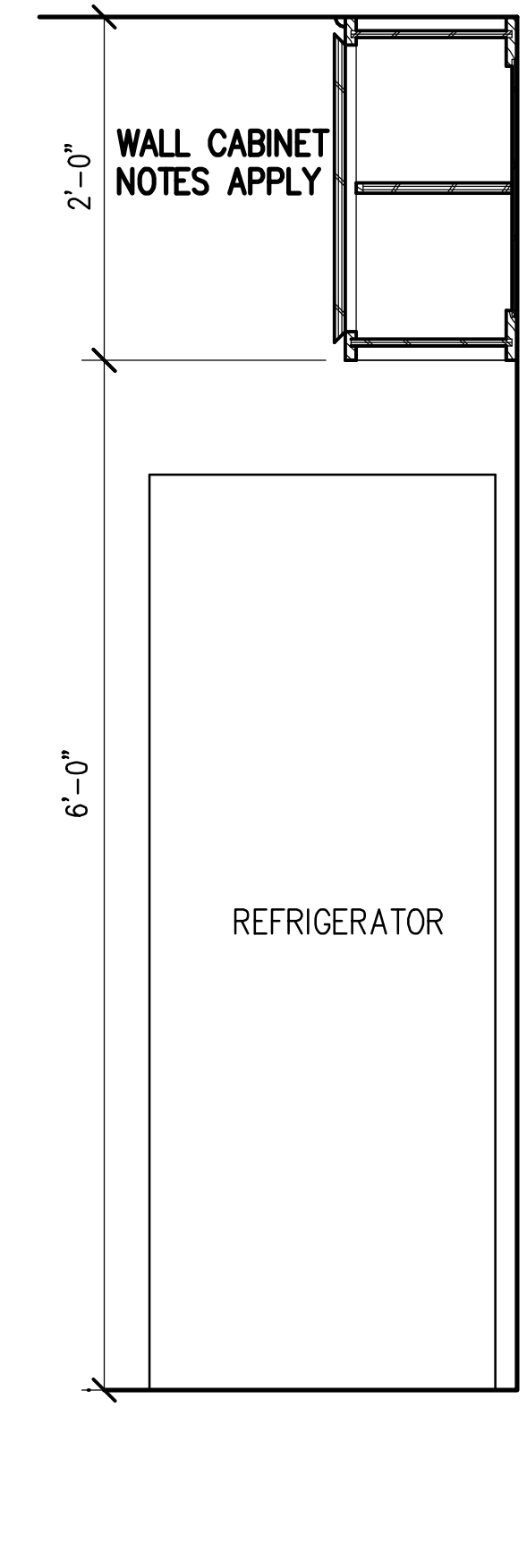
**A7.2.02 TYPICAL SECTION AT SINK**

SCALE 1" = 1'-0"



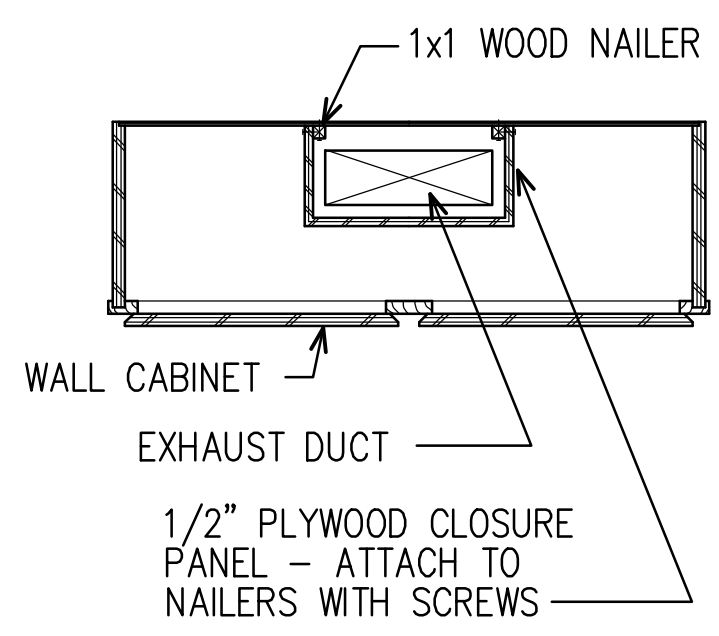
**A7.2.03 TYPICAL SECTION AT RANGE**

SCALE 1" = 1'-0"



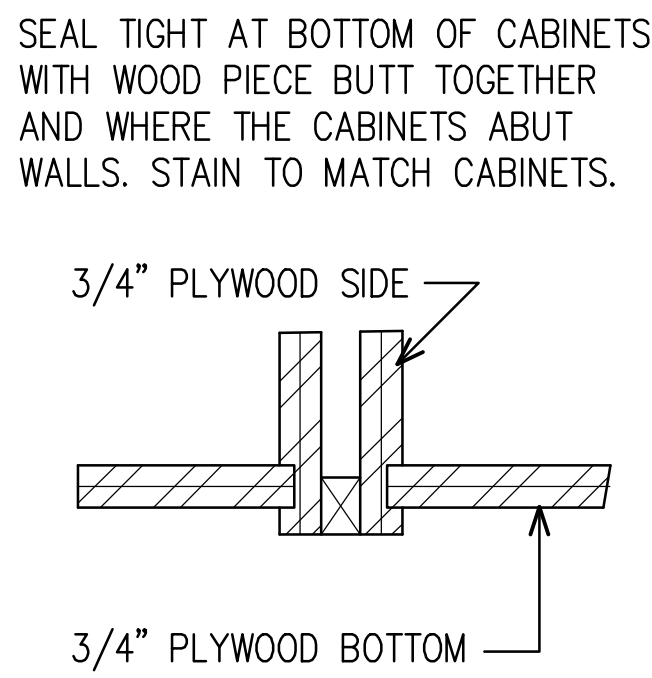
**A7.2.04 TYP. SECT THRU CABINET AT REF.**

SCALE 1" = 1'-0"



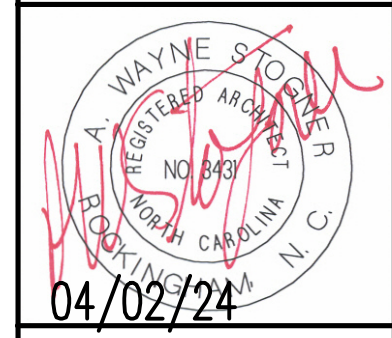
**A7.2.05 SECTION AT RANGE VENT**

NO SCALE



**A7.2.06 CABINET CLOSURE DETAIL**

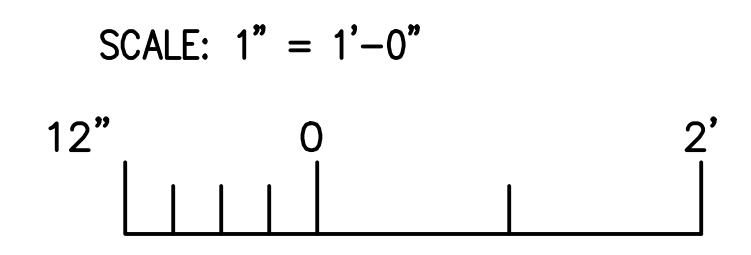
NO SCALE



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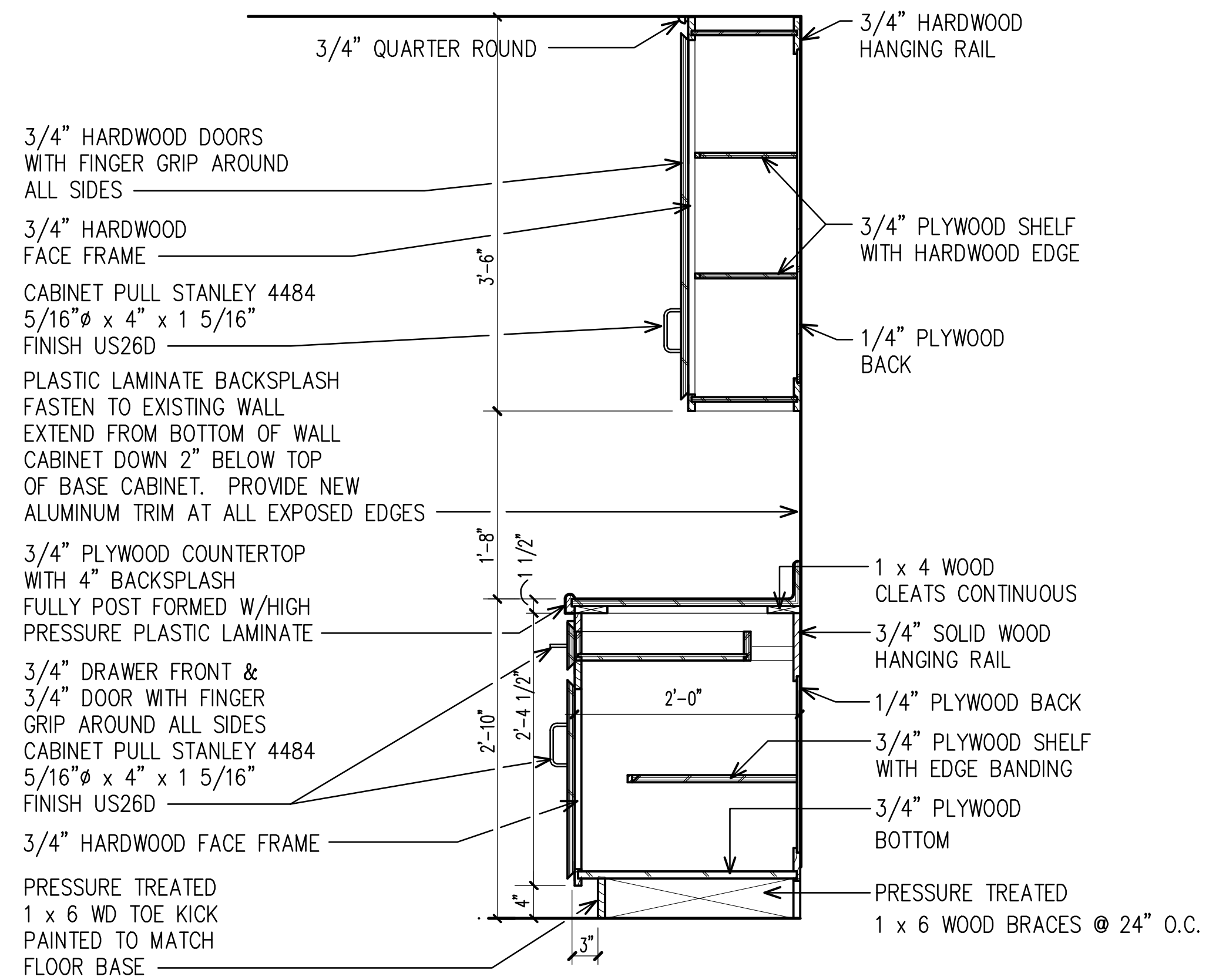
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CABINET DETAILS ;	
NC 15-1 & NC 15-3	
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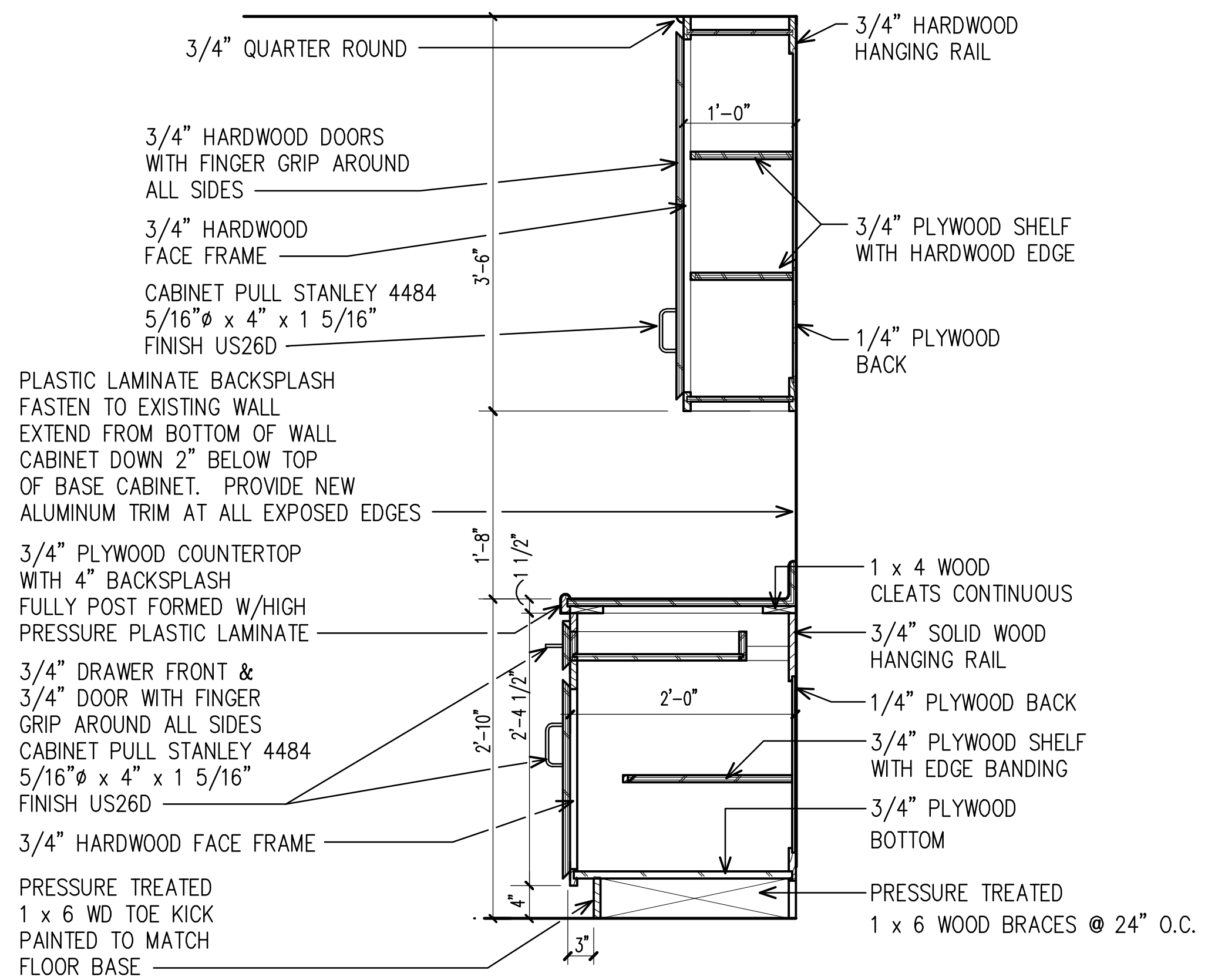




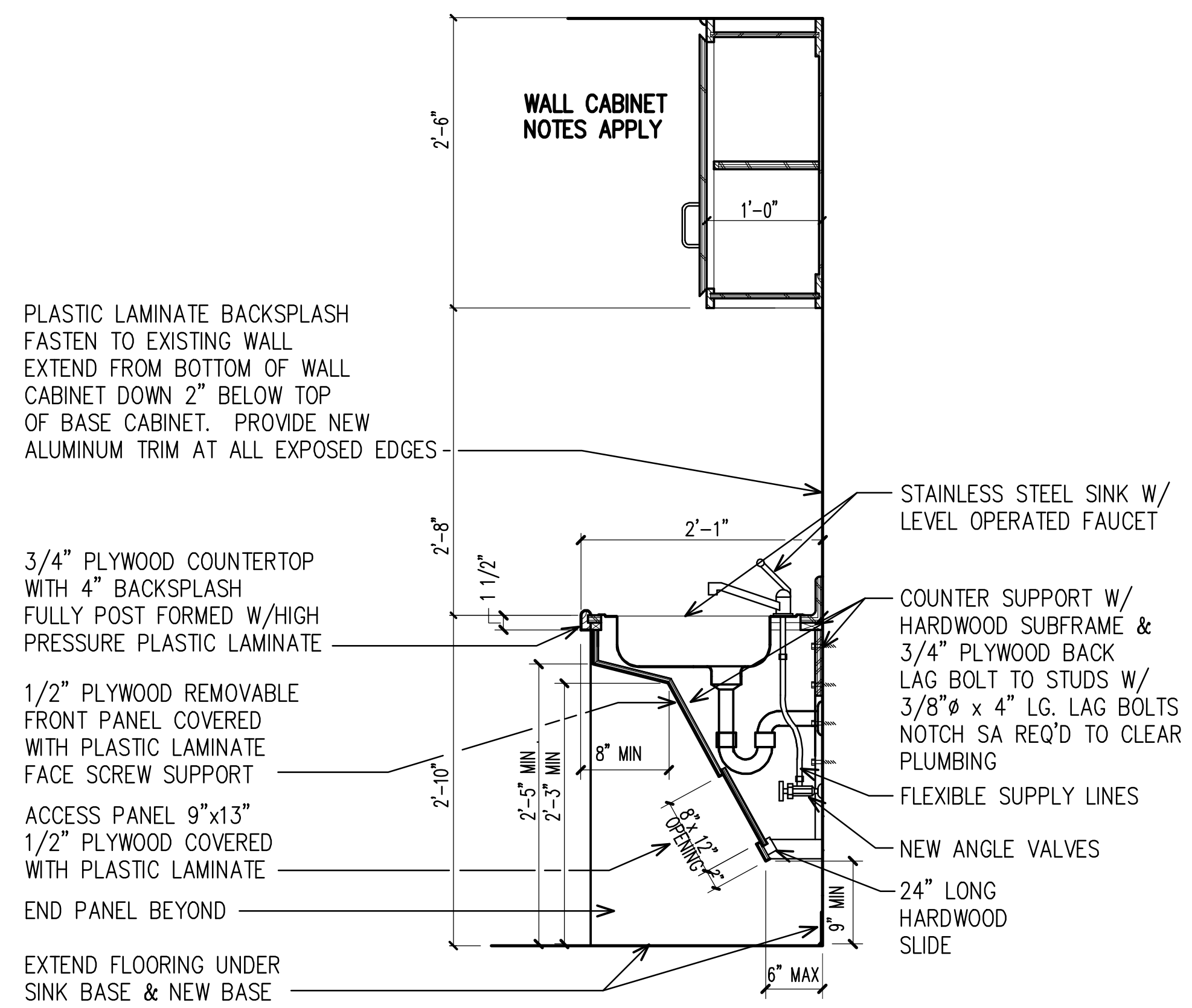
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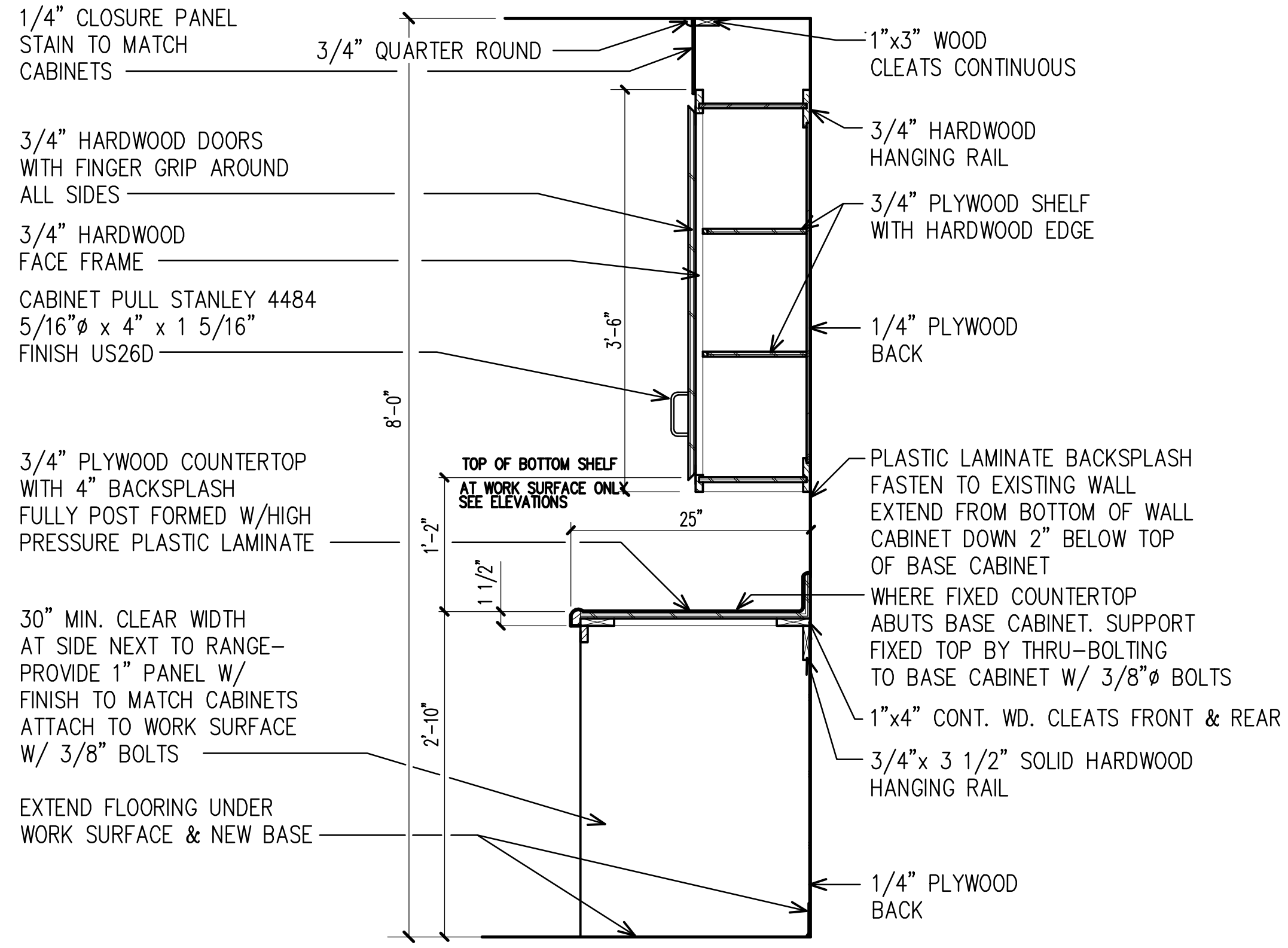
**A7.3.01 HANDICAP BASE CABINET**  
SCALE 1" = 1'-0" PROVIDE PULLS AT ALL HANDICAP KITCHENS



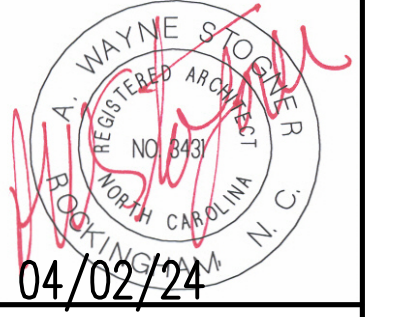
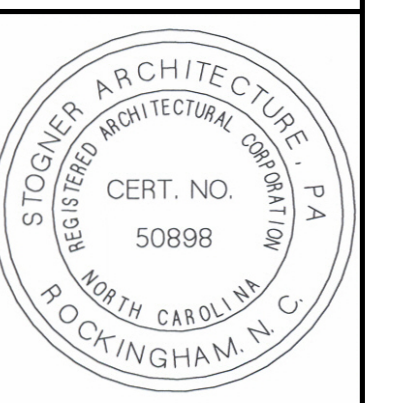
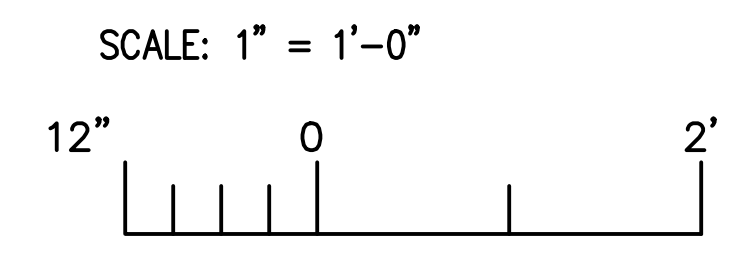
**A7.3.02 HANDICAP BASE CABINET**  
SCALE 1" = 1'-0" PROVIDE PULLS AT ALL HANDICAP KITCHENS



**A7.3.03 ACCESSIBLE SINK BASE CABINET**  
SCALE 1" = 1' - 0"



**A7.3.04 ACCESSIBLE WORK SURFACE CABINET SECTION**  
SCALE: 1" = 1' - 0"



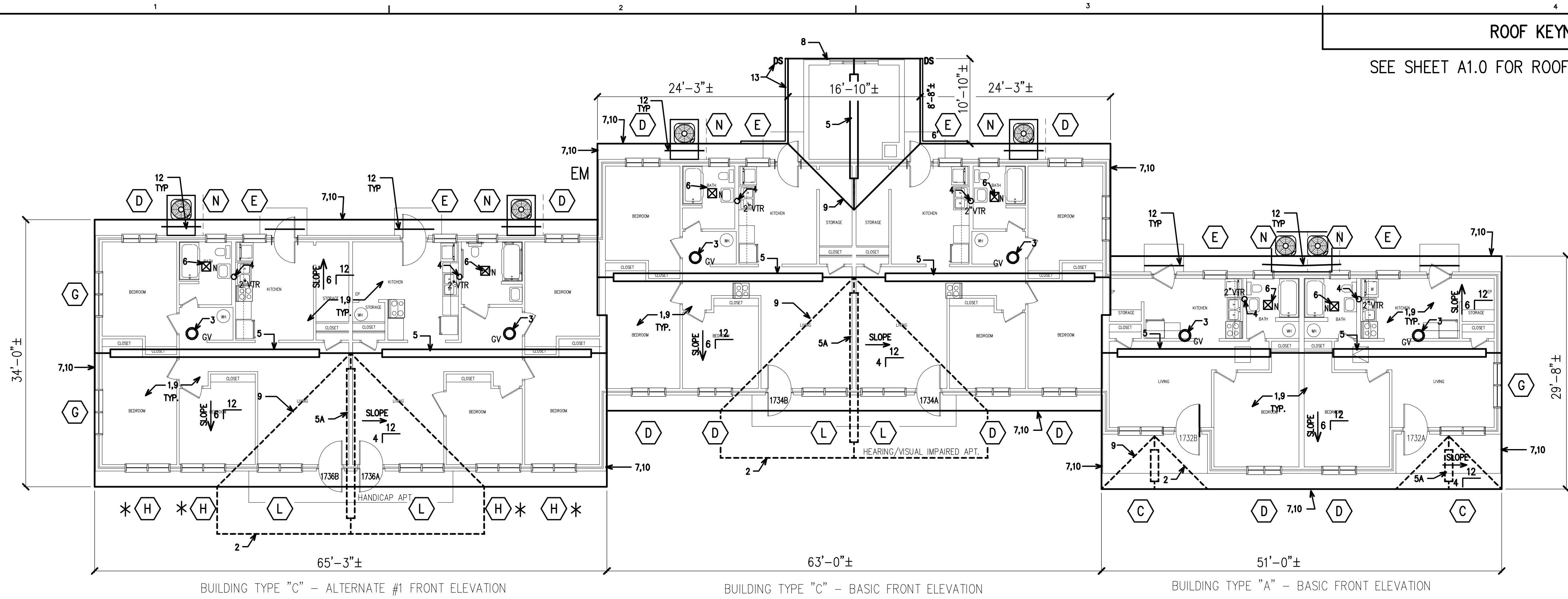
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HANDICAP CABINET DETAILS ;	
NC 15-1 & NC 15-3	
6041-B, A7.3.AEC	
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ROOF KEYNOTES  
SEE SHEET A1.0 FOR ROOF KEYNOTES & LEGEND

BUILDING TYPE "C" - ALTERNATE #1 FRONT ELEVATION

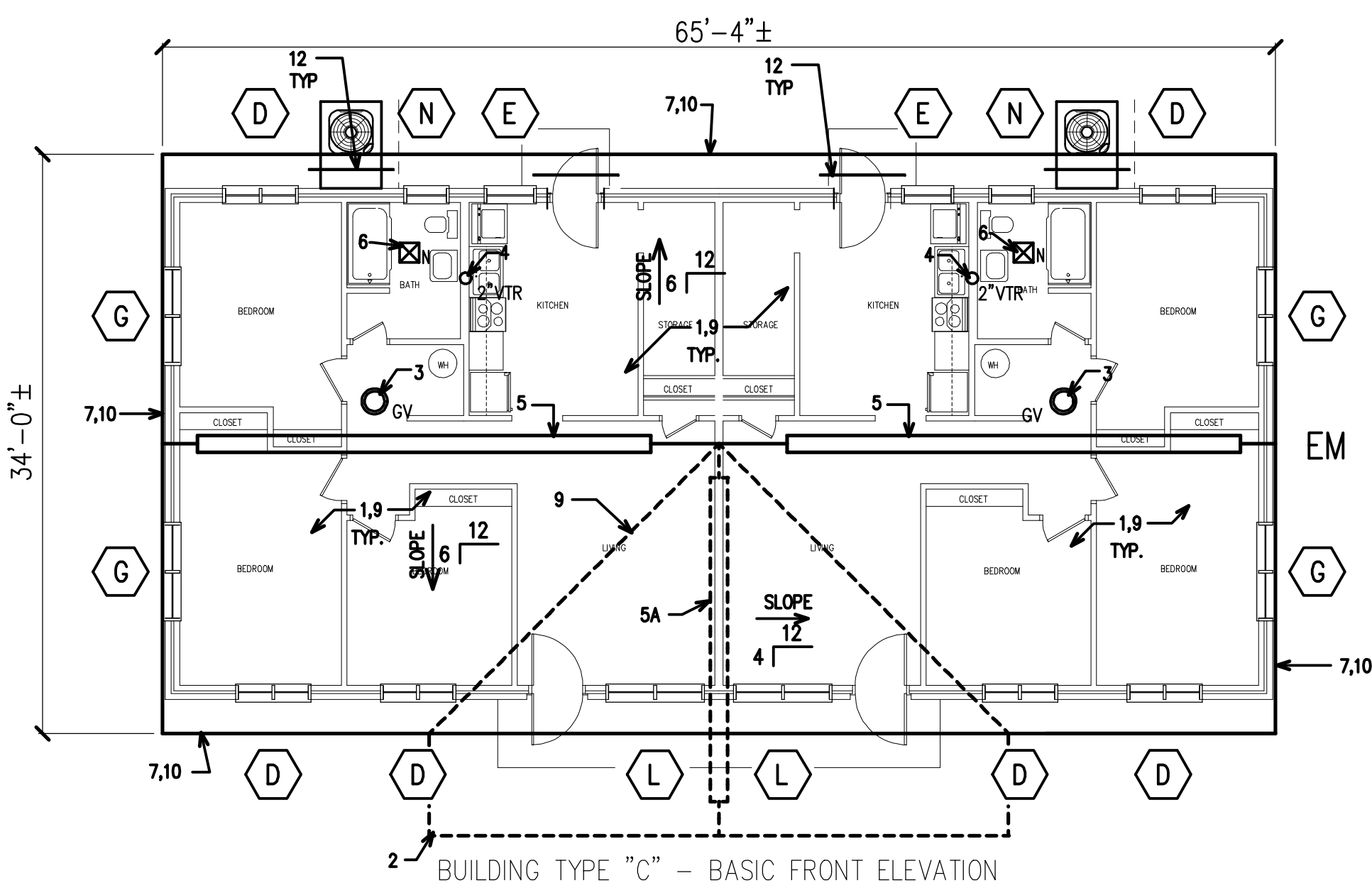
BUILDING TYPE "C" - BASIC FRONT ELEVATION

BUILDING TYPE "A" - BASIC FRONT ELEVATION

**A10.0.01 BUILDING GROUP C-A, KEY PLAN - NC 15-3**

SCALE 1/8" = 1'-0"

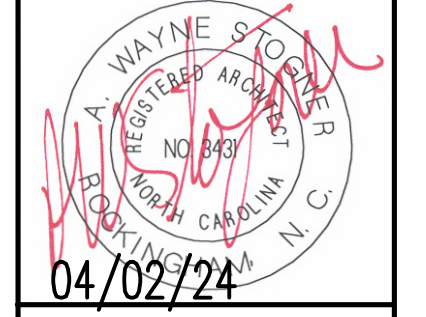
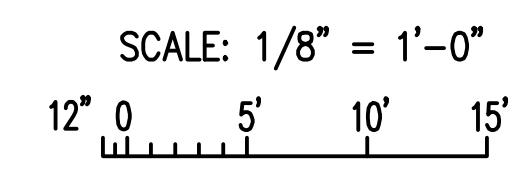
EDGERTON ST.



**A10.0.02 BUILDING C, KEY PLAN - NC 15-3**

SCALE 1/8" = 1'-0"

EDGERTON ST.



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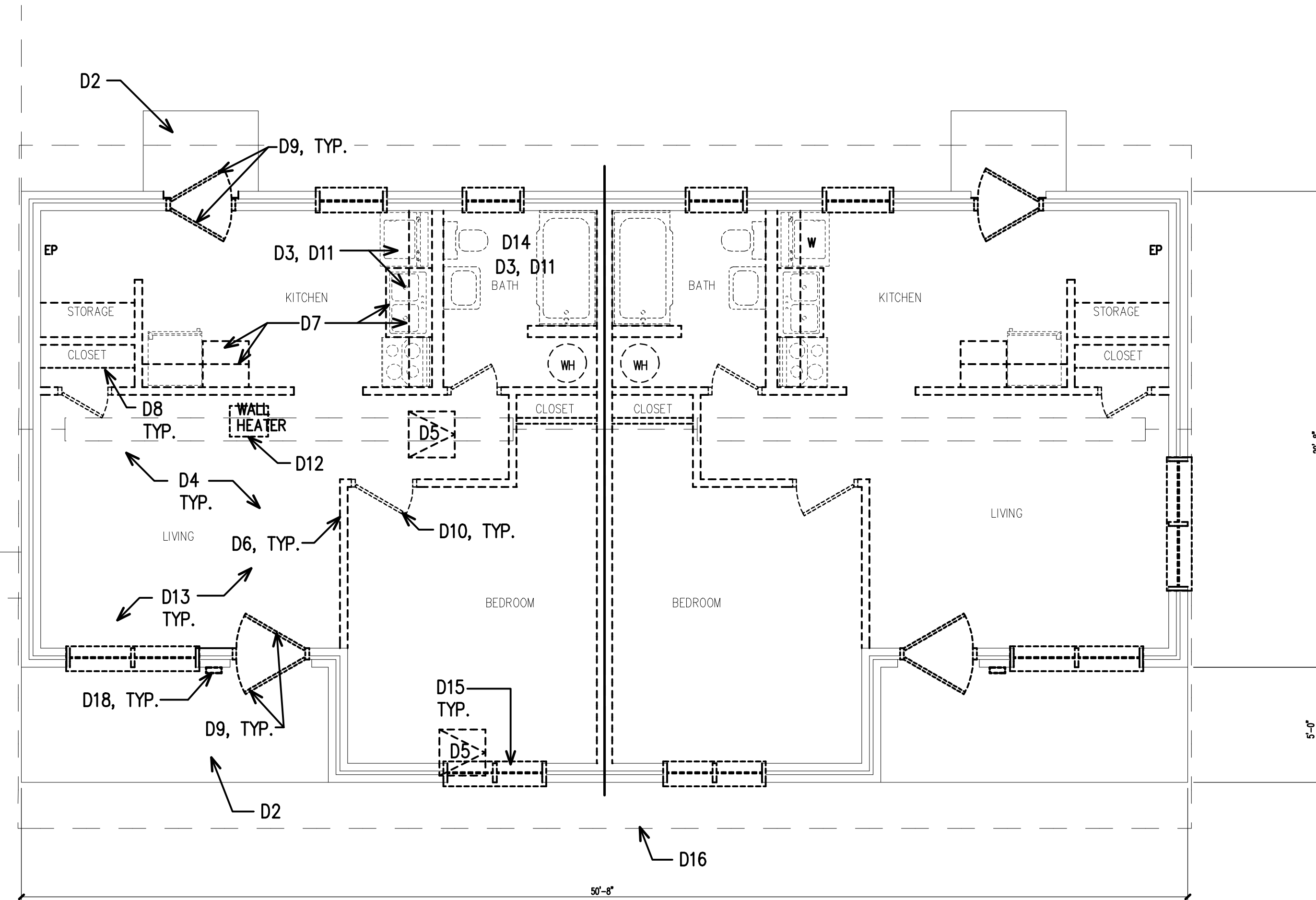
BLDG. GROUP "C-A" & "C", KEY PLAN - ROOF PLAN, WINDOW LOCATIONS; NC 15-3

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ADJACENT BLDG./ROOF  
SEE BLDG. KEY PLAN



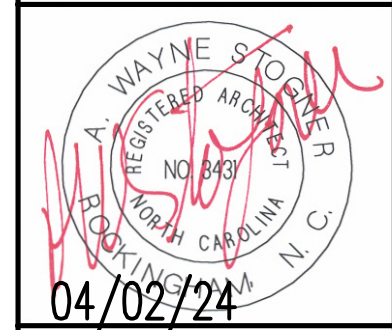
**A11.0.01 DEMOLITION FLOOR PLAN, ONE BEDROOM UNIT ; NC 15-3**

SCALE 1/4" = 1'-0"

BUILDING TYPE 'A'

**DEMOLITION KEYNOTES**

- D1. REMOVE EXISTING CONCRETE PORCH STOOP AT THREE BEDROOM APT.
- D2. EXISTING CONCRETE PORCH STOOP TO REMAIN.
- D3. CUT EXISTING FLOOR SLAB APPROX. 24" WIDE TO REPLACE UNDERSLAB SEWER PIPING & WATER SUPPLY PIPING.
- D4. REMOVE EXISTING PLASTER CEILING & ATTIC INSULATION COMPLETE.
- D5. REMOVE EXISTING ATTIC ACCESS.
- D6. REMOVE EXISTING PLASTER WALLS & FRAMING COMPLETE.
- D7. REMOVE EXISTING BASE, WALL CABINETS & COUNTERTOPS COMPLETE.
- D8. REMOVE EXISTING SHELVING & BRACKETS COMPLETE.
- D9. REMOVE EXISTING STORM DOORS, ENTRY DOORS, DOOR FRAMES & HARDWARE COMPLETE.
- D10. REMOVE EXISTING INTERIOR DOORS, DOOR FRAMES & HARDWARE.
- D11. REMOVE EXISTING PLUMBING FIXTURES, ASSOCIATED WASTE & SUPPLY PIPING. SEE PLUMBING DRAWINGS.
- D12. REMOVE EXISTING HEATER, DUCT WORK & SUPPLY GRILLS AS OCCURS. SEE MECHANICAL DRAWINGS.
- D13. REMOVE ALL VCT FLOOR TILE & WOOD BASE, ENTIRE APT..
- D14. REMOVE EXISTING CERAMIC TILE & BASE.
- D15. REMOVE EXISTING WINDOWS & TRIM COMPLETE. CUT EXISTING OPENING AS REQUIRED TO PROVIDE NEW WINDOW TO MEET EGRESS REQUIREMENTS. SEE WINDOW SCHEDULE & BUILDING ELEVATIONS FOR LOCATIONS THAT REQUIRE MODIFICATION OF EXISTING OPENINGS.
- D16. REMOVE EXISTING & PROVIDE NEW ROOF SHINGLES & NEW PORCH, SEE SHEETS A10.0 & A5.0.
- D17. EXISTING SLOPE ROOF AT OLD BOILER ROOM TO REMAIN. REMOVE EXISTING SHINGLES & UNDERLAYMENT. REMOVE EXISTING VINYL/PLY. WD. SHEATHING AT OPENING. SEE A12.0, A12.1 & A12.3.
- D18. REMOVE EXISTING WALL MTD MAILBOX & FASTENERS, FILL HOLES W/ MORTAR TO MATCH BRICK.



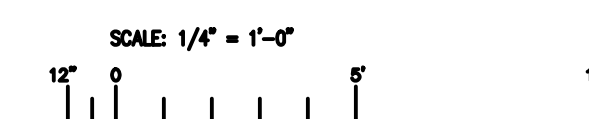
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RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
GOLDSBORO NORTH CAROLINA

DEMOLITION FLOOR PLAN,  
ONE BEDROOM UNIT -  
BUILDING TYPE "A" ;  
NC 15-3

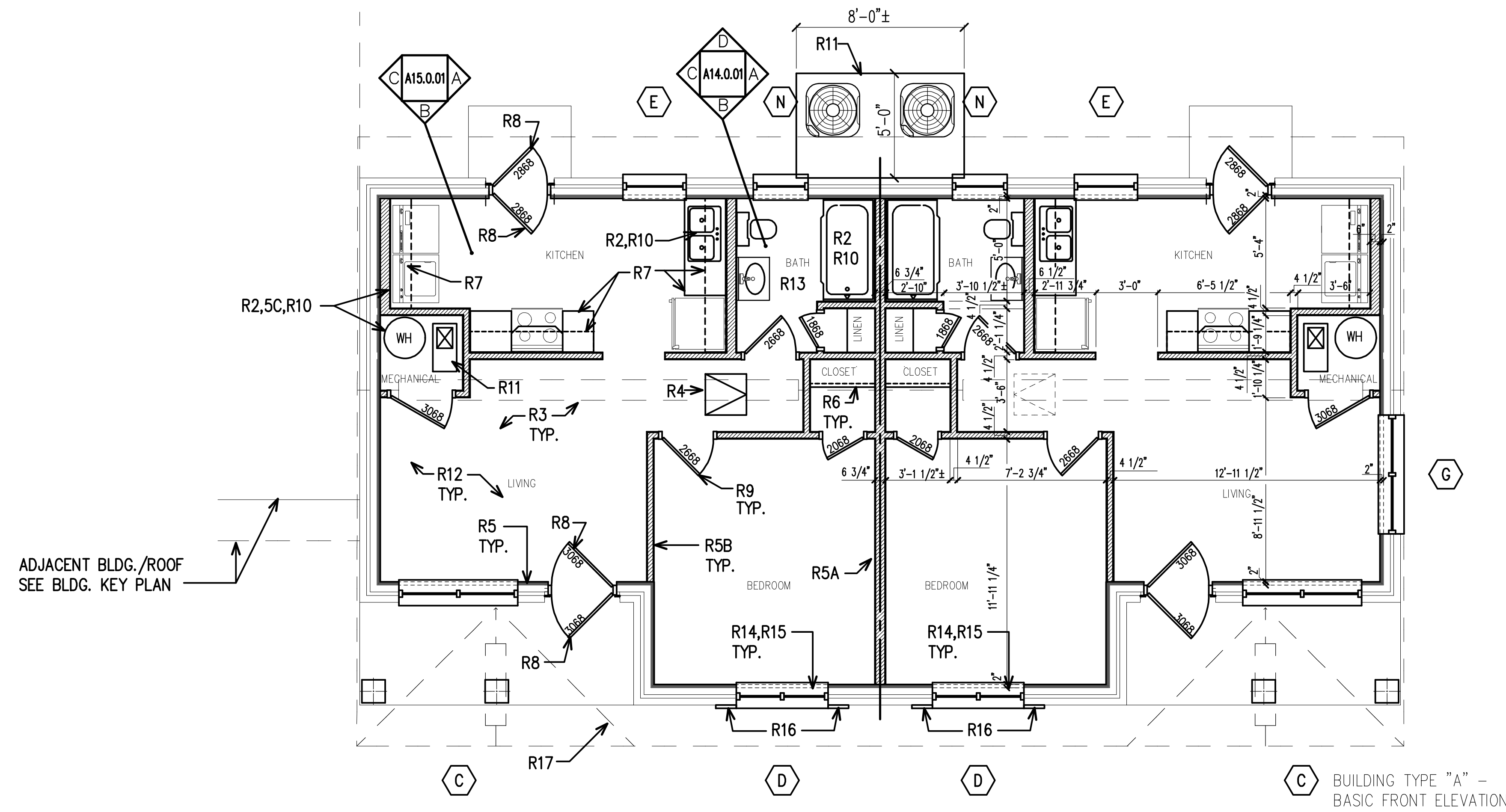
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COMM. NO. 6041-B  
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DATE APRIL 2, 2024

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**A11.0**





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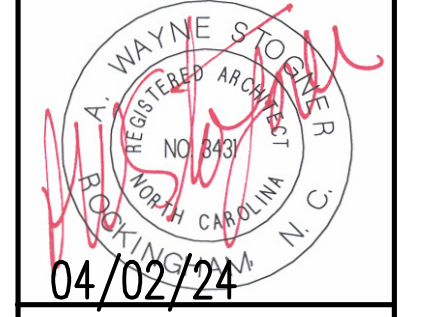
A11.1.01 RENOVATION FLOOR PLAN, ONE BEDROOM UNIT ; NC 15-3

SCALE 1/4" = 1'-0"

BUILDING TYPE 'A'

RENOVATION KEYNOTES

- R1. PROVIDE NEW 4" THK., 3000 PSI CONCRETE PORCH SLAB. SEE A5.0 FOR REVISED PORCH/ROOF PLAN.
- R2. PROVIDE NEW SEWER DRAIN, WATER SUPPLY PIPING. BACKFILL AND COMPACT TO 98%, TREAT TRENCH & ENTIRE BLDG. FOR TERMITES. PROVIDE 4" STONE, VAPOR BARRIER, DRILL EXISTING SLAB @ 24" O.C., 6" DEEP & PROVIDE 12" LONG #5 BAR, POUR NEW 4" THK., 3000 PSI CONCRETE FLUSH W/ EXISTING SLAB. PROVIDE 4"Ø CLEANOUT @ EXTERIOR OF BLDG., TIE TO EXISTING SEWER. SEE PLUMBING DRAWINGS.
- R3. PROVIDE NEW 1/2" GYP. BD. CEILING THROUGHOUT & R38 INSULATION IN ATTIC. PROVIDE INSULATION STOPS AS REQ'D.
- R4. PROVIDE NEW 20"x30" MIN. CLEAR ATTIC ACCESS. FIELD VERIFY EXACT LOCATION.
- R5. PROVIDE 1 1/2" RIGID INSULATION BOARD BETWEEN MTL. "Z" STRIPS MTD VERTICAL @ 16" O.C. - TYPICAL AT OUTSIDE WALLS. PROVIDE FASTENERS TO EXTEND INTO BLOCK WALL BEYOND PLASTER. PROVIDE 1/2" GYP. BD. ON "Z" STRIPS, COORDINATE WORK W/ ELECTRICAL & PLUMBING CONTRACTOR.
- R5A. PROVIDE NEW 1HR. FIRE RATED SEPARATION WALL - (1) LAYER 5/8" FIRE RATED GYP. BD. EA. SIDE ON 2X6 WD. STUDS @ 16" O.C., FASTEN GYP. BD. 8" O.C. PARTITION TO RUN FROM FRONT WALL TO REAR WALL CONTINUOUS & TOP OF FINISH FLOOR TO UNDERSIDE OF ROOF DECK. (DESIGN BASIS UL305) PROVIDE (1) LAYER OF 5" SOUND BATT INSULATION TO 2FT. ABOVE CEILING. CONTRACTOR SHALL PROVIDE UL RATED DEVICES FOR RATING REQUIRED STAGGER PENETRATIONS & FIRESTOP.
- R5B. PROVIDE 2X4 WD. FRAMING WALL W/ PRESSURE TREATED PLATE & 1/2" GYP. BD. EA. SIDE. PRIME & PAINT (2) COATS.
- R5C. PROVIDE 2X4 WD. FRAMING WALL W/ PRESSURE TREATED PLATE & 1/2" MOLD & MOISTURE RESISTANT GYP. BD. AT LAUNDRY & MECHANICAL ROOMS. PRIME & PAINT (2) COATS.
- R6. PROVIDE NEW WD. CLOSET SHELF, PRIME & PAINT. AT TYP. BEDROOM & HALL CLOSET (1) SHELF & ROD, AT STORAGE & LINEN CLOSET (4) SHELVES.
- R7. PROVIDE NEW WALL & BASE CABINETS, NEW SOLID SURFACE COUNTERTOPS W/ SPLASH.
- R8. PROVIDE NEW HOLLOW MTL. DOOR FRAME, INSULATED MTL. DOOR, HARDWARE & WEATHER STRIPPING. PROVIDE NEW STORM DOORS.
- R9. PROVIDE NEW WD. DOOR FRAME, SOLID CORE WD. DOOR & HARDWARE. PROVIDE DOOR STOPS AT WALL WHEN OPEN 90° TO ADJACENT WALL.
- R10. PROVIDE NEW PLUMBING FIXTURES, WASTE & SUPPLY PIPING. SEE PLUMBING DRAWINGS. PROVIDE MOLD & MOISTURE RESISTANT GYP. BD. AT LAUNDRY & MECHANICAL ROOMS.
- R11. PROVIDE NEW HVAC & ASSOCIATED WORK. SEE MECHANICAL DRAWINGS. NEW PAD SIZE TO BE (42"x60") MIN. PROVIDE MOLD & MOISTURE RESISTANT GYP. BD. AT LAUNDRY & MECHANICAL ROOMS.
- R12. PROVIDE NEW LVT (BASE BID) & VCT (ALT BID), PAINTED WD. BASE & SHOE MOLD THROUGHOUT APARTMENT.
- R13. PROVIDE NEW CERAMIC TILE & BASE AT BATHROOMS.
- R14. PROVIDE NEW VINYL REPLACEMENT WINDOWS, SEE BLDG. KEY & ELEVATIONS FOR WINDOW SIZE & LOCATIONS.
- R15. PROVIDE NEW FULL PET SCREEN IN ALUMINUM FRAME W/ HARDWARE AT ALL WINDOWS.
- R16. PROVIDE NEW SHUTTERS AT WINDOWS SHOWN ON ELEVATIONS.
- R17. PROVIDE NEW PORCH, OVERHANG & ROOF. SEE SHEET A10.0, A11.3, A12.5, SEE PORCH DETAILS A5.0.
- R18. PROVIDE NEW PLY WD. OVERLAY, UNDERLAYMENT & SHINGLES. PROVIDE NEW SHEATHING, SIDING & TRIM AT OPENING, SEE ELEVATIONS. SEE SHEETS A10.0, A12.0, A12.1 & A12.3.



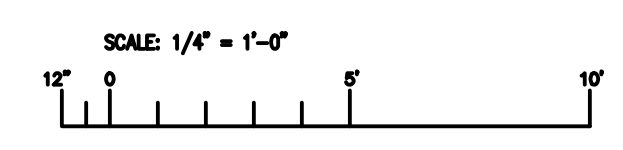
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 RENOVATIONS - FAIRVIEW APARTMENTS  
 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
 GOLDSBORO NORTH CAROLINA

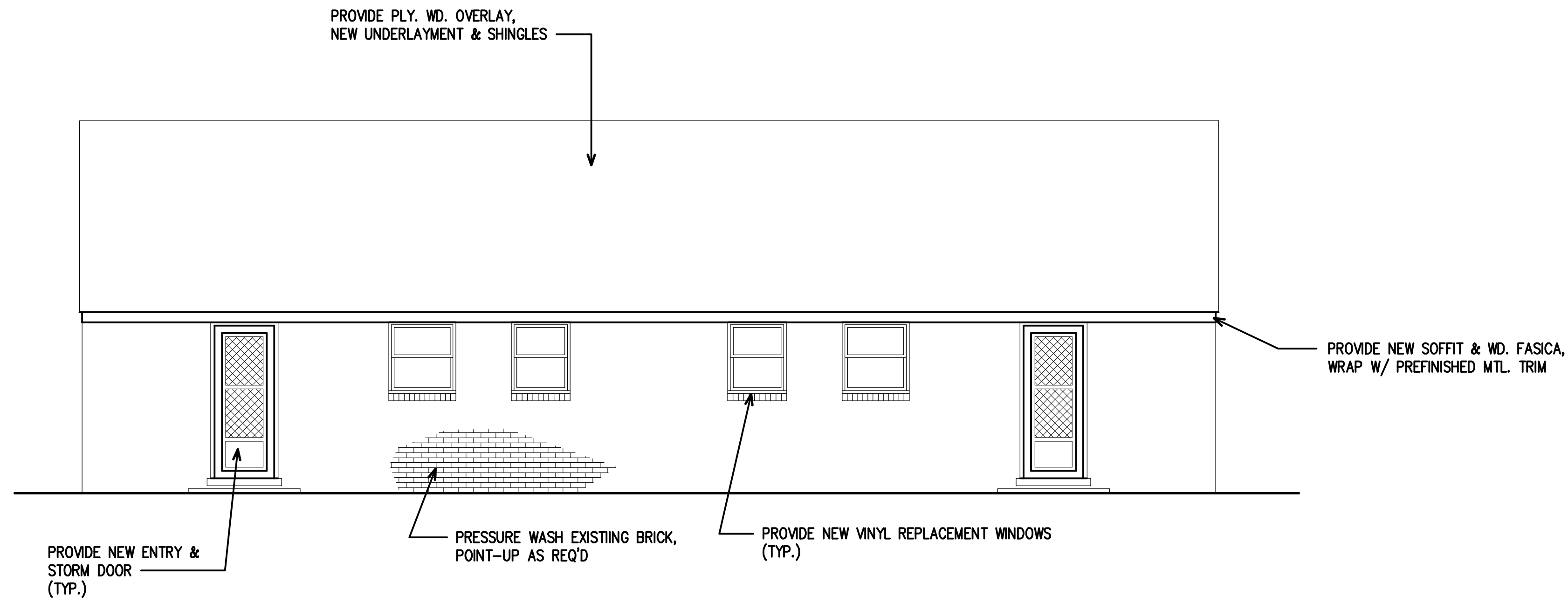
RENOVATION FLOOR PLAN,  
 ONE BEDROOM UNIT -  
 BUILDING TYPE "A";  
 NC 15-3

6041-B, A11.1.AEC  
 COMM. NO. 6041-B  
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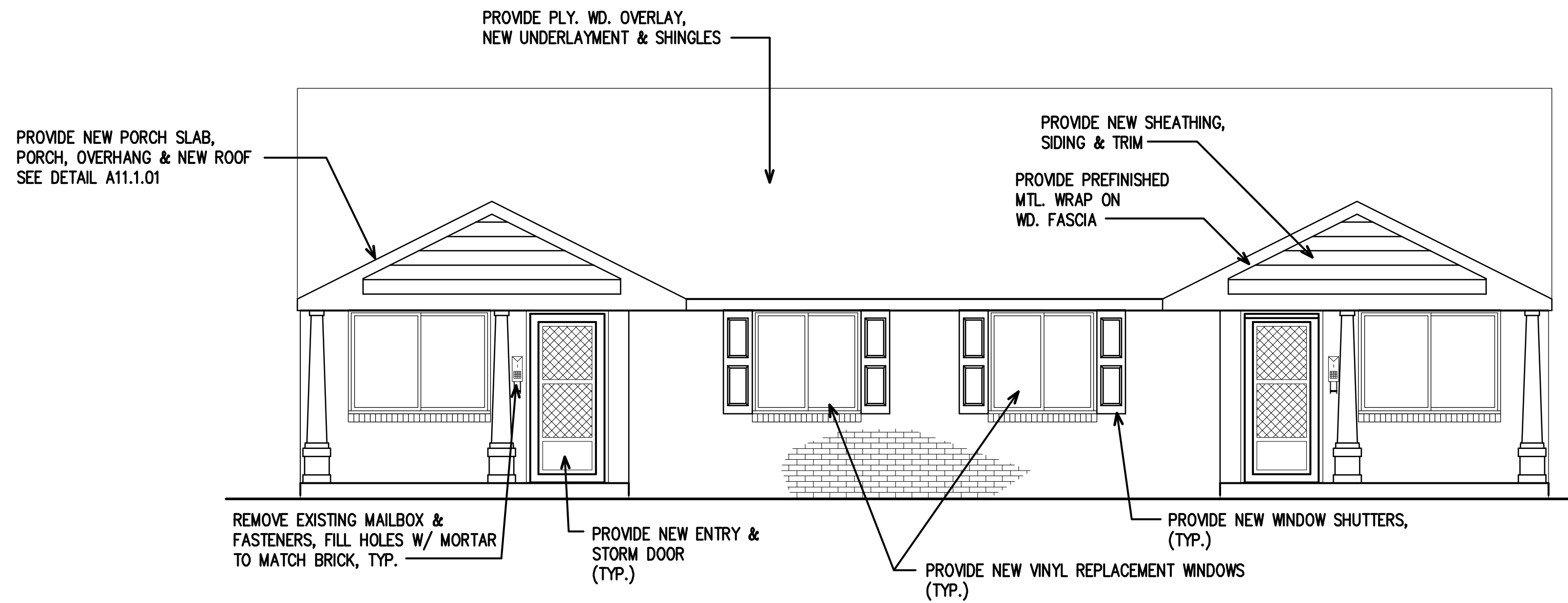


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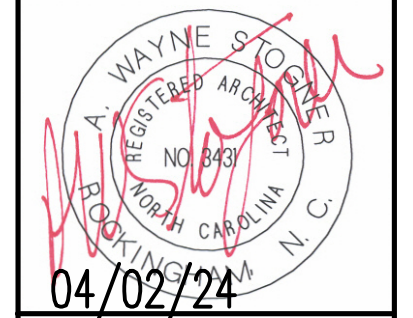
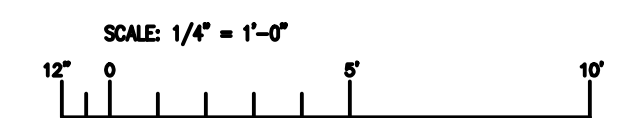
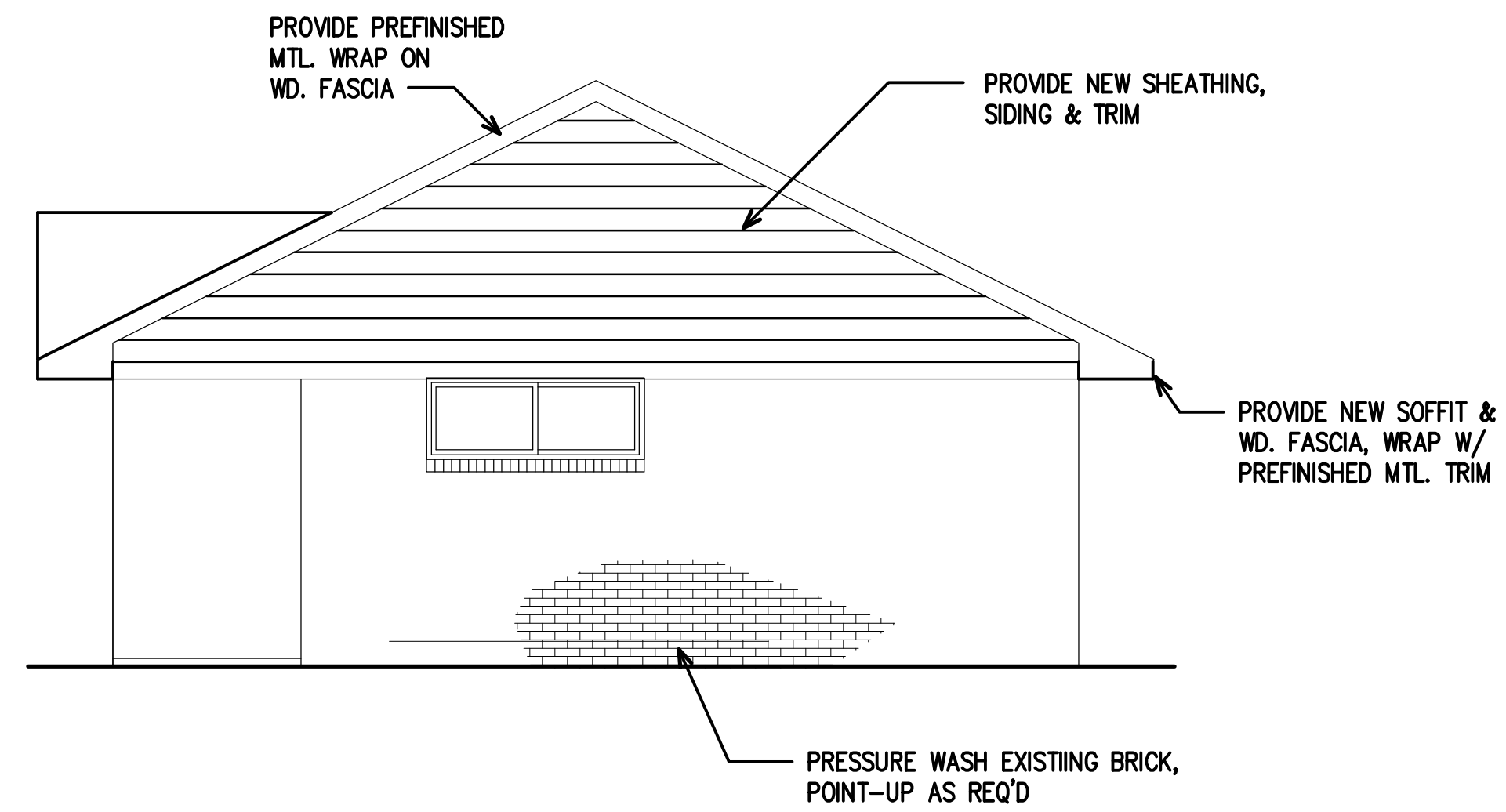
**A11.2.02 BASIC REAR ELEVATION, ONE BEDROOM UNIT – BLDG "A" ; NC 15-3**

SCALE 1/4" = 1'-0"



**A11.2.01 BASIC FRONT ELEVATION, ONE BEDROOM UNIT – BLDG "A" ; NC 15-3**

SCALE 1/4" = 1'-0"



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 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
 GOLDSBORO NORTH CAROLINA

BASIC FRONT ELEVATION,  
 ONE BEDROOM UNIT –  
 BUILDING TYPE "A" ;

NC 15-3

6041-B\A11.2.AEC

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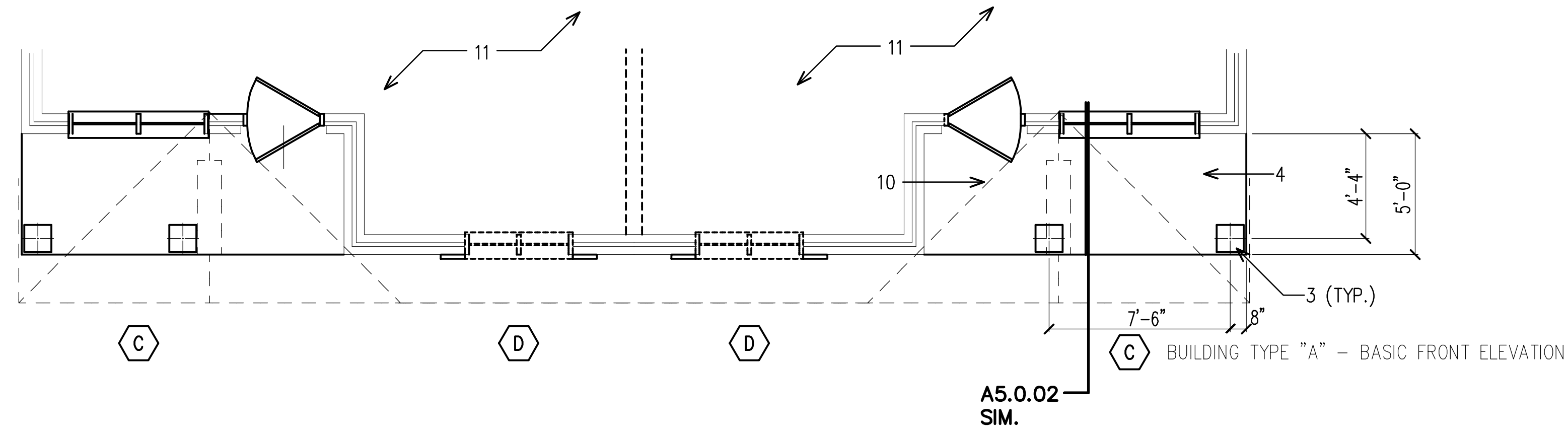
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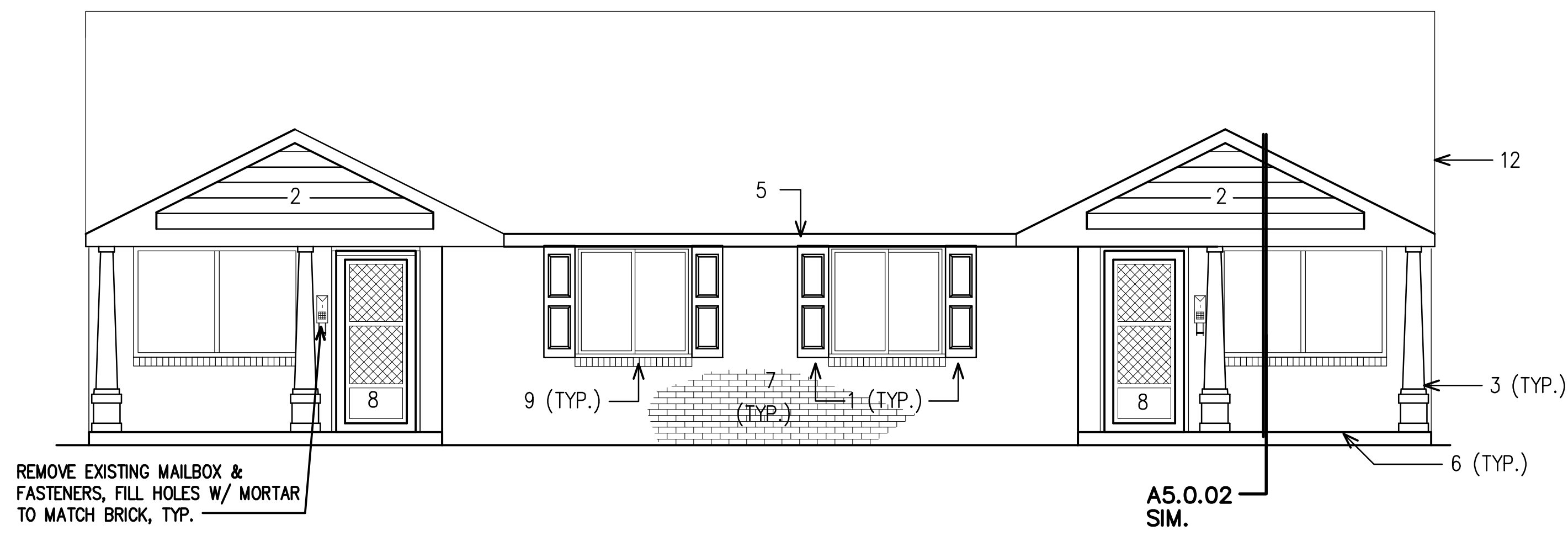
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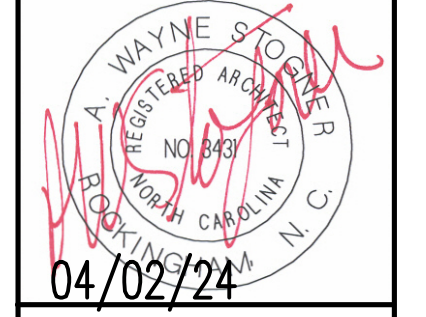


**A11.3.01 REVISED PORCH/ROOF PLAN, ONE BEDROOM UNIT – BUILDING TYPE "A" ; NC 15-3**  
 SCALE: 1/4" = 1'-0"



**A11.3.02 REVISED ELEVATION, ONE BEDROOM UNIT – BUILDING TYPE "A" ; NC 15-3**  
 SCALE: 1/4" = 1'-0"

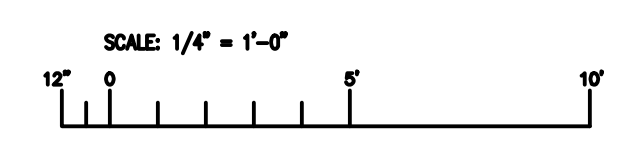
- KEYNOTES – REVISED PORCH/ROOF, FRONT ELEVATION**
1. PROVIDE NEW WINDOW SHUTTERS.
  2. PROVIDE NEW SIDING AND TRIM.
  3. PROVIDE NEW PORCH COLUMN.
  4. PROVIDE NEW FRONT PORCH SLAD. POUR WITH 3000PSI CONCRETE.
  5. REMOVE EXISTING METAL WRAP FROM FREIZE BOARD AND EXISTING WOOD, VENTED SOFFIT. PROVIDE NEW 2x6 WOOD FASCIA AND SOFFIT CONTINUOUS. WRAP FASCIA WITH NEW PRE FINISHED METAL. SEE DETAIL A5.5.
  6. NOT USED.
  7. EXISTING BRICK. CLEAN, PATCH AND POINT-UP AS REQUIRED.
  8. EXISTING ENTRY DOOR AND STORM DOOR TO BE REPLACED.
  9. EXISTING WINDOWS TO BE REPLACED.
  10. PROVIDE NEW PORCH, OVERHANG AND ROOF.
  11. EXISTING ROOF, SEE SHEET A10.0 FOR WORK ASSOCIATED WITH ROOF.
  12. REMOVE EXISTING SIDING, TRIM & SHEATHING COMPLETE. PROVIDE NEW SIDING AND TRIM.



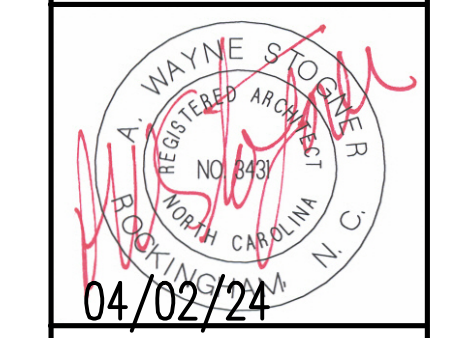
**Stogner Architecture, PA**  
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REVISED PORCH/ROOF PLAN, FRONT ELEVATION, ONE BEDROOM UNIT – BUILDING TYPE "A" ; NC 15-3	
6041-B\A11.3.AEC	6041-B
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SEE SHEET A11.0 FOR DEMOLITION KEYNOTES



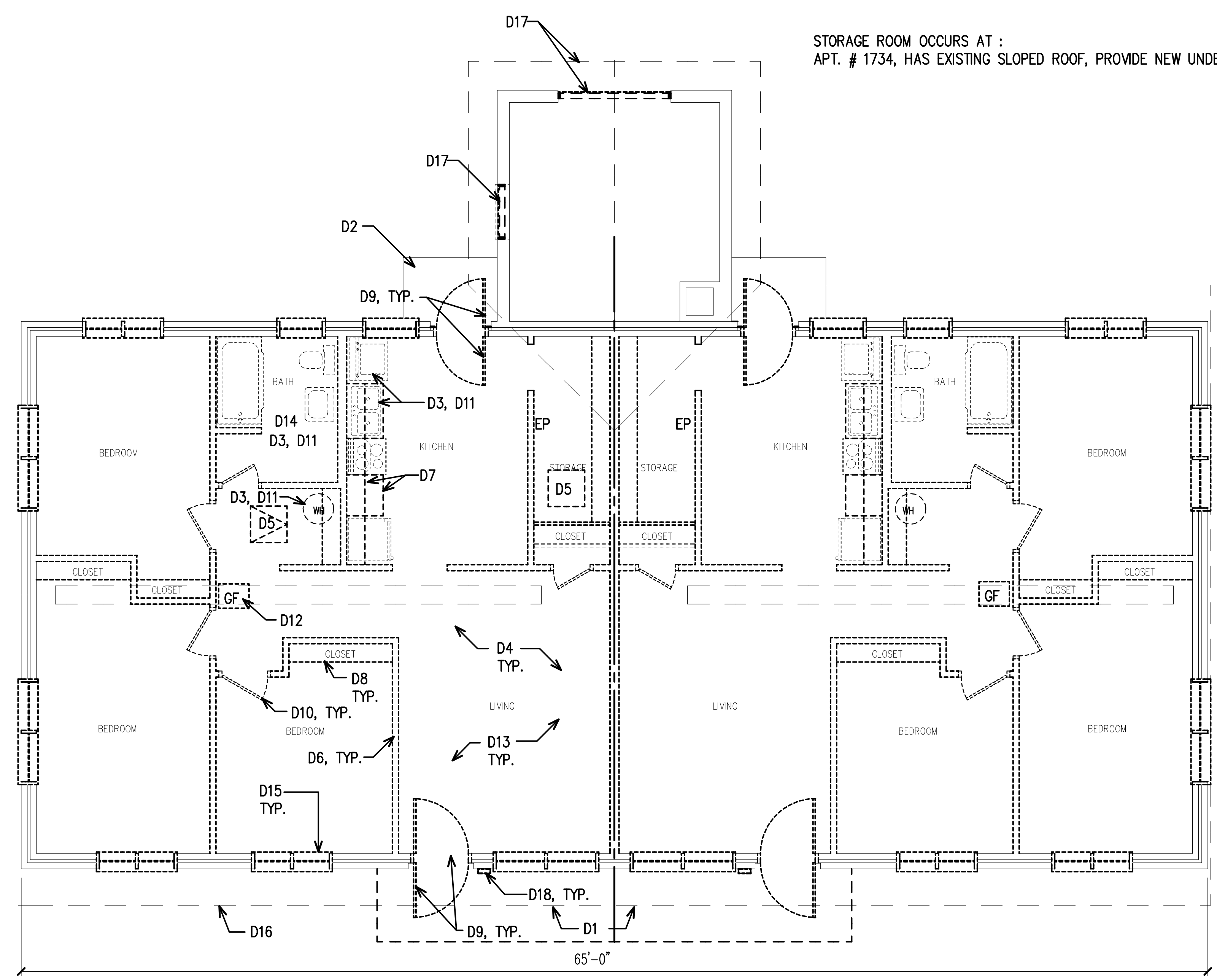
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GOLDSBORO NORTH CAROLINA

DEMOLITION FLOOR PLAN,  
THREE BEDROOM UNIT -  
BUILDING TYPE "C" ;  
NC 15-3

6041-B\A12.0.AEC  
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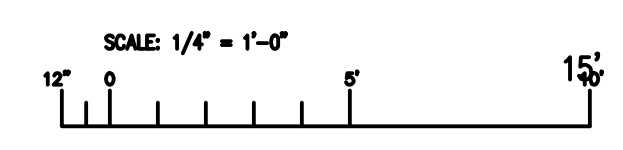
STORAGE ROOM OCCURS AT :  
APT. # 1734, HAS EXISTING SLOPED ROOF, PROVIDE NEW UNDERLAYMENT & SHINGLES.

FRONT WINDOW SIZES VARY, SEE ELEVATIONS  
BLDG C/1, APT #1734 - EDGERTON ST. ; BASIC FRONT ELEVATION  
BLDG C/1, APT #1736 - EDGERTON ST. ; ALTERNATE #1 FRONT ELEVATION  
NOTE : DOOR LOCATION VARIES DUE TO WINDOW LAYOUT  
BLDG C/2, APT #1904 - EDGERTON ST. ; BASIC FRONT ELEVATION

A12.0.01 DEMOLITION FLOOR PLAN, THREE BEDROOM UNIT ; NC 15-3

SCALE 1/4" = 1'-0"

BUILDING TYPE 'C'

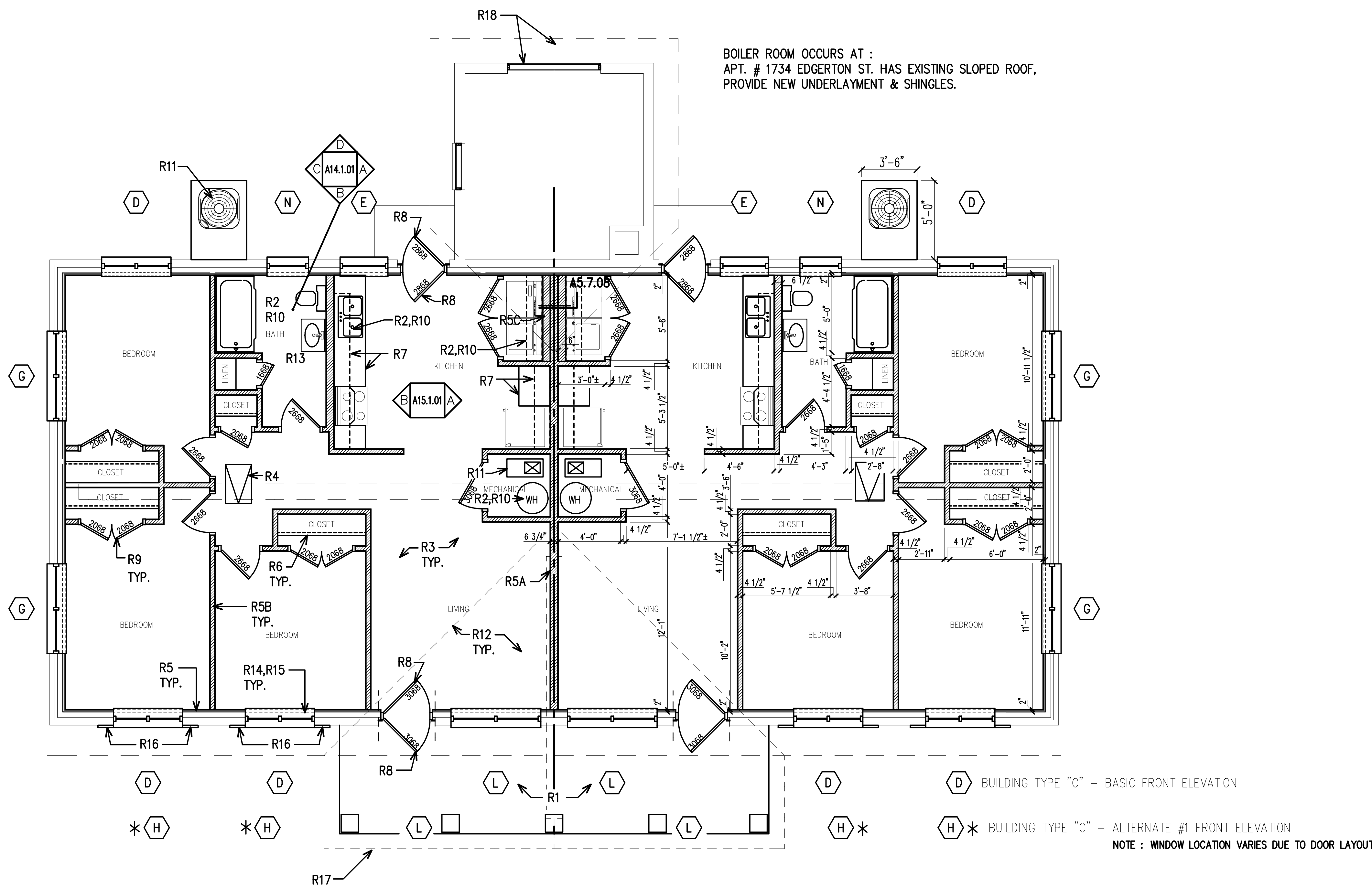


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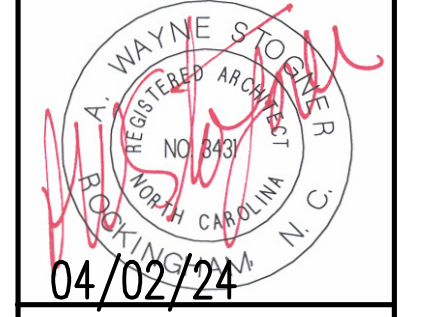
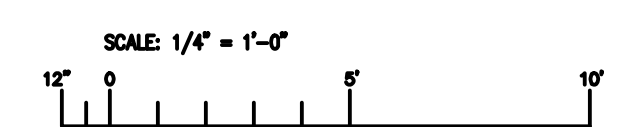
SEE SHEET A11.1 FOR RENOVATION KEYNOTES



A12.1.01 RENOVATION FLOOR PLAN, THREE BEDROOM UNIT ; NC 15-3

SCALE 1/4" = 1'-0"

BUILDING TYPE 'C'



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RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
GOLDSBORO NORTH CAROLINA

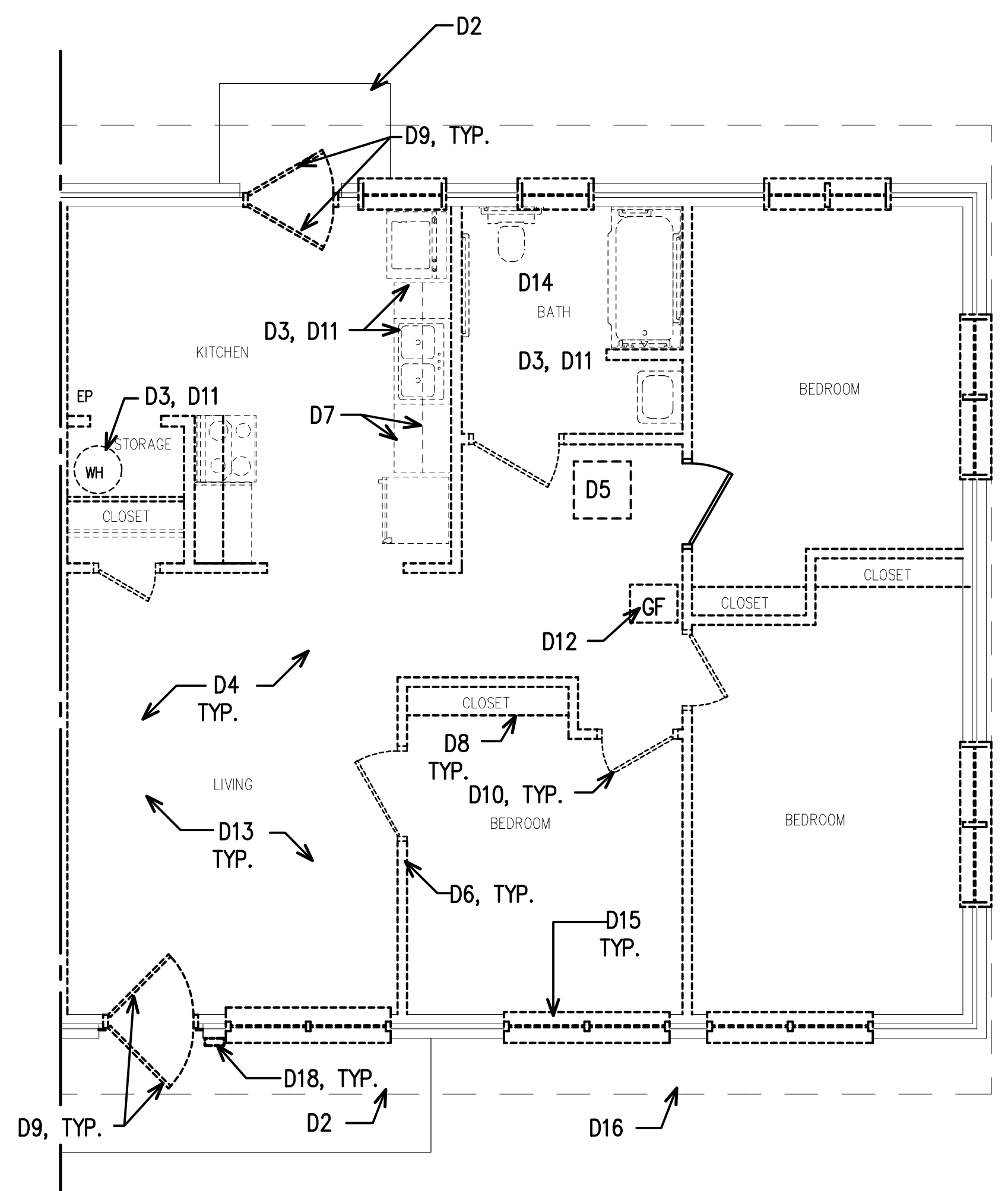
RENOVATION FLOOR PLAN,  
THREE BEDROOM UNIT -  
BUILDING TYPE 'C' ;  
NC 15-3

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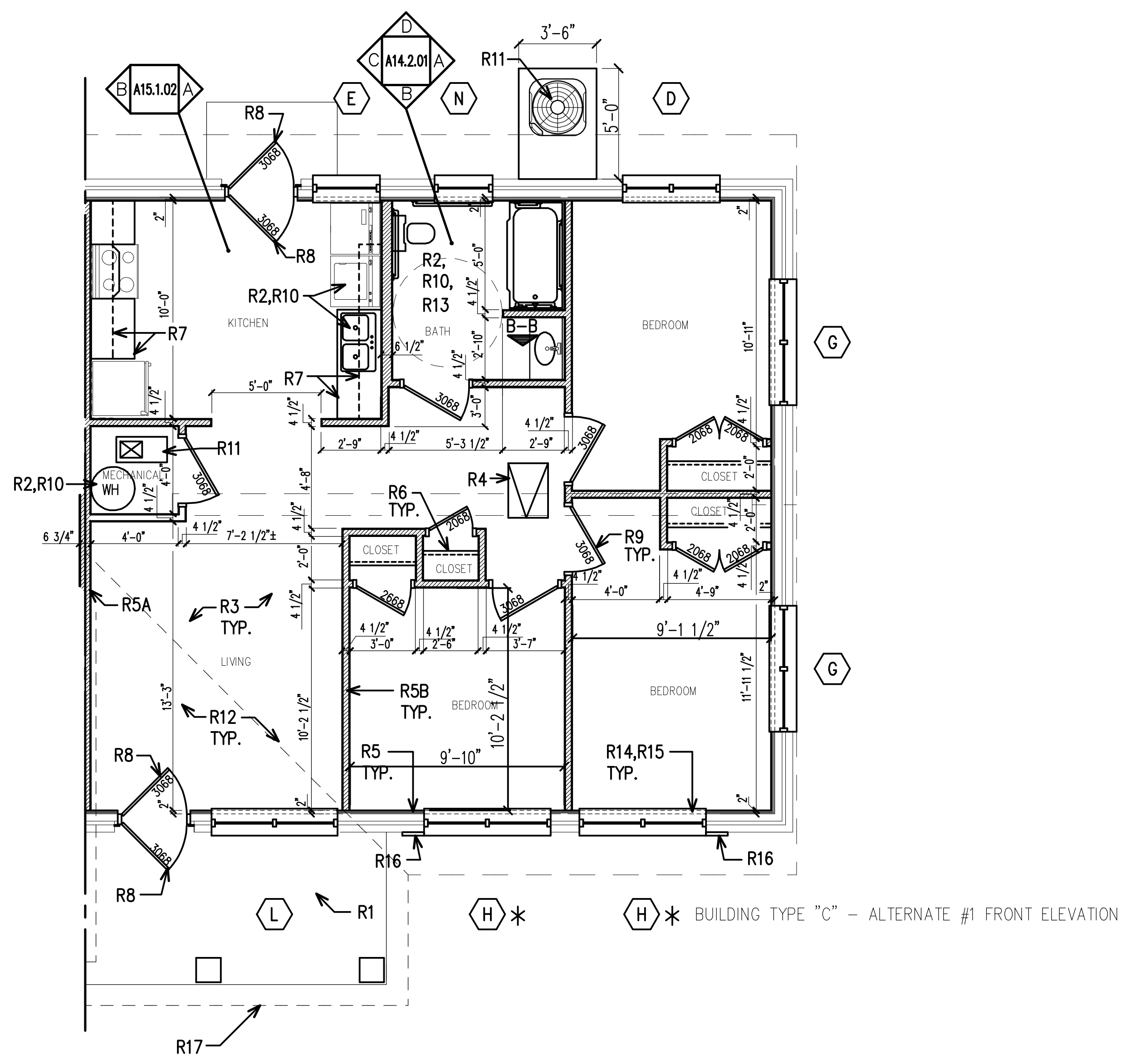
SEE SHEET A11.0 FOR DEMOLITION KEYNOTES  
SEE SHEET A11.1 FOR RENOVATION KEYNOTES



FRONT WINDOW SIZES VARY, SEE ELEVATIONS  
BLDG C/1, APT #1736A - EDGERTON ST. ; ALTERNATE #1 FRONT ELEVATION

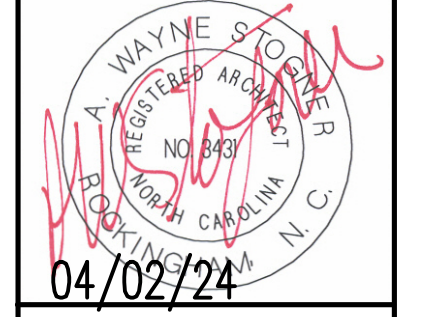
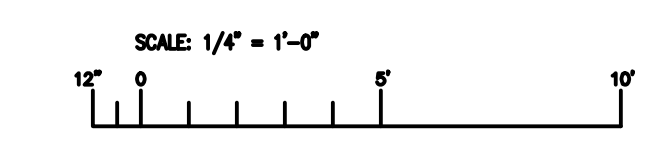
**A12.2.01 DEMOLITION FLOOR PLAN,  
THREE BEDROOM HANDICAP UNIT ; NC 15-3**

SCALE 1/4" = 1'-0" BUILDING TYPE 'C'



**A12.2.02 RENOVATION FLOOR PLAN,  
THREE BEDROOM HANDICAP UNIT ; NC 15-3**

SCALE 1/4" = 1'-0" BUILDING TYPE 'C'



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NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
GOLDSBORO NORTH CAROLINA

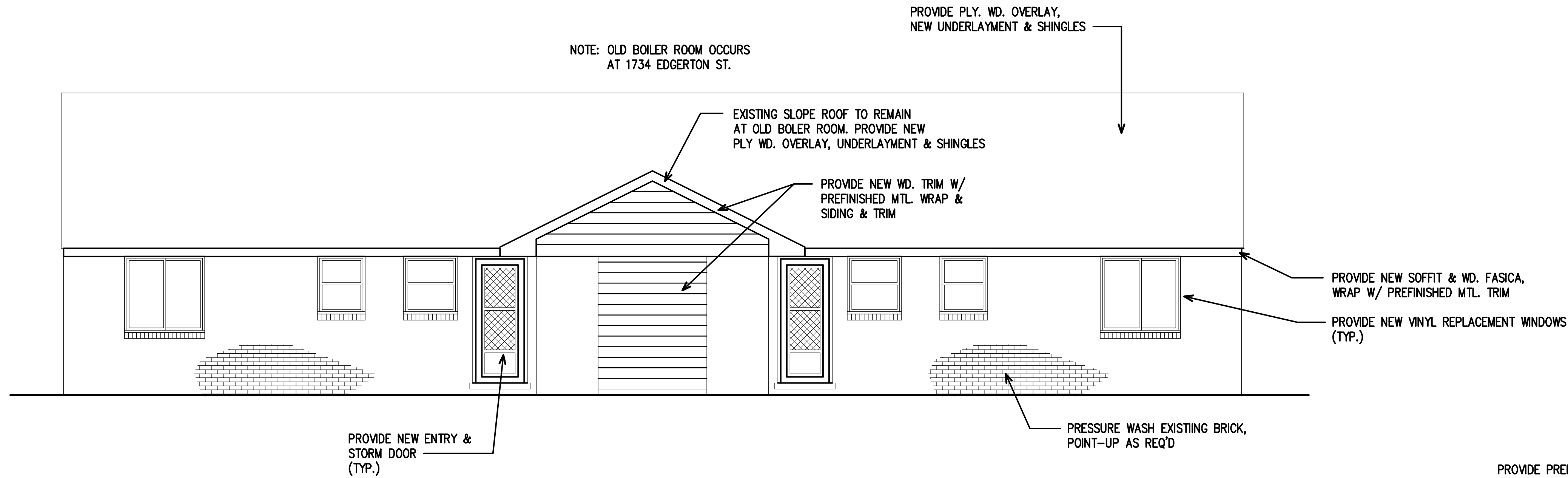
DEMOLITION/RENOVATION  
FLOOR PLAN, THREE  
BEDROOM HANDICAP UNIT  
BUILDING TYPE 'C' ;  
NC 15-3

6041-B\A12.2.AEC  
COMM. NO. 6041-B  
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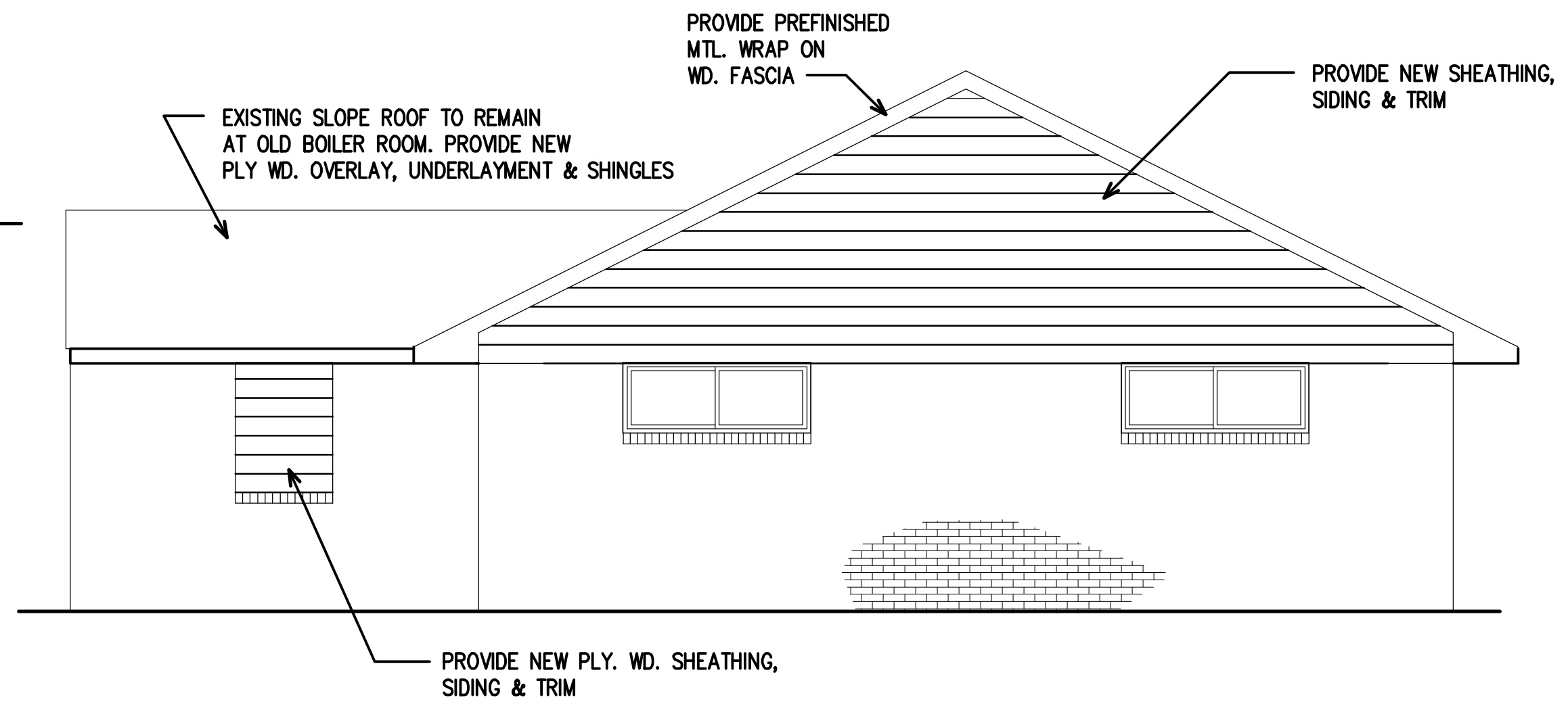


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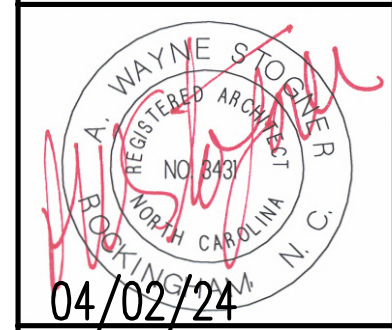
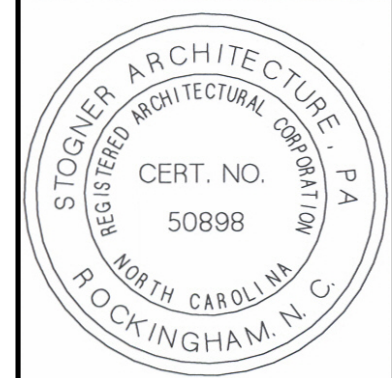
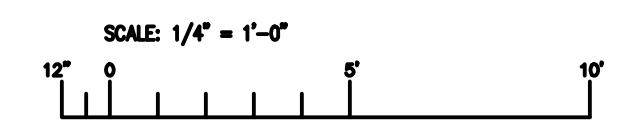
A12.3.02 BASIC REAR ELEVATION, THREE BEDROOM UNIT – BLDG "C" ; NC 15-3

SCALE 1/4" = 1'-0"



A12.3.01 BASIC FRONT ELEVATION, THREE BEDROOM UNIT – BLDG "C" ; NC 15-3

SCALE 1/4" = 1'-0"



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BASIC FRONT ELEVATION, THREE BEDROOM UNIT – BUILDING TYPE "C" ;

NC 15-3

6041-B\A7.3.AEC

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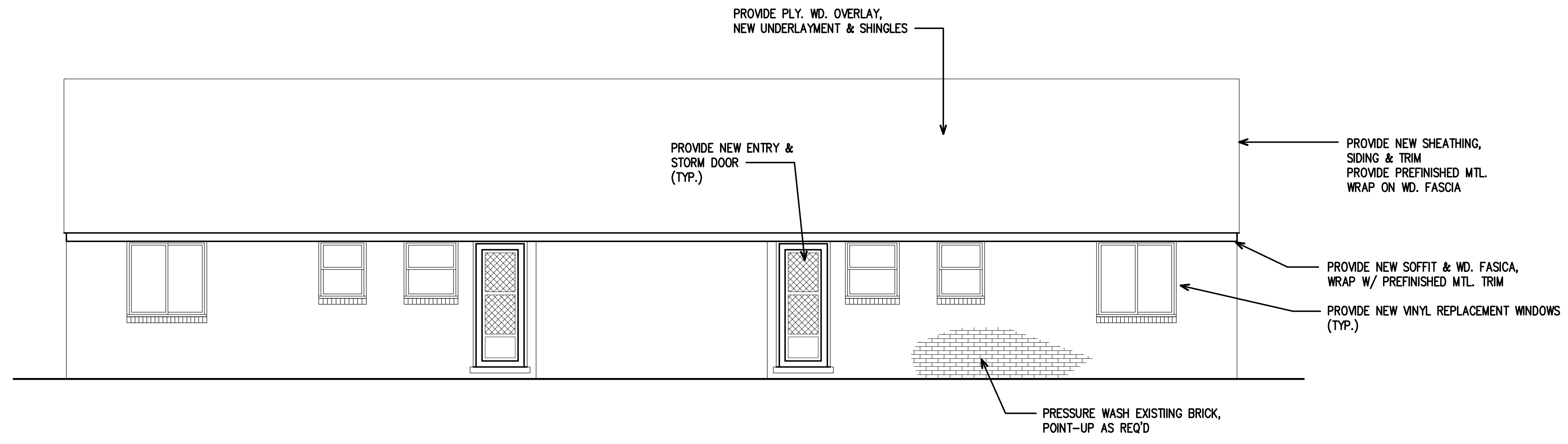
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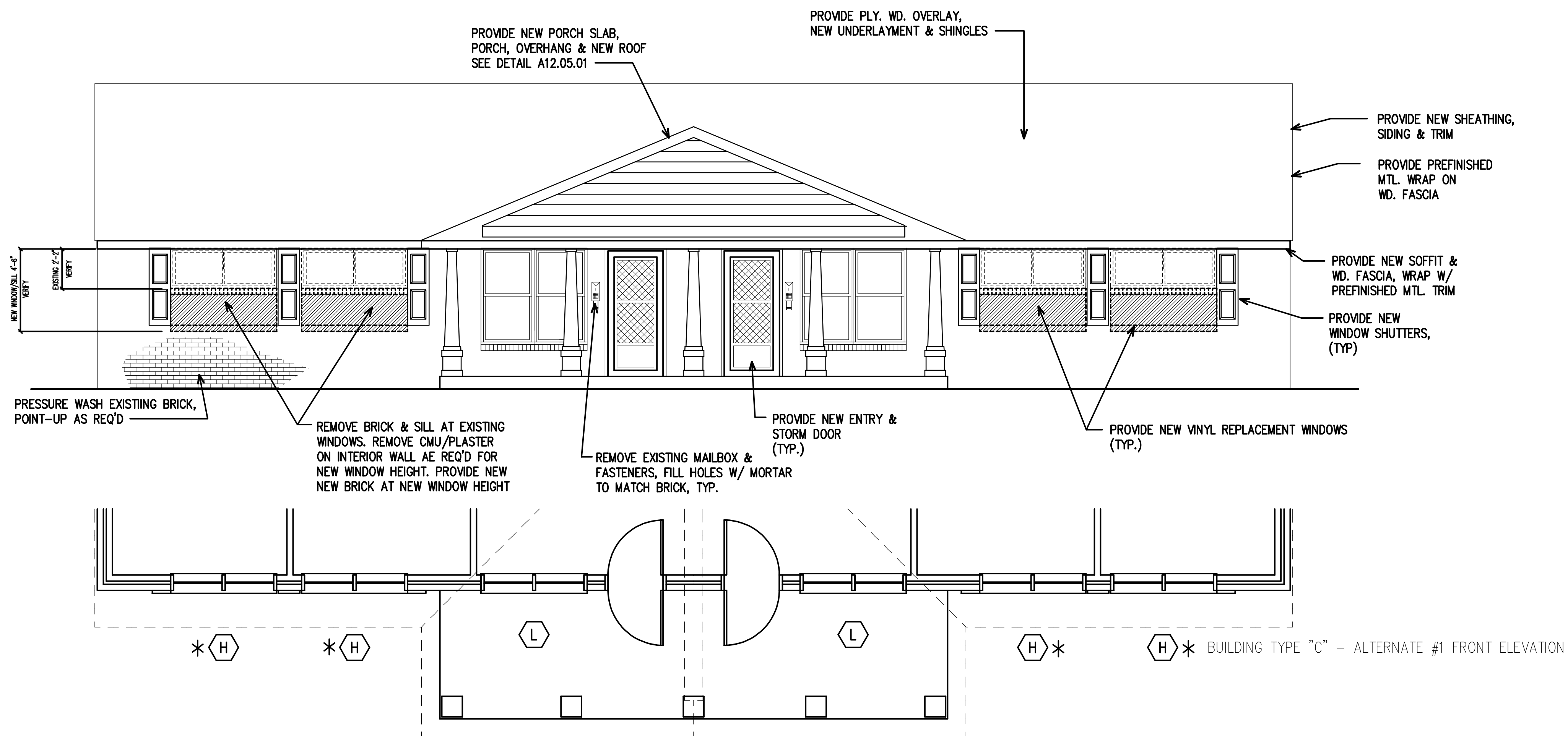
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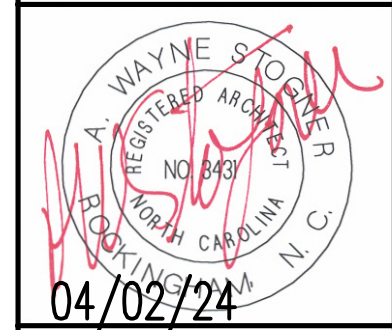
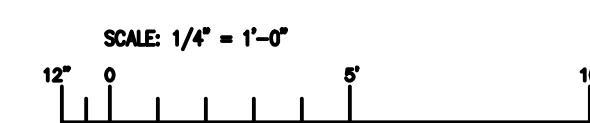
**A12.4.02 BASIC REAR ELEVATION, THREE BEDROOM UNIT – BLDG "C" ; NC 15-3**

SCALE 1/4" = 1'-0"



**A12.4.01 ALTERNATE #1 FRONT ELEVATION, THREE BEDROOM UNIT – BLDG "C" ; NC 15-3**

SCALE 1/4" = 1'-0"



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 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
 GOLDSBORO NORTH CAROLINA

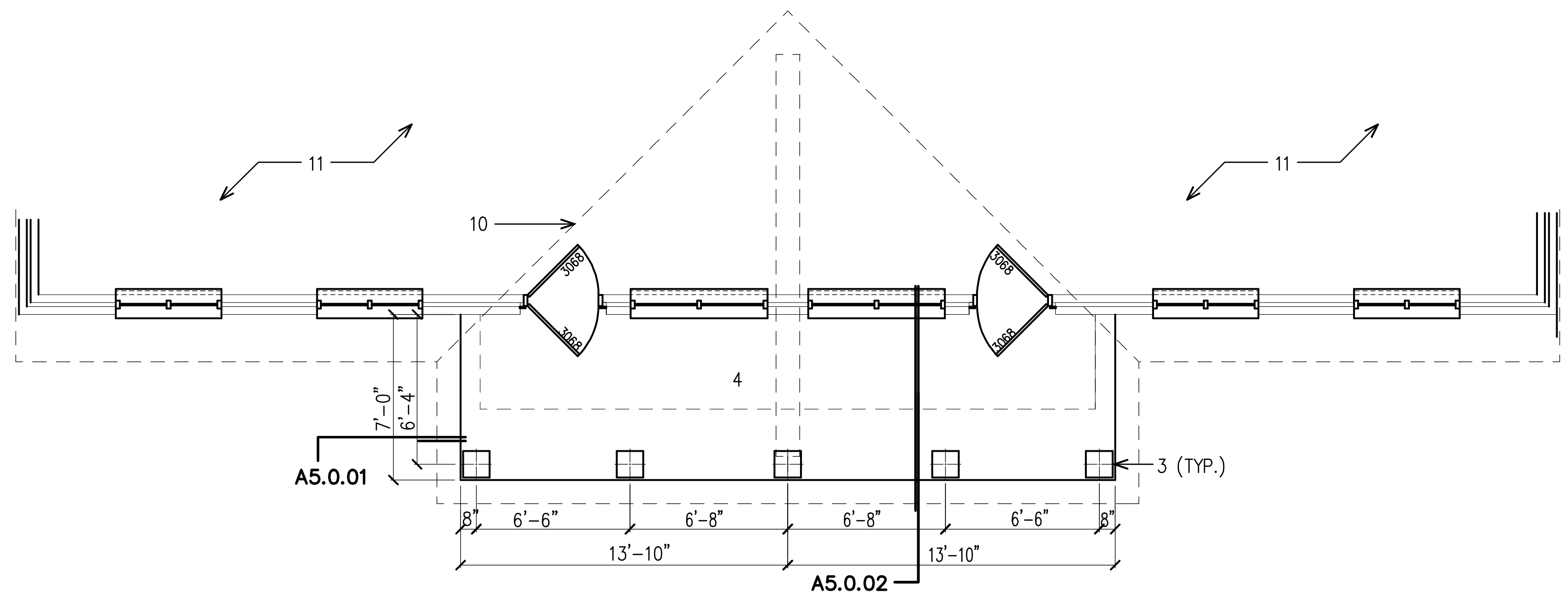
ALTERNATE #1  
 FRONT ELEVATION,  
 THREE BEDROOM UNIT –  
 BUILDING TYPE "C" ;  
 NC 15-3

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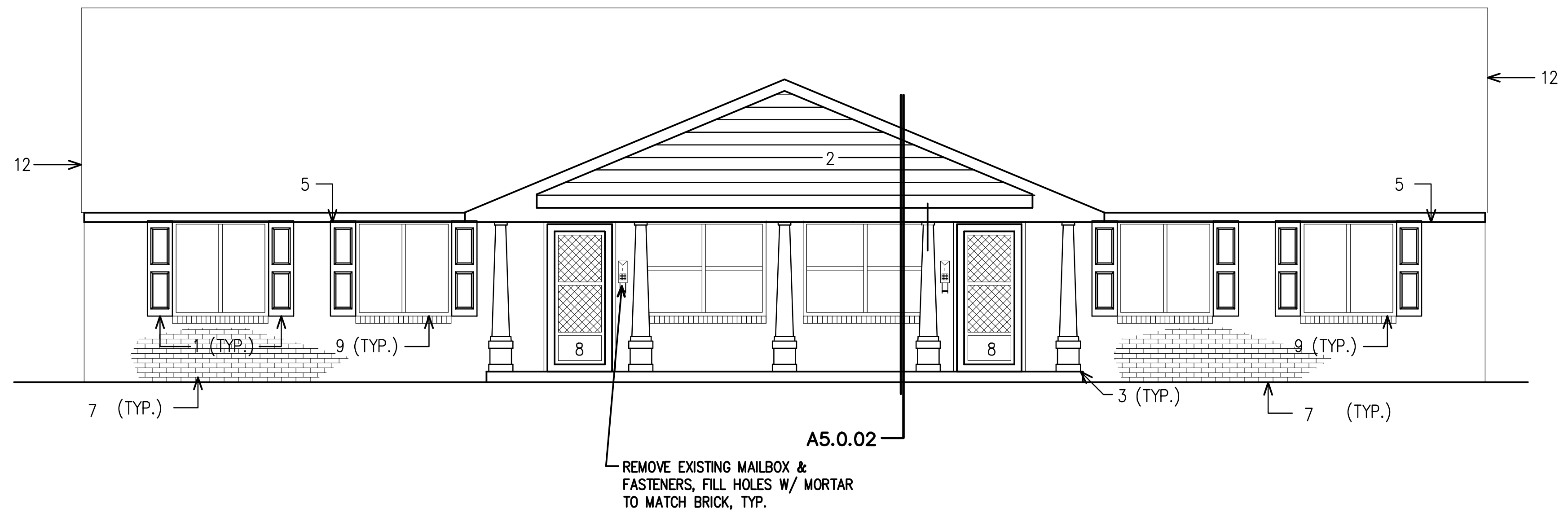


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**A12.5.01 REVISED PORCH/ROOF PLAN, THREE BEDROOM UNIT – BUILDING TYPE "C" ; NC 15-3**

SCALE: 1/4" = 1'-0"

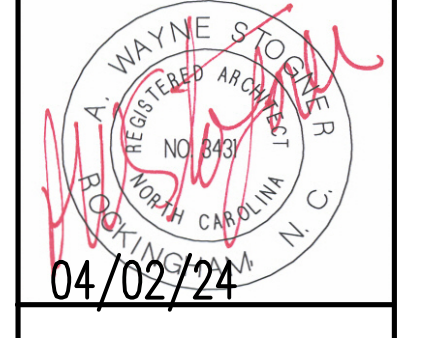


**A12.5.02 REVISED ELEVATION, THREE BEDROOM UNIT – BUILDING TYPE "C" ; NC 15-3**

SCALE: 1/4" = 1'-0"

**KEYNOTES – REVISED PORCH/ROOF, FRONT ELEVATION**

1. PROVIDE NEW WINDOW SHUTTERS.
2. PROVIDE NEW SIDING AND TRIM.
3. PROVIDE NEW PORCH COLUMN.
4. PROVIDE NEW FRONT PORCH SLAB. POUR WITH 3000PSI CONCRETE.
5. REMOVE EXISTING METAL WRAP FROM FREIZE BOARD AND EXISTING WOOD, VENTED SOFFIT. PROVIDE NEW 2x6 WOOD FASCIA AND SOFFIT CONTINUOUS. WRAP FASCIA WITH NEW PRE FINISHED METAL. SEE DETAIL A5.5.
6. NOT USED.
7. EXISTING BRICK. CLEAN, PATCH AND POINT-UP AS REQUIRED.
8. EXISTING ENTRY DOOR AND STORM DOOR TO BE REPLACED.
9. EXISTING WINDOWS TO BE REPLACED.
10. PROVIDE NEW PORCH, OVERHANG AND ROOF.
11. EXISTING ROOF, SEE SHEET A10.0 FOR WORK ASSOCIATED WITH ROOF.
12. REMOVE EXISTING SIDING, TRIM & SHEATHING COMPLETE. PROVIDE NEW SIDING AND TRIM.



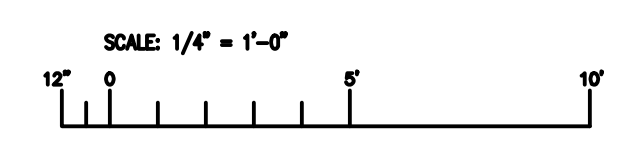
**Stogner Architecture, PA**  
 ARCHITECTURE – DESIGN BUILD  
 ARCHITECTURE – CONSTRUCTION MANAGEMENT  
 615 East Broad Avenue, Rockingham, North Carolina  
 Phone 910-895-6874 Fax 910-895-1111

**Housing Authority of the City of Goldsboro**  
 RENOVATIONS – FAIRVIEW APARTMENTS  
 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
 GOLDSBORO NORTH CAROLINA

REVISED PORCH/ROOF PLAN, FRONT ELEVATION, THREE BEDROOM UNIT – BUILDING TYPE "C" ; NC 15-3

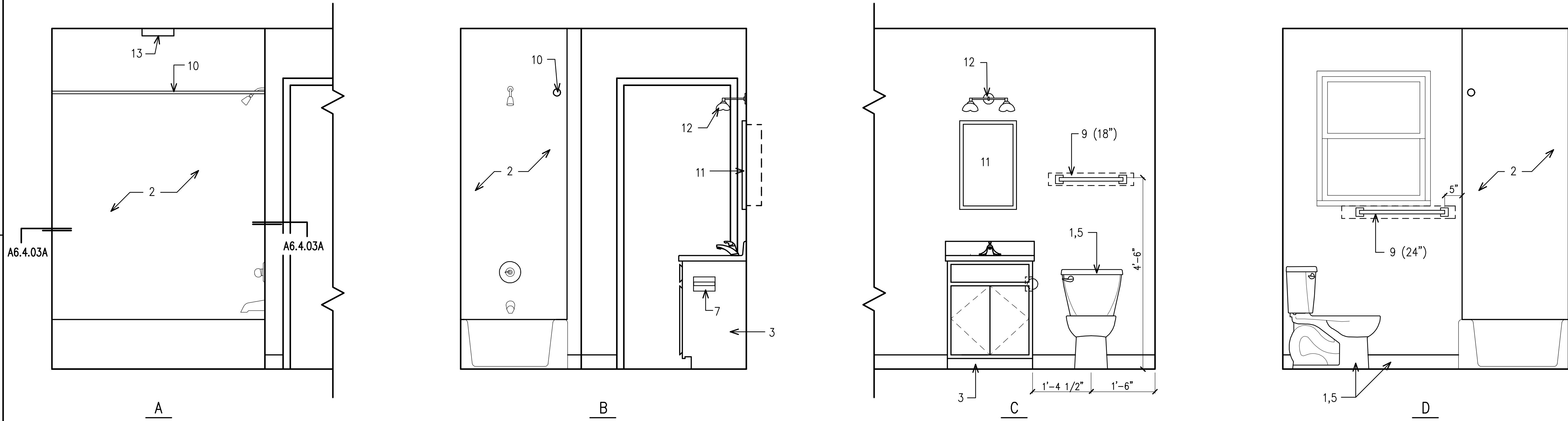
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 COMM. NO. 6041-B  
 DRAWN BY WBP  
 CHECKED BY AWS  
 DATE APRIL 2, 2024

SHEET NO. **A12.5**



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SEE SHEET A6.4 FOR BATHROOM KEYNOTES

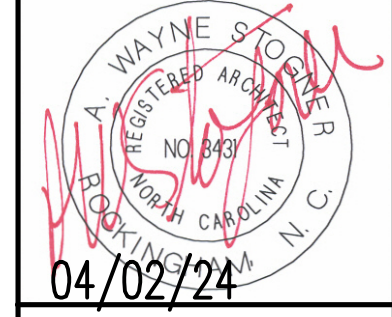


**A14.0.01 BATHROOM ELEVATIONS – ONE BEDROOM UNIT ; NC 15-3**

SCALE: 3/4" = 1'-0"

BUILDING TYPE "A"

SCALE: 3/4" = 1'-0"



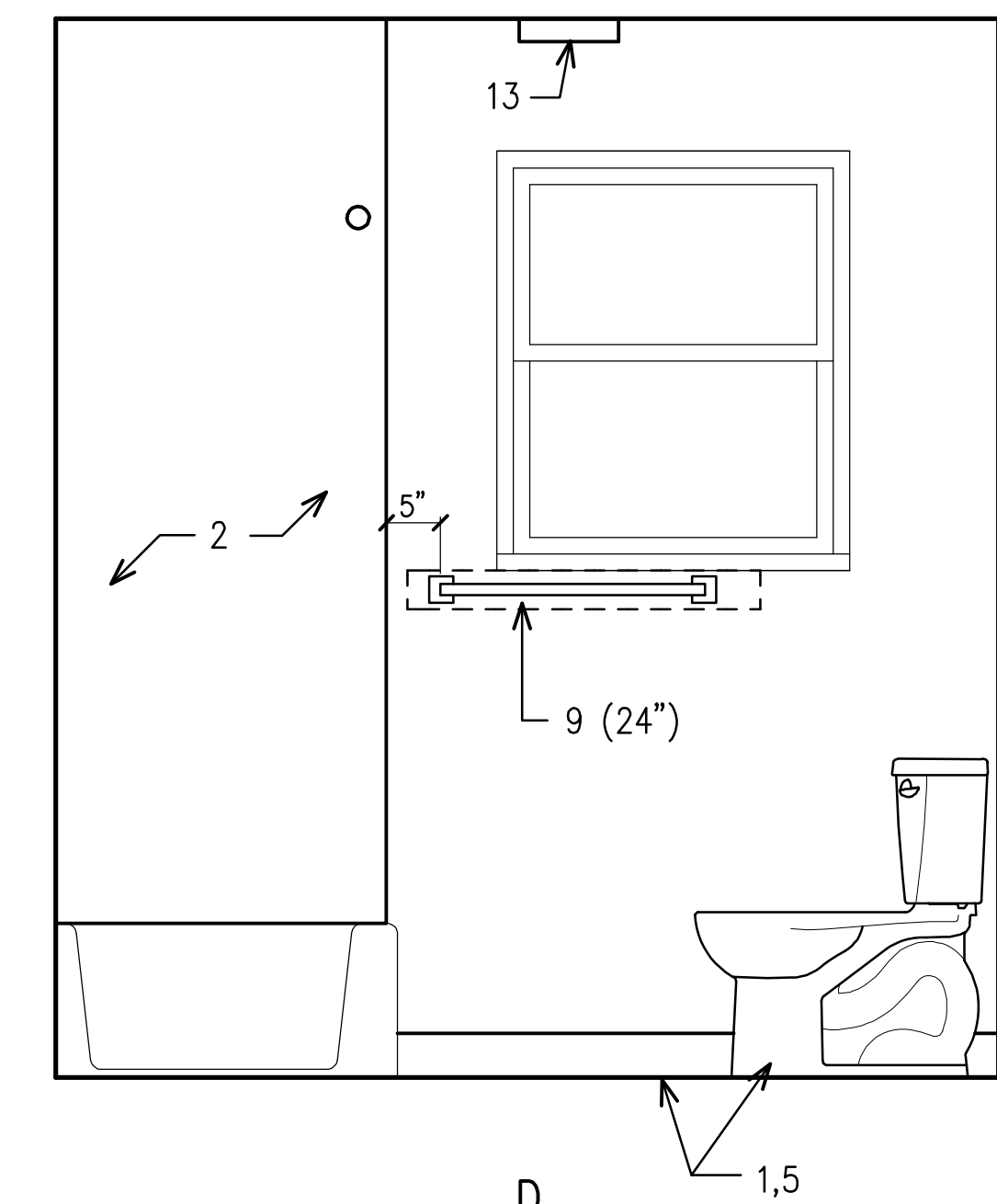
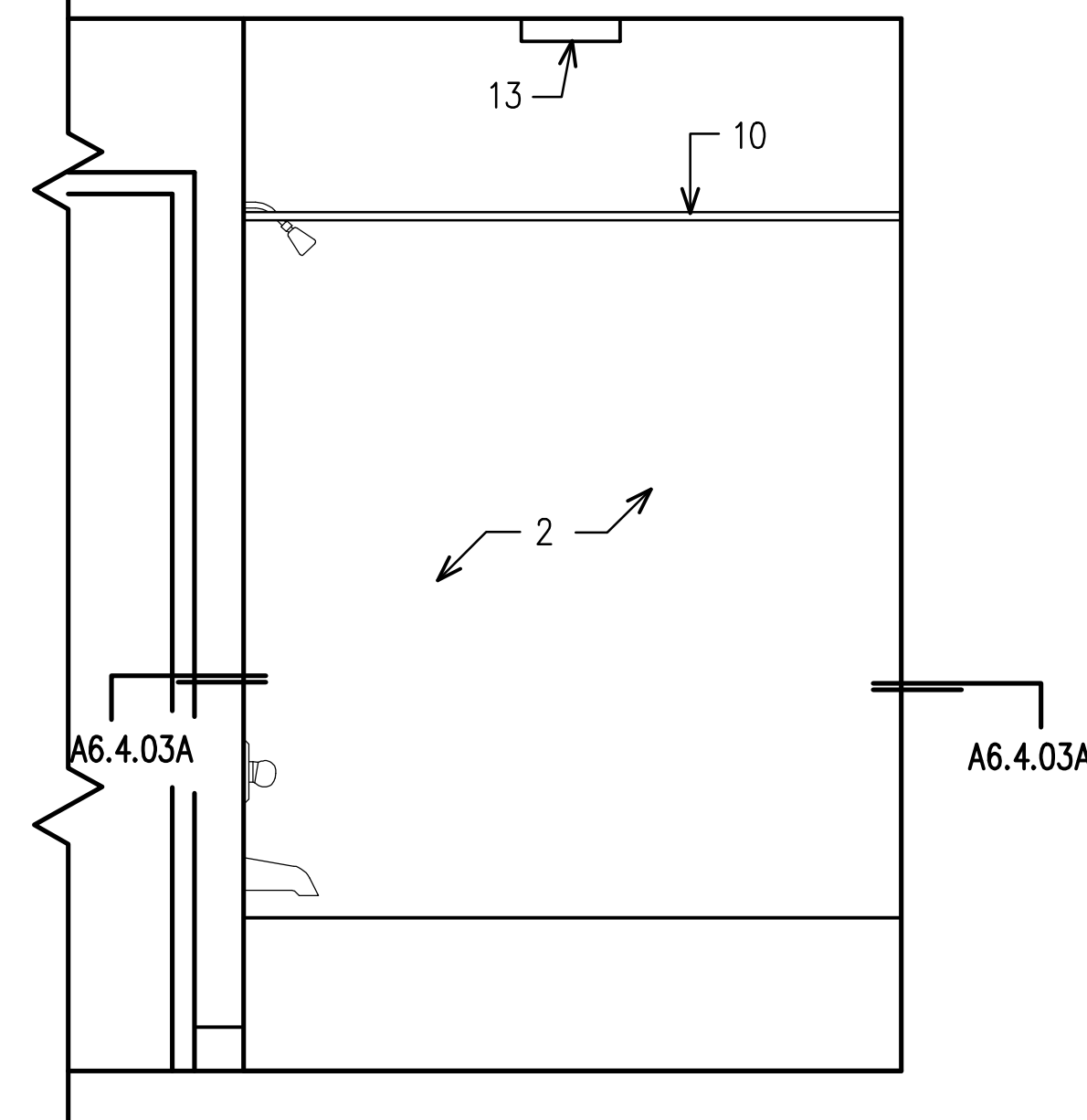
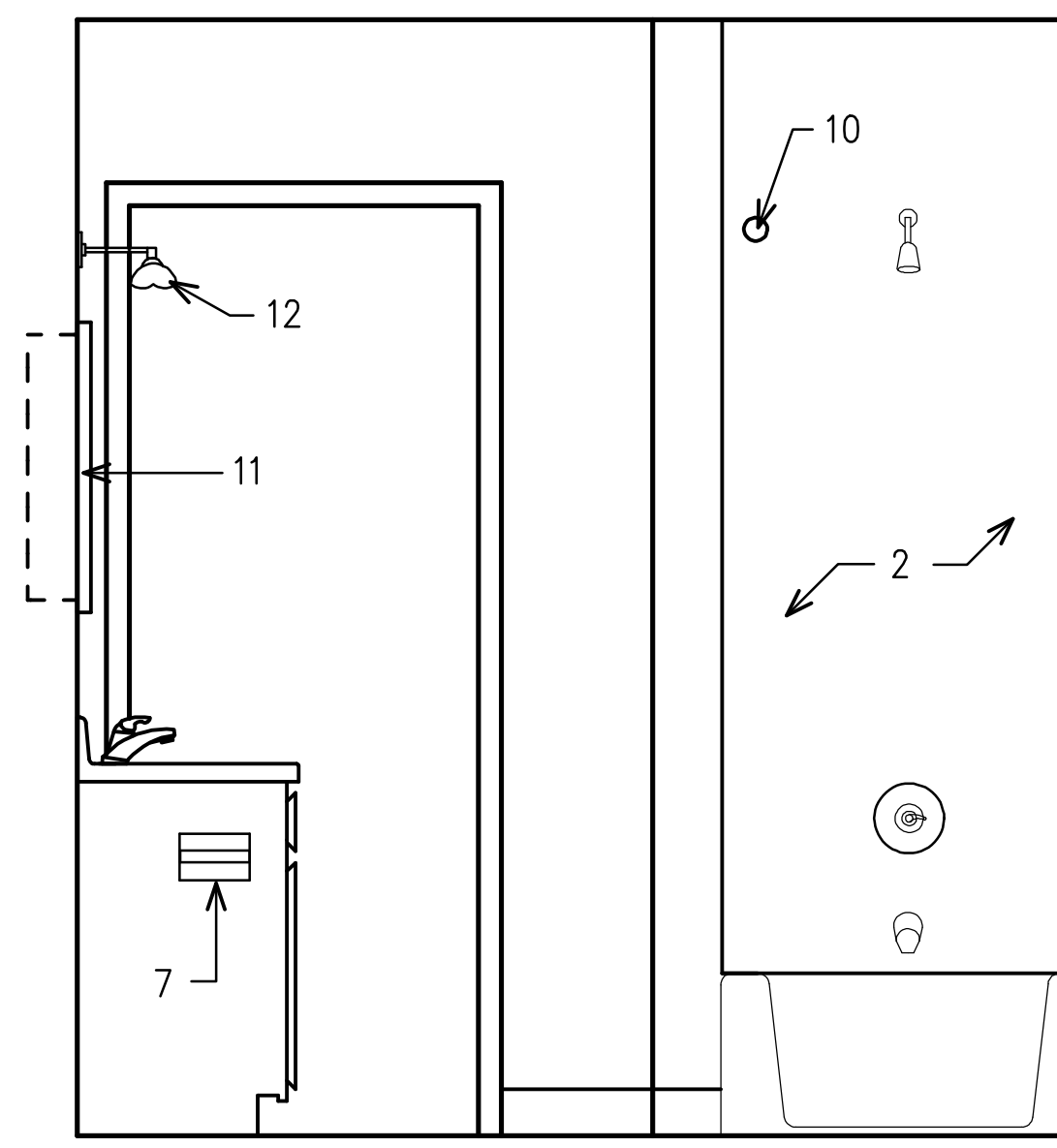
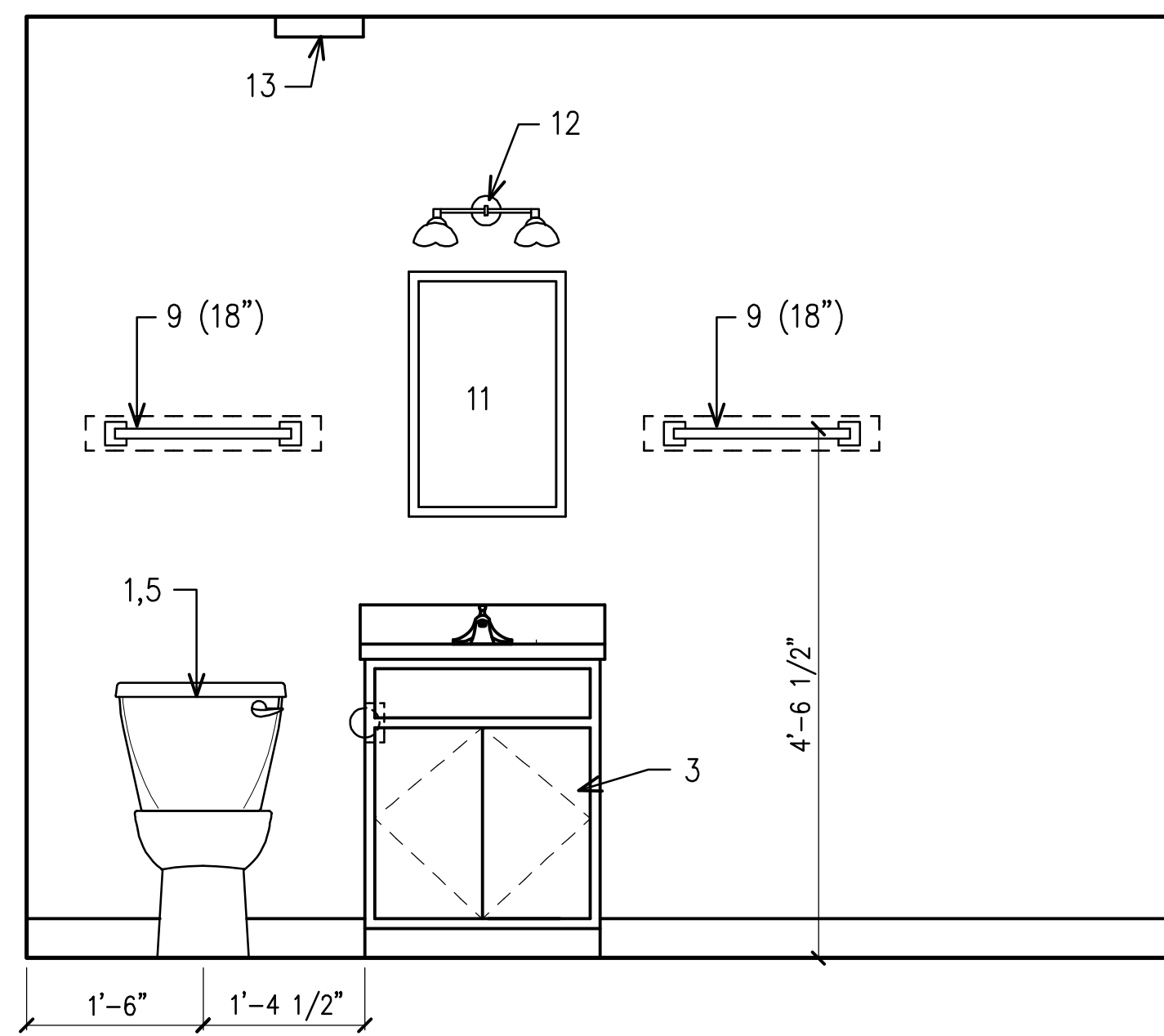
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 615 East Broad Avenue, Rockingham, North Carolina  
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**Housing Authority of the City of Goldsboro**  
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 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
 GOLDSBORO NORTH CAROLINA

BATHROOM ELEVATIONS, ONE BEDROOM UNIT ;	
NC 15-3	
6041-B\A14.0.AEC	
COMM. NO.	6041-B
DRAWN BY	WBP
CHECKED BY	AWS
DATE	APRIL 2, 2024
SHEET NO.	A14.0



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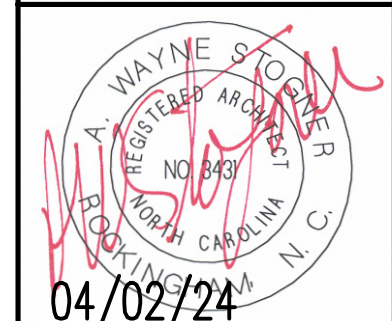
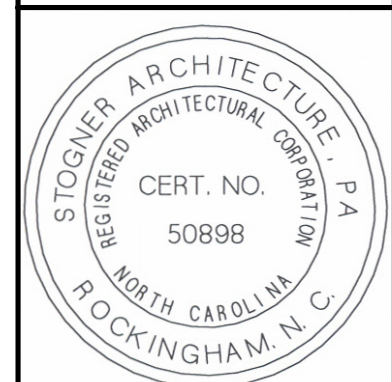
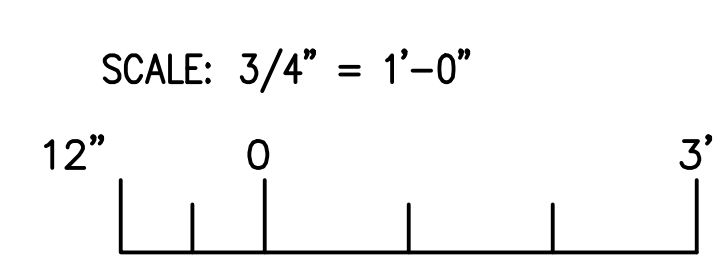


SEE SHEET A6.4 FOR BATHROOM KEYNOTES

**A14.1.01 BATHROOM ELEVATIONS – THREE BEDROOM UNIT ; NC 15-3**

SCALE: 3/4" = 1'-0"

BUILDING TYPE "C"



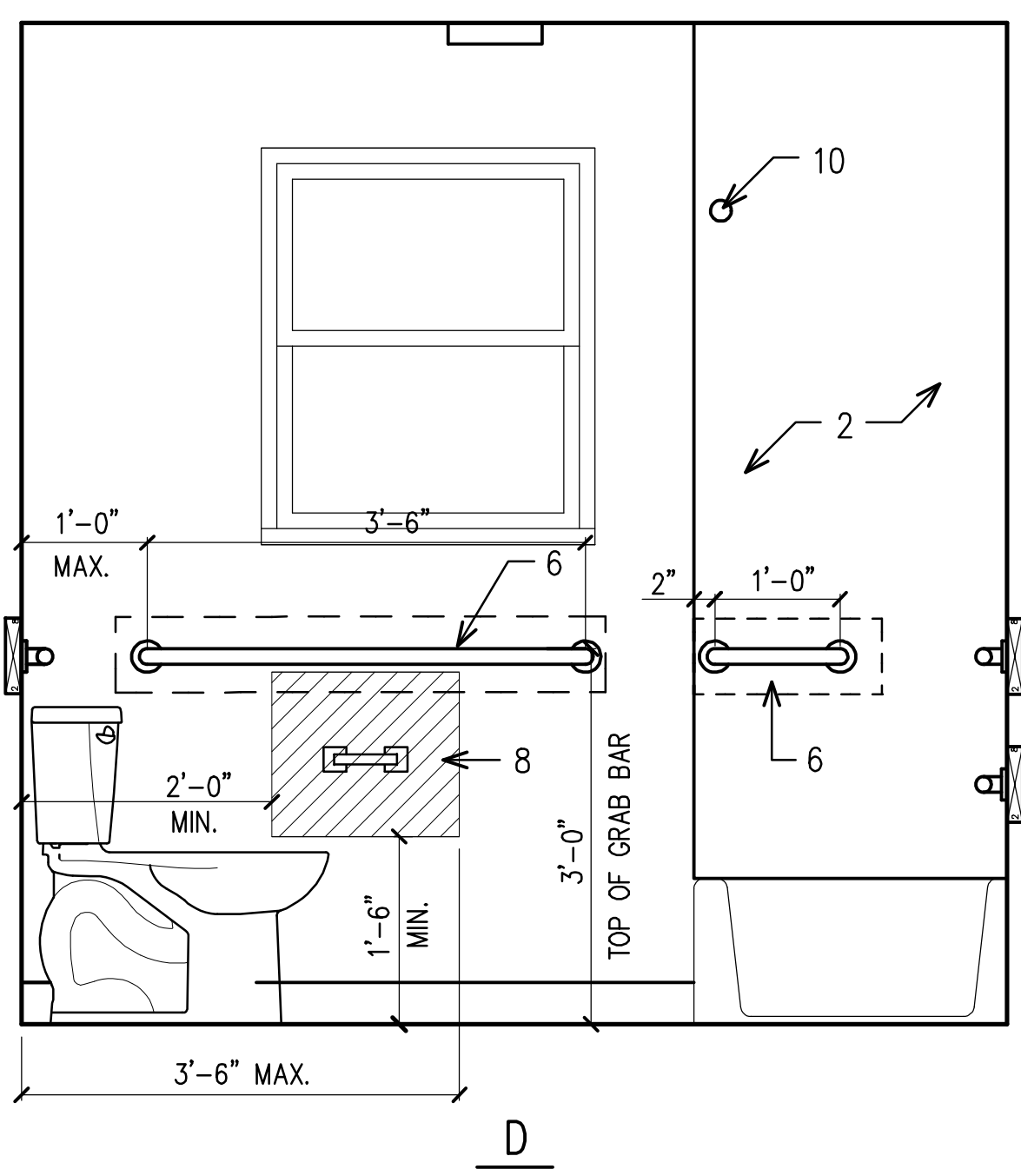
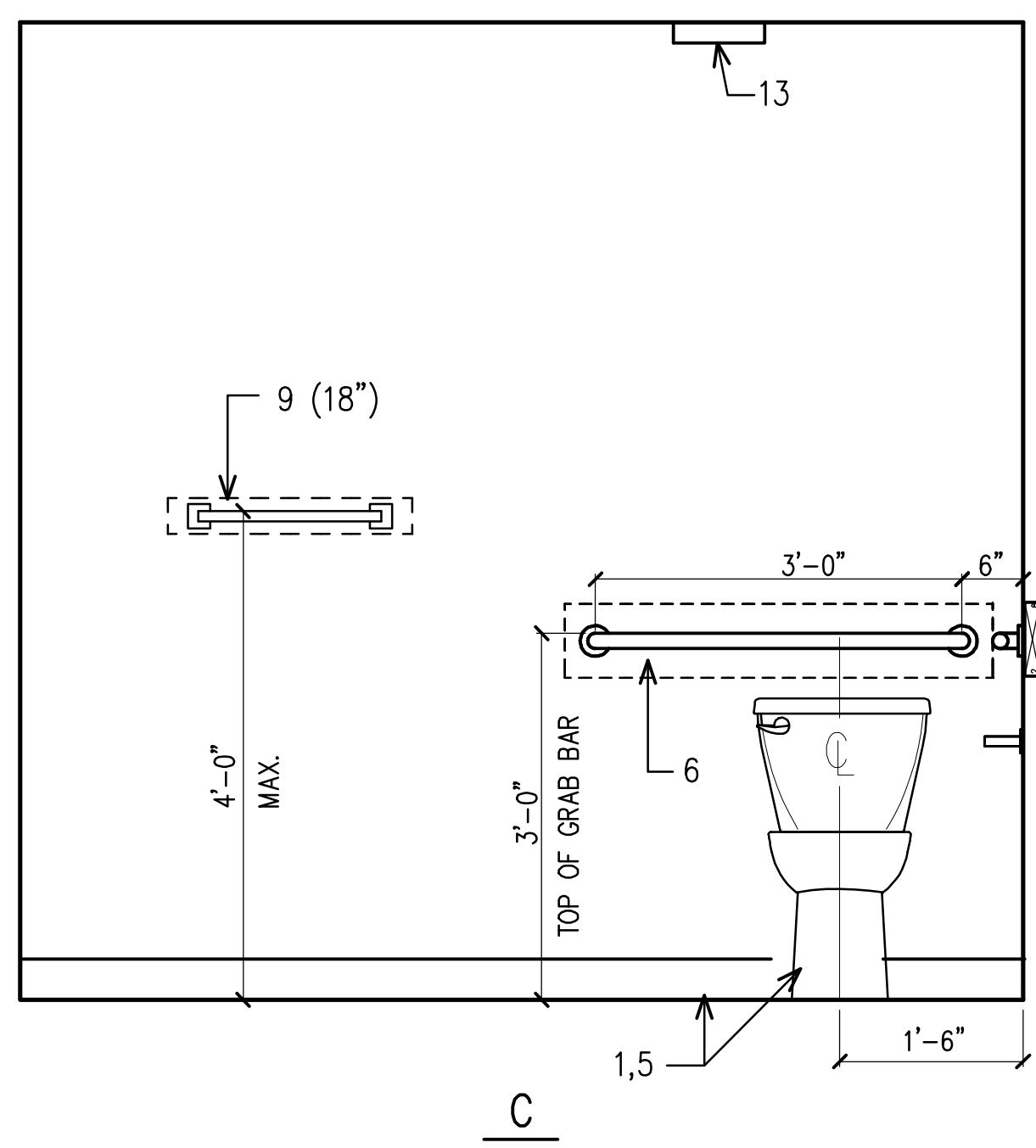
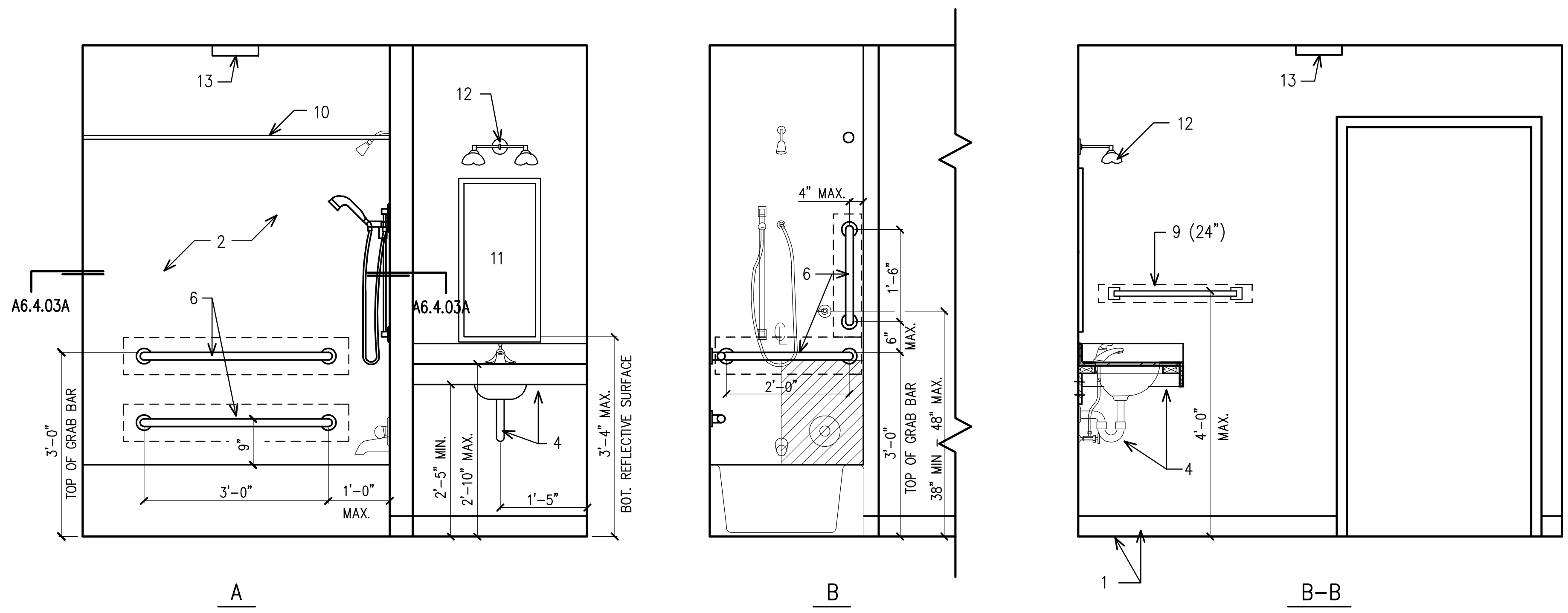
**Stogner Architecture, PA**  
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**Housing Authority of the City of Goldsboro**  
 RENOVATIONS - FAIRVIEW APARTMENTS  
 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
 GOLDSBORO NORTH CAROLINA

BATHROOM ELEVATIONS, THREE BEDROOM UNIT ;	
NC 15-3	
6041-B\A14.1.AEC	
COMM. NO.	6041-B
DRAWN BY	WBP
CHECKED BY	AWS
DATE	APRIL 2, 2024
SHEET NO.	A14.1

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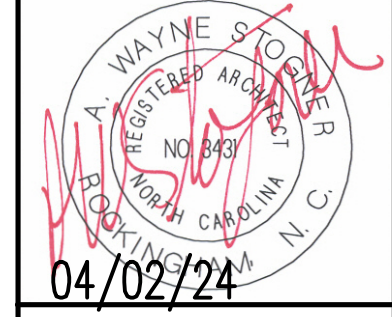
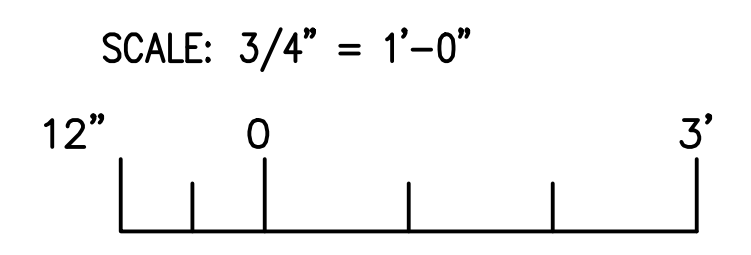
SEE SHEET A6.4 FOR BATHROOM KEYNOTES



**A14.2.01 BATHROOM ELEVATIONS – THREE BEDROOM HANDICAP UNIT ; NC 15-3**

SCALE: 3/4" = 1'-0"

BUILDING TYPE "C"



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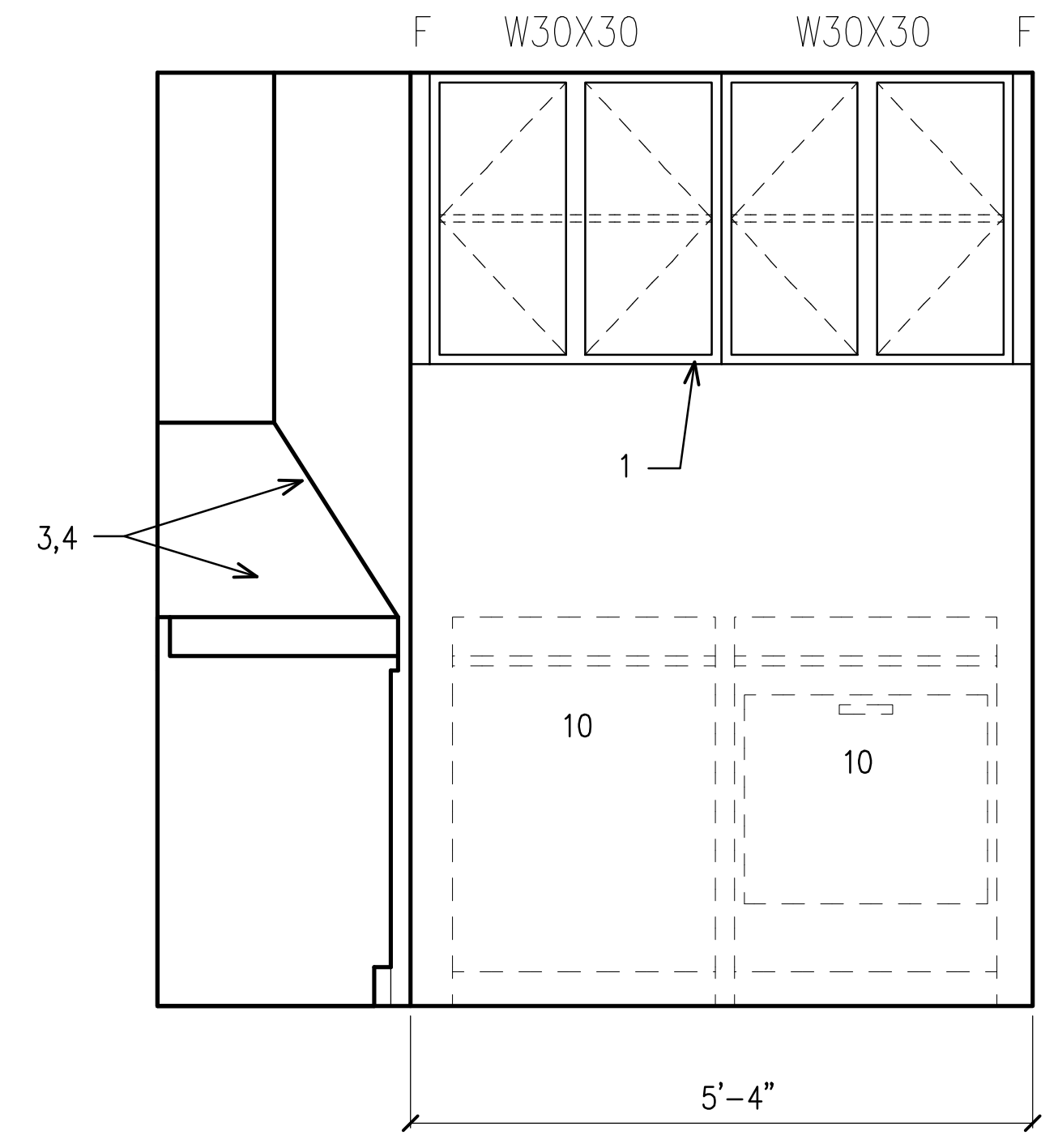
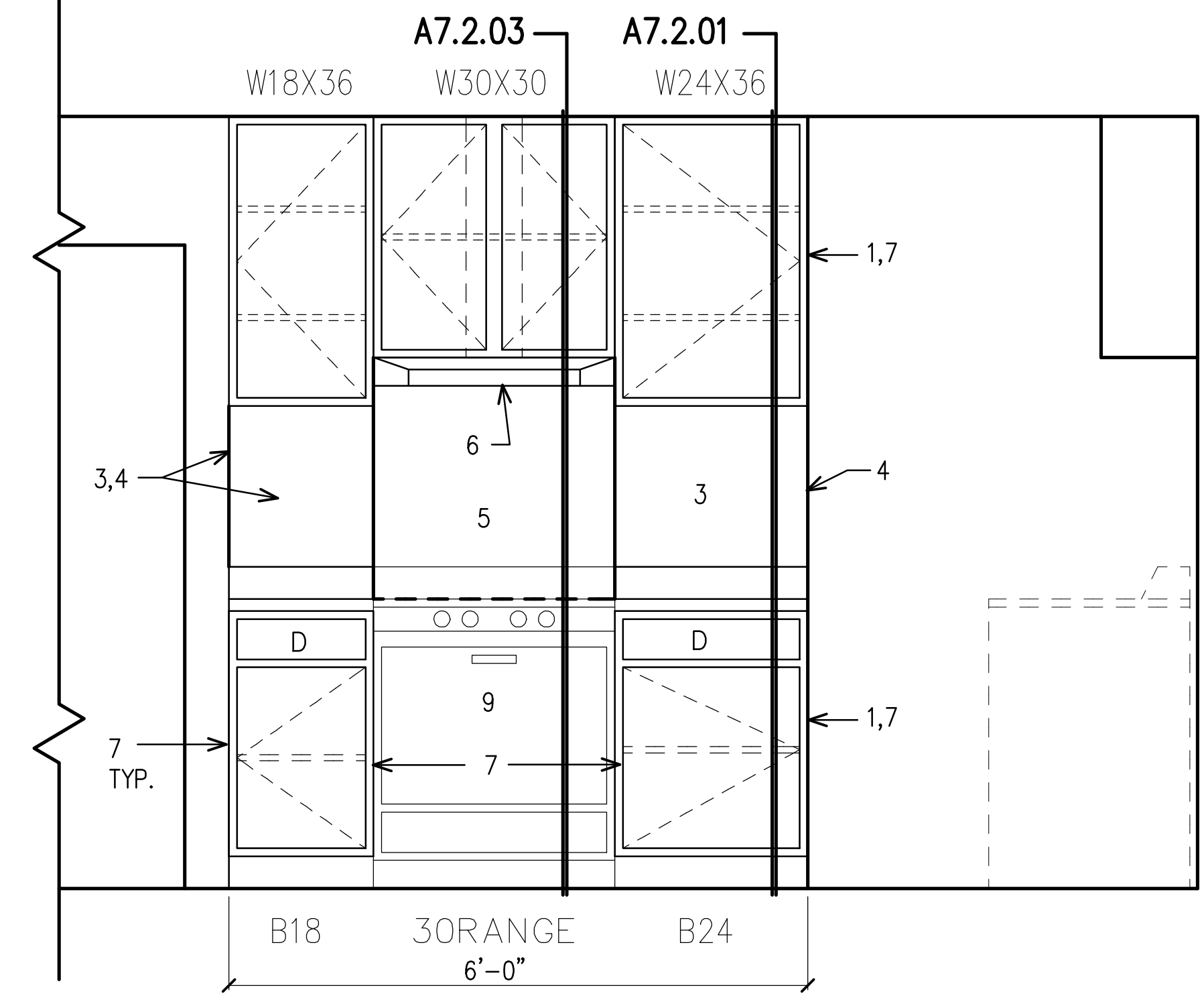
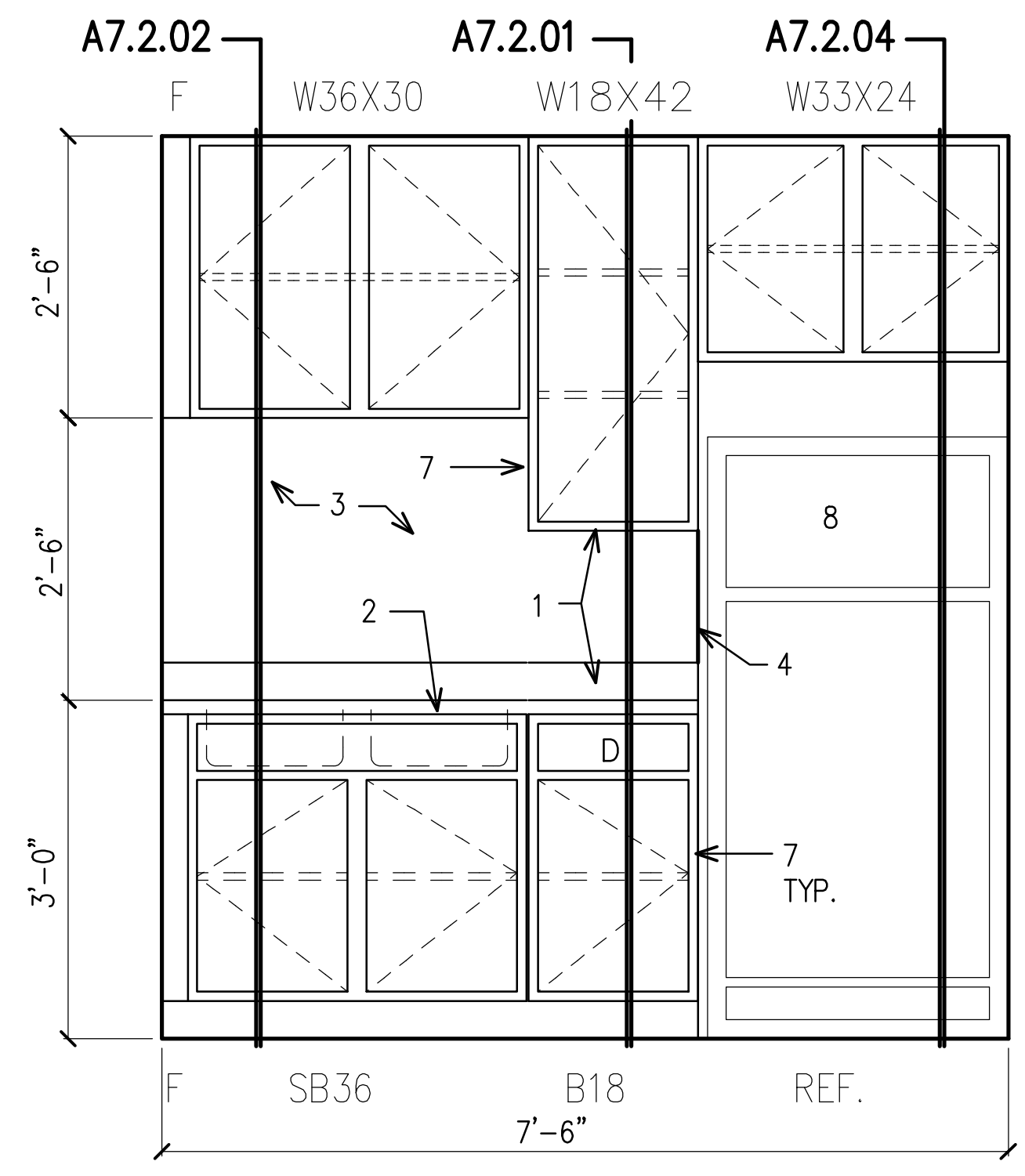
**Housing Authority of the City of Goldsboro**  
RENOVATIONS – FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
GOLDSBORO NORTH CAROLINA

BATHROOM ELEVATIONS, THREE BEDROOM HANDICAP UNIT ;	
NC 15-3	
6041-B\A14.2.AEC	
COMM. NO. 6041-B	
DRAWN BY WBP	
CHECKED BY AWS	
DATE APRIL 2, 2024	
SHEET NO.	A14.2

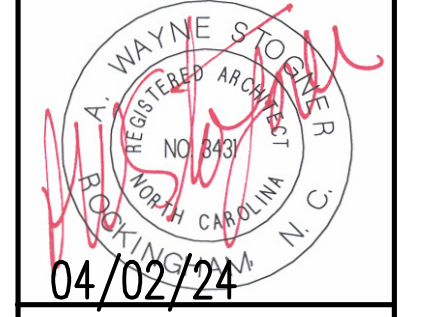
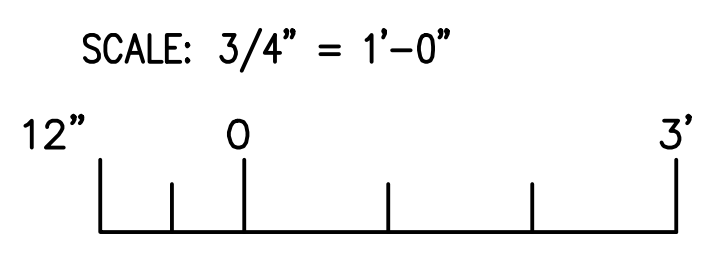


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SEE SHEET A7.0 FOR CABINET KEYNOTES



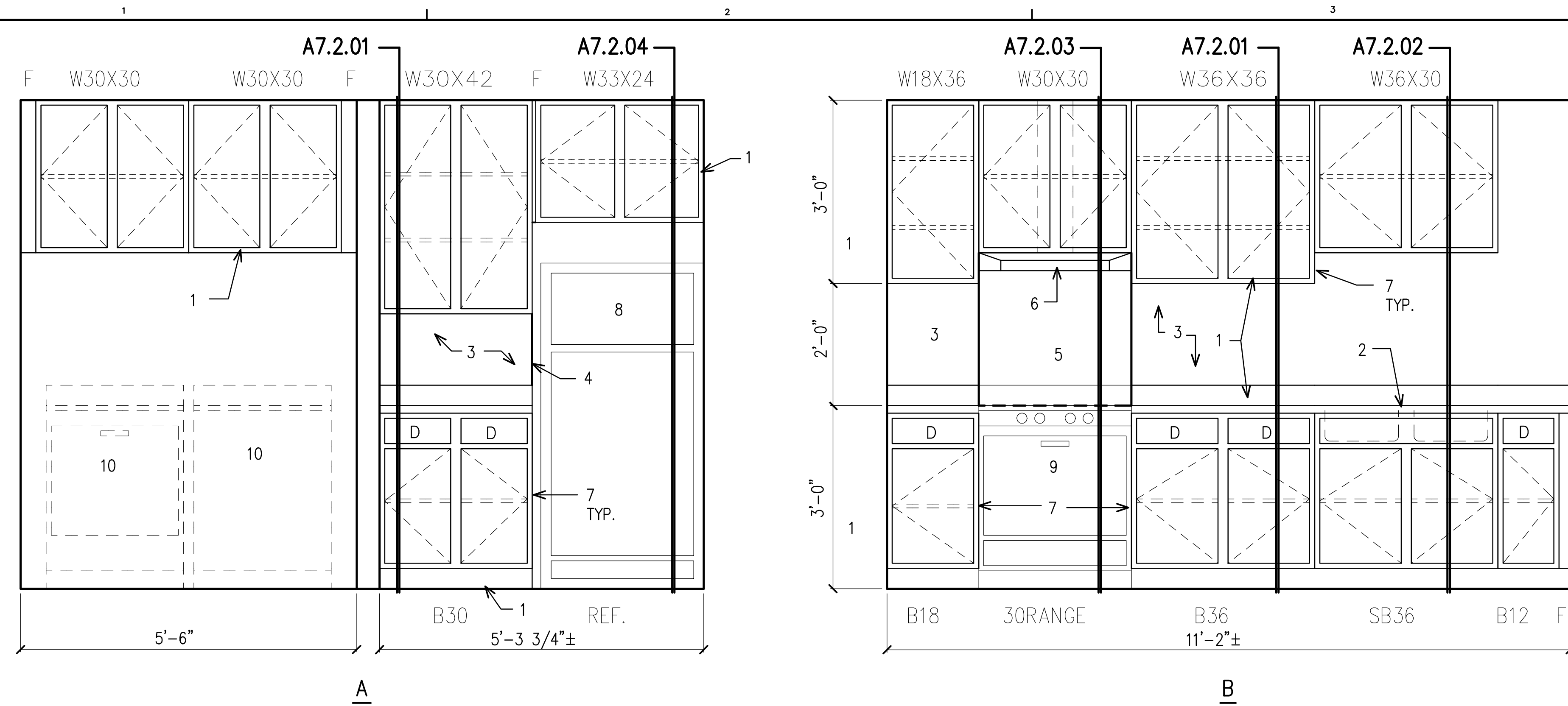
**A15.0.01 CABINET ELEVATIONS, ONE BEDROOM UNIT ; NC 15-3**  
 SCALE: 3/4" = 1'-0" BUILDING TYPE "A"



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**Housing Authority of the City of Goldsboro**  
 RENOVATIONS - FAIRVIEW APARTMENTS  
 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
 GOLDSBORO NORTH CAROLINA

CABINET ELEVATIONS, ONE BEDROOM UNIT ;	
NC 15-3	
6041-B\A15.0.AEC	
COMM. NO. 6041-B	
DRAWN BY WBP	
CHECKED BY AWS	
DATE APRIL 2, 2024	
SHEET NO.	A15.0

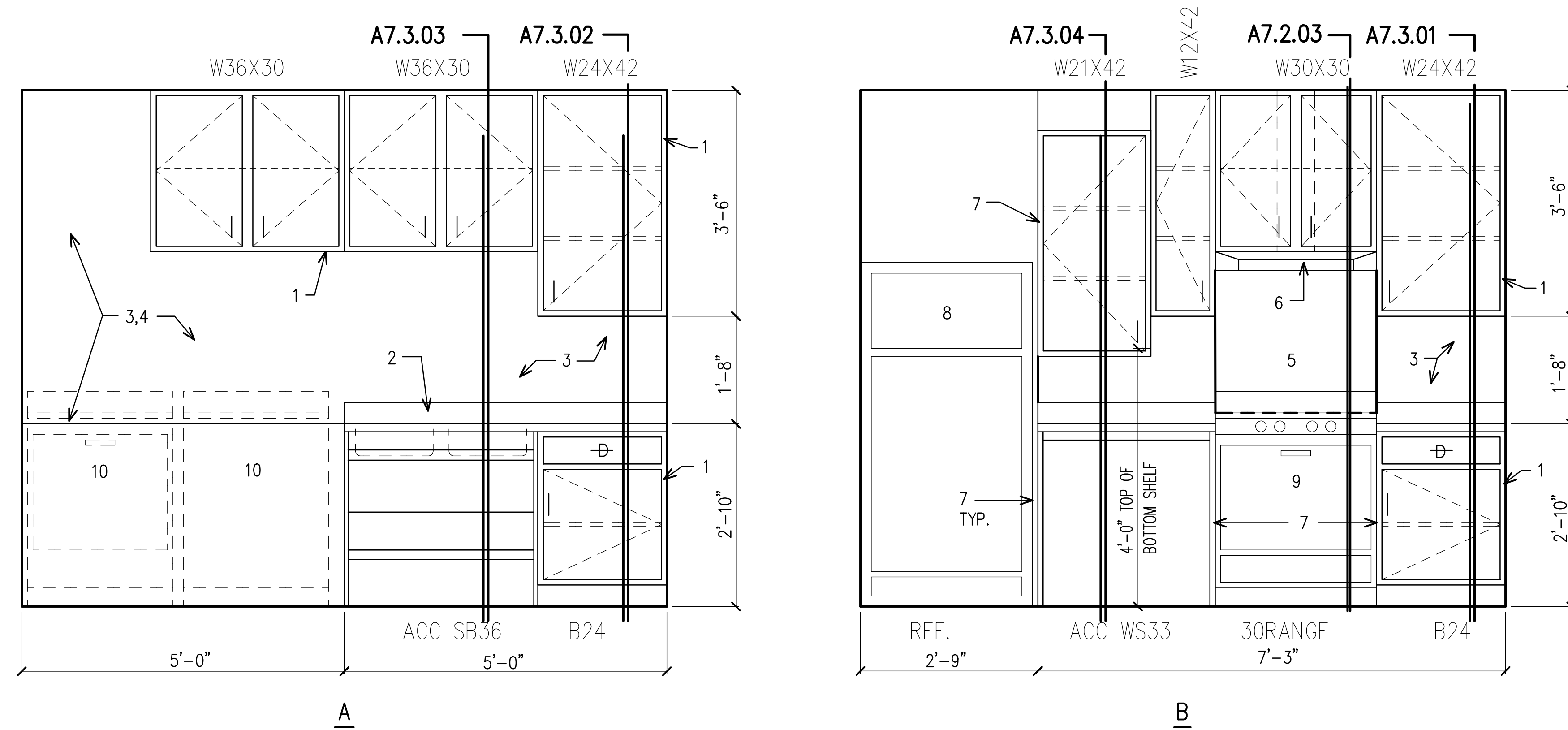


SEE SHEET A7.0 FOR CABINET KEYNOTES

**A15.1.01 CABINET ELEVATIONS, THREE BEDROOM UNIT ; NC 15-3**

SCALE: 3/8" = 1'-0"

BUILDING TYPE "C"



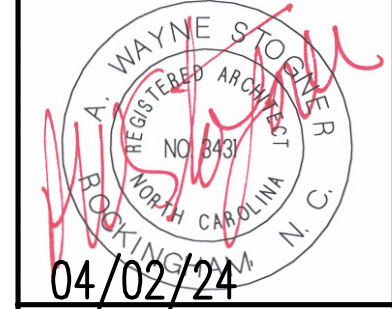
**A15.1.02 CABINET ELEVATIONS, THREE BEDROOM HANDICAP UNIT ; NC 15-3**

SCALE: 3/4" = 1'-0"

(APARTMENT #1736A)

BUILDING TYPE "C"

SCALE: 3/4" = 1'-0"



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**Housing Authority of the City of Goldsboro**  
 RENOVATIONS - FAIRVIEW APARTMENTS  
 NC 15-1 FAIRVIEW CIRCLE & NC 15-3 EDGERTON ST.  
 GOLDSBORO NORTH CAROLINA

CABINET ELEVATIONS,  
 THREE BEDROOM UNIT &  
 THREE BEDROOM  
 HANDICAP UNIT ;  
 NC 15-3

6041-B\A15.1.AEC  
 COMM. NO. 6041-B  
 DRAWN BY WBP  
 CHECKED BY AWS  
 DATE APRIL 2, 2024  
 SHEET NO.

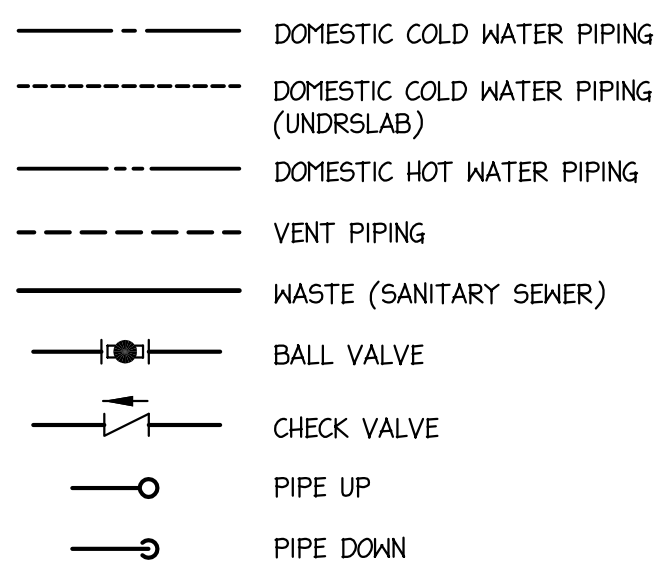
**A15.1**



PLUMBING GENERAL NOTES

- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIAL AND EQUIPMENT IN STRICT ACCORDANCE WITH THE 2018 NORTH CAROLINA PLUMBING CODE AND ALL STATE AND LOCAL CODES, STANDARDS, AND PER MANUFACTURER'S DIRECTIONS.
- PIPING AND EQUIPMENT SUPPORTS SHALL BE DESIGNED AND INSTALLED FOR THE SEISMIC FORCES IN ACCORDANCE WITH THE NC BUILDING CODE.
- PIPING:  
COLD AND HOT WATER SUPPLY  
INSIDE BUILDING: SCHEDULE 40 CPVC WITH SOLVENT GLUED JOINTS.  
UNDERSLAB: SCHEDULE 40 CPVC WITH SOLVENT GLUED JOINTS.  
WASTE, VENT  
INSIDE BUILDING: DHV, SCH. 40 SOLID WALL PVC PIPE WITH SOLVENT GLUED JOINTS.  
UNDERSLAB: DHV, SCH. 40 SOLID WALL PVC PIPE WITH SOLVENT GLUED JOINTS.  
  
INSULATION IS REQUIRED ON ALL ROOF DRAIN BODIES AND PIPING (ABOVE SLAB). 1/2" THICK RIGID MOLDED FIBERGLASS WITH FITTINGS INSERTS, PVC COVERS, AND VAPOR BARRIER JACKET.
- WATER AND WASTE PIPE SHALL BE KEPT A MINIMUM OF 5 FEET APART. WHEN PIPES CROSS OR THEY ARE CLOSER THAN 5 FEET, WATER PIPE SHALL BE 12 INCHES ABOVE CROWN OF SEWER PIPE.
- INVERT ELEVATIONS SHALL BE ESTABLISHED AND VERIFIED BEFORE WASTE PIPING IS INSTALLED SO THAT PROPER SLOPES WILL BE MAINTAINED.
- PIPING SHOULD BE COORDINATED WITH ALL STRUCTURAL FOOTINGS AND FOUNDATIONS. PIPE SHOULD BE OFFSET TO AVOID CONTACT WITH FOOTINGS AND FOUNDATION WALLS. IF PIPING MUST RUN UNDERNEATH A FOOTING OR THROUGH A FOUNDATION WALL, THE PIPE MUST BE INSTALLED WITH A RELIEVING ARCH OR IN A PIPE SLEEVE.
- ALL PLUMBING VENT LOCATIONS TO BE VERIFIED WITH ARCHITECT BEFORE INSTALLATION.
- CEILING AREA HAS LIMITED SPACE. CONTRACTOR MUST COORDINATE WITH OTHER TRADES FOR ALL STRUCTURES, PIPING, CONDUIT, DUCTWORK, LIGHTING, ETC. TO PROPERLY BE INSTALLED.
- DRAWINGS AND RISERS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO SHOW FITTINGS AND OFFSETS REQUIRED FOR ACTUAL INSTALLATION.
- DIELECTRIC CONNECTIONS SHALL BE USED BETWEEN FERROUS AND NON-FERROUS PIPING.
- WATER HEATER SHALL BE FILLED WITH WATER AND PURGED AS SOON AS INSTALLED OR IN NO EVENT LATER THAN GAS/ELECTRIC HOOK-UP. FURNISH ONE YEAR MANUFACTURERS WARRANTY.
- SLIP JOINTS SHALL NOT BE USED FOR DRAIN CONNECTIONS IN CONCEALED LOCATIONS. USE SOLDERED OR SCREWED JOINTS ONLY.
- ALL FIXTURES SHALL BE COMPLETE AND INCLUDE ALL STOPS, SUPPLIES, VALVES, FAUCETS, DRAINS, TRAPS, TAIL PIECES, ESCUTCHEONS, ETC.
- REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHTS OF PLUMBING FIXTURES.
- PROVIDE BALL VALVES IN ALL BRANCH LINES OF THE HOT AND COLD WATER DISTRIBUTION SYSTEM ON 3/4" AND LARGER CW & HW AND AS SHOWN ON PLANS, RISERS, AND SCHEMATIC DETAILS. PROVIDE SHUT OFF VALVES ON THE FIXTURE SUPPLY TO EACH PLUMBING FIXTURE, APPLIANCE, OR MECHANICAL EQUIPMENT.
- PROVIDE DRAIN VALVES IN THE HOT AND COLD WATER SYSTEM AT ALL LOW POINTS TO ALLOW FOR COMPLETE DRAINAGE. PROVIDE SHUT-OFF VALVES AT THE BASE OF ALL STACKS.
- PROVIDE ACCESS DOORS FOR ALL VALVES AND DEVICES REQUIRING ACCESS WHEN LOCATED IN WALLS OR ABOVE INACCESSIBLE CEILING CONSTRUCTION. ACCESS DOORS TO BE RATED WHERE INSTALLED IN RATED ASSEMBLIES.
- ALL HUB DRAINS MUST BE IN ACCESSIBLE AND VENTED LOCATIONS.
- CLEANOUT PLUGS SHALL BE INSTALLED IN ACCORDANCE WITH PLUMBING CODE REQUIREMENTS. PROVIDE CLEANOUTS AT THE BASE OF ALL WASTE STACKS, AT EVERY FOUR 45 DEGREE TURNS, AND AT EVERY 100 FEET. CLEANOUTS SHALL BE PLACED IN READILY ACCESSIBLE LOCATIONS.
- ALL PIPING SHALL BE TESTED IN ACCORDANCE WITH INDUSTRY STANDARDS AND DOMESTIC WATER SHALL BE STERILIZED IN COMPLIANCE WITH CITY STANDARDS.
- ALL PIPING SHALL BE RUN IN AREAS NOT SUBJECT TO FREEZING TEMPERATURES. PIPING IN EXTERIOR WALLS SHALL BE INSULATED AND RUN ON THE CONDITIONED SIDE OF THE WALL. INSULATION, IF ROUTED IN UNCONDITIONED AREAS PIPING MUST BE INSULATED WITH A MINIMUM OF R-6.5. ALL PIPE INSULATION SHALL RUN CONTINUOUSLY THROUGH FLOORS, WALLS, AND PARTITIONS.
- PIPE PENETRATIONS OF RATED WALLS SHALL BE FIRE STOPPED AS NECESSARY TO MAINTAIN THE RATING OF THE WALL.
- VENT PIPES SHALL BE ROUTED THROUGH ROOF PER UNIT STACK TO REDUCE ROOF PENETRATIONS.
- PROVIDE PRESSURE REDUCING VALVE AT ALL BUILDINGS WHERE PRESSURE EXCEEDS 80 PSI.

PLUMBING LEGEND



- AAV AIR ADMITTANCE VALVE
- ABV ABOVE
- AFF ABOVE FINISHED FLOOR
- BV BALANCING VALVE
- CW COLD WATER
- DN DOWN
- E.C. ELECTRICAL SUB-CONTRACTOR
- FCO FLOOR CLEAN OUT
- FD FLOOR DRAIN
- FR FROM
- FS FLOOR SINK
- G.C. GENERAL CONTRACTOR
- HB HOSE BIBB
- HD HUB DRAIN
- HW HOT WATER
- M.C. MECHANICAL SUB-CONTRACTOR
- P.C. PLUMBING SUB-CONTRACTOR
- SD STORM DRAINAGE
- V VENT
- W WASTE

Drawing Sheet List

#	Title
P0.0	PLUMBING NOTES, LEGEND, AND SCHEDULE
P1.0	PLUMBING BUILDING 1 PLANS NC 15-1
P1.1	PLUMBING BUILDING 2 & 3 PLANS NC 15-1
P1.2	PLUMBING BUILDING 4 & 5 PLANS NC 15-1
P1.3	PLUMBING BUILDING 6 & 7 PLANS NC 15-1
P1.4	PLUMBING BUILDING 8 & 9 PLANS NC 15-1
P1.5	PLUMBING BUILDING 14 PLANS NC 15-1
P1.6	PLUMBING BUILDING 15 PLANS NC 15-1
P2.0	PLUMBING UNIT PLANS NC 15-1
P2.1	PLUMBING UNIT PLANS NC 15-1
P3.0	PLUMBING UNIT PLANS NC 15-1
P3.1	PLUMBING UNIT PLANS NC 15-1
P4.0	PLUMBING UNIT PLANS NC 15-1
P4.1	PLUMBING UNIT PLANS NC 15-1
P10.0	PLUMBING BUILDING C & C-A PLANS NC 15-3
P11.0	PLUMBING UNIT PLANS NC 15-3
P12.0	PLUMBING UNIT PLANS NC 15-3
P12.1	PLUMBING UNIT PLANS NC 15-3

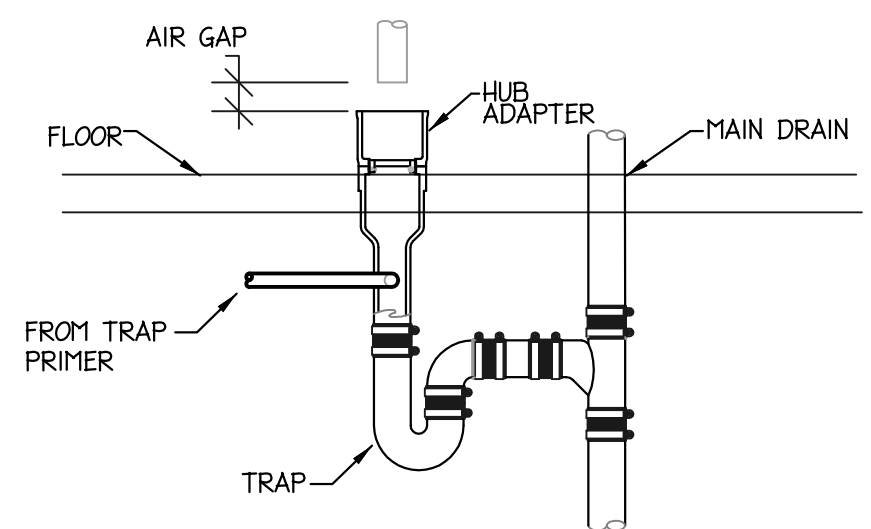
PLUMBING FIXTURE SPECIFICATIONS AND CONNECTION SCHEDULE

MARK	FIXTURE	TYPE	MANUFACTURER	MODEL NO.	MATERIAL	STYLE	FAUCET/VALVE			DRAIN		SUPPLIES AND STOPS	PIPE SIZES			MOUNTING	REMARKS		
							MANUFACT. MODEL NO.	SPOUT	HANDLES	CENTERS	TYPE		SIZE	WASTE	VENT			CW	HW
P-1	WATER CLOSET	FLUSH TANK	AMERICAN STANDARD	215AA.104	VITREOUS CHINA	RIGHT HEIGHT	-	-	-	-	-	McGUIRE 185	3"	2"	1/2"	-	FLOOR	PROVIDE WITH CLOSED FRONT SEAT WITH LID 5257A.65"HT 1.28 GPF, WATERSENSE	
P-1A	WATER CLOSET	FLUSH TANK	AMERICAN STANDARD	215AA.104	VITREOUS CHINA	ADA ELONGATED	-	-	-	-	-	McGUIRE 185	3"	2"	1/2"	-	FLOOR	PROVIDE WITH CLOSED FRONT SEAT WITH LID 5257A.65"HT 1.28 GPF, WATERSENSE	
P-2	LAVATORY	SINGLE COMP'T	SWANSTONE	VTIB1925	SWANSTONE	ADA OVAL	CFG 794CZ2	CENTERSET	SINGLE LEVER	4"	POP-UP	1/2"	2"	1 1/2"	1/2"	1/2"	COUNTER TOP	MOUNT AT ADA HEIGHT	
P-2A	LAVATORY	SINGLE COMP'T	SWANSTONE	VTIB2237	SWANSTONE	ADA COMPLIANT	CFG 794CZ2	CENTERSET	SINGLE LEVER	4"	GRID	1/2"	2"	1 1/2"	1/2"	1/2"	COUNTER TOP	MOUNT AT ADA HEIGHT	
P-3	BATHTUB SHOWER	PREFAB	AMERICAN STANDARD	2390.202/2391.202	PORCELAIN	STANDARD 60" x 30"	CFG 4031CEN/45312	-	SINGLE LEVER	-	INTEGRAL	2"	-	2"	1 1/2"	1/2"	1/2"	FLOOR	PRESSURE BALANCE VALVE, SHOWER HEAD, ARM, FLANGE, DIVERTER, & TUB SPOUT.
P-3A	BATHTUB SHOWER	PREFAB	AMERICAN STANDARD	2390.202/2391.202	PORCELAIN	ADA 60" x 30"	MOEN T8342CBN CFG 45312	-	SINGLE LEVER	-	INTEGRAL	2"	-	2"	1 1/2"	1/2"	1/2"	FLOOR	SEE NOTE #2
P-4	KITCHEN SINK	DOUBLE COMP'T	DAYTON	LR3321	STAINLESS STEEL	7 3/8" DEEP 3-HOLE	CFG 7425SR5	8" SWING	SINGLE LEVER	8"	CRUMB CUP	1/2"	1 1/2"	1 1/2"	1/2"	1/2"	COUNTER TOP		
P-4A	KITCHEN SINK	DOUBLE COMP'T	DAYTON	GE233213	STAINLESS STEEL	5 3/8" DEEP 3-HOLE HANDICAPPED	CFG 7425SR5	8" SWING	SINGLE LEVER	8"	CRUMB CUP	1/2"	1 1/2"	1 1/2"	1/2"	1/2"	COUNTER TOP		
P-5	WASHER WALL BOX	BOTTOM SUPPLY	SPECIALTY PRODUCTS	OB-351	PVC	RECESSED BOX	-	-	-	-	-	-	3"	1 1/2"	1/2"	1/2"	WALL	SHUT-OFF VALVES & HOSE CONNECTION FOR WASTE. PROVIDE F.R. MODEL WHEN IN RATED WALL	
P-6	ROLL-IN SHOWER	PREFAB	MUSTEE	360	FIBERGLASS	BARRIER FREE 60" x 30"	MOEN T8342CBN CFG 45312	-	SINGLE LEVER	-	INTEGRAL	2"	-	2"	1 1/2"	1/2"	1/2"	FLOOR	SEE NOTE #2
WH-1	WATER HEATER	ELECTRIC	RHEEM	PROE40 T2 RH96	GLASS LINED	TALL	-	-	-	-	-	-	-	-	3/4"	3/4"	FLOOR	40 GALLONS, HEATING ELEMENT LISTED FOR 4.5KW @ 240V, 1Ø PROVIDE DRAIN PAN	
FPHB	HOSE BIBB	FREEZE PROOF	WOODFORD	25	CAST BRASS	WALL FAUCET	-	-	-	-	-	-	-	-	1/2"	-	WALL		
DGCO	DBL GRADE CLEAN-OUT	ROUND TOP	J.R. SMITH	4240	CAST IRON	CAST IRON TOP	-	-	-	-	-	-	-	-	-	-	GRADE	PROVIDE WITH 24"x24"x8" THK CONCRETE PAD AT GRADE.	

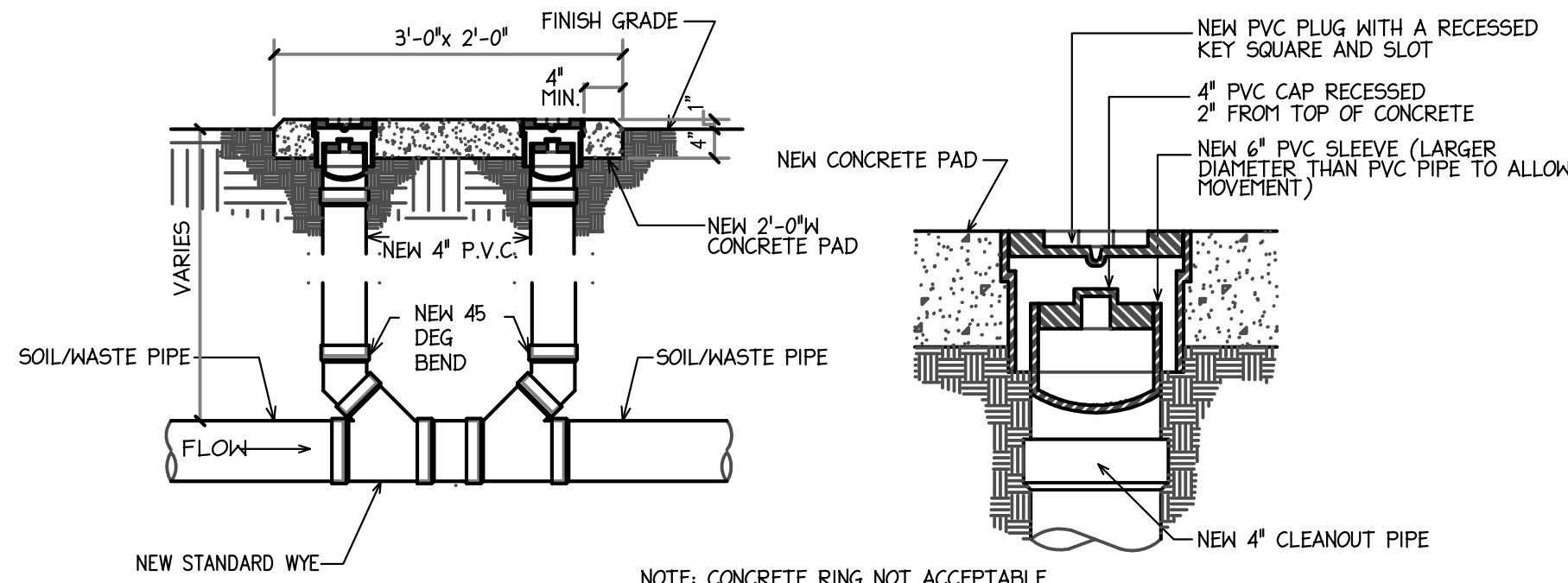
NOTES:

- CATALOG NUMBERS AND MANUFACTURERS ARE TO INDICATE TYPE AND QUALITY OF FIXTURE DESIRED. SUBMIT CUTSHEETS OF THESE AND ALTERNATE MANUFACTURERS FOR ARCHITECT AND OWNER APPROVAL PRIOR TO PURCHASE OF ANY FIXTURES. INFORMATION ON ALTERNATE FIXTURES PROPOSED BY THE CONTRACTOR SHALL INCLUDE THE ADD/DEDUCT ASSOCIATED WITH ACCEPTANCE OF THAT FIXTURE (OR THE ALTERNATE PACKAGE AS A WHOLE).
- SEAT, GRAB BAR, PRESS. BAL. VALVE, DIVERTER, HAND SPRAY, HOSE, SLIDE BAR, & DRAIN. CONFIRM ORIENTATION OF TUBS AND SHOWERS PRIOR TO INSTALLATION. PROVIDE WITH SWANSTONE SURROUND SK-366296.

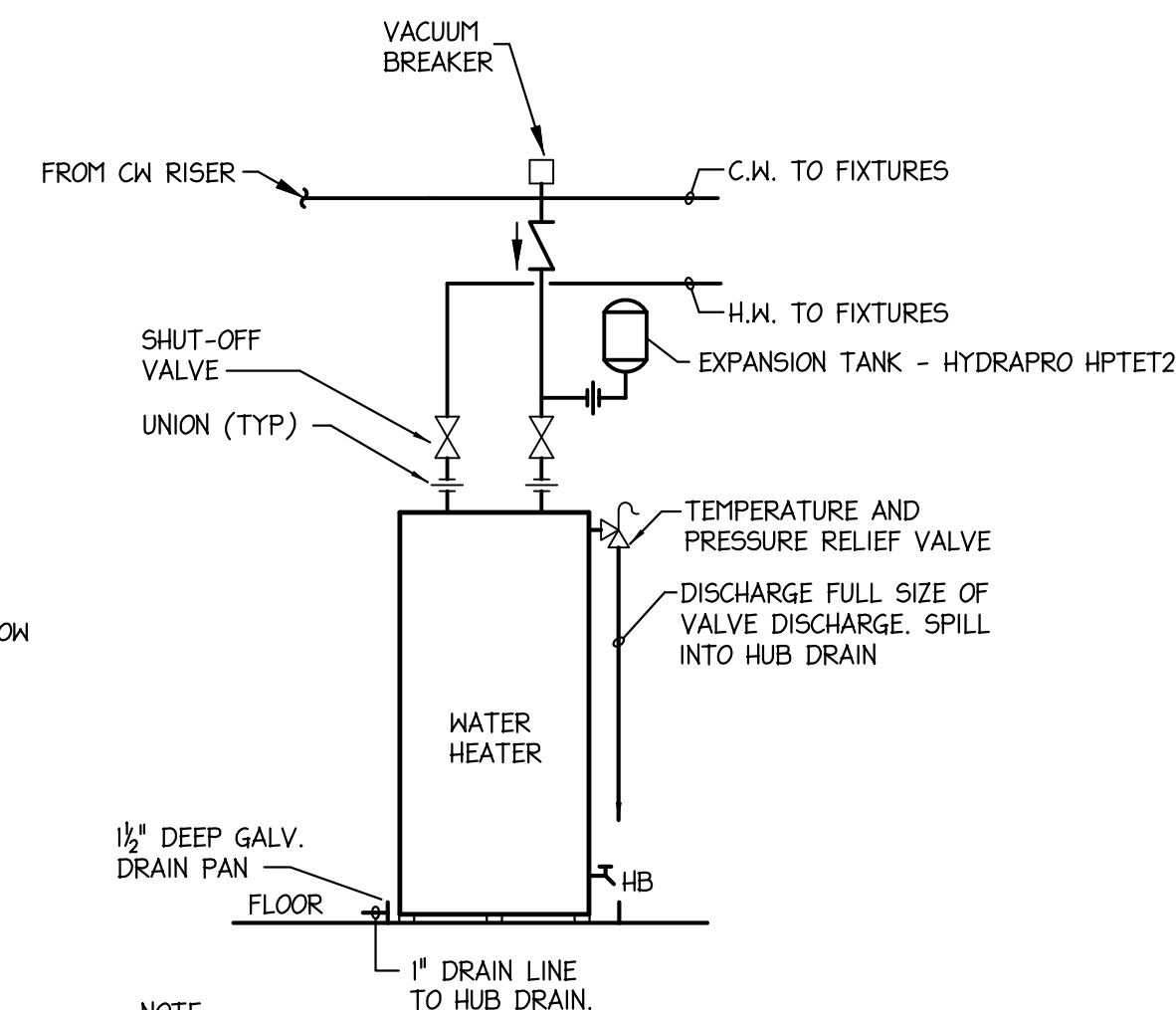
NOTE:  
AIR BREAK IS A CODE COMPLIANT ALTERNATIVE TO AN AIR GAP



3 HUB DRAIN DETAIL NO SCALE



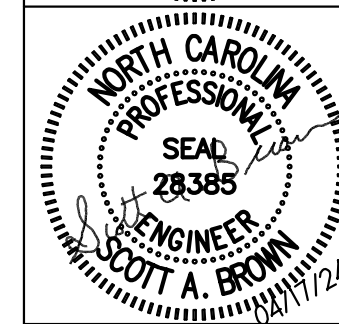
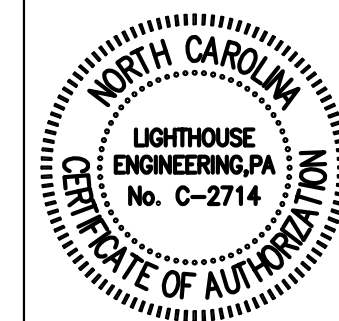
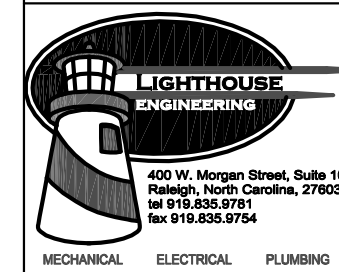
2 EXTERIOR DOUBLE CLEANOUT DETAIL NO SCALE



- NOTE:
- INSTALL WATER HEATER PER MANUFACTURER REQUIREMENTS
  - PROVIDE HEAT TRAP ON CW AND HW LINES PER ENERGY CODE
  - ELEVATE DRAIN PAN AS NECESSARY TO ALLOW PROPER FLOW TO HUB DRAIN

1 WATER HEATER DETAIL NO SCALE

REVISIONS



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 615 East Broad Avenue, Rockingham, North Carolina, 28379  
 Phone 910-895-1111 Fax 910-895-6874

**Housing Authority of the City of Goldsboro**  
 RENOVATIONS - FAIRVIEW APARTMENTS  
 NC 15-1 FAIRVIEW CIRCLE  
 GOLDSBORO, NORTH CAROLINA

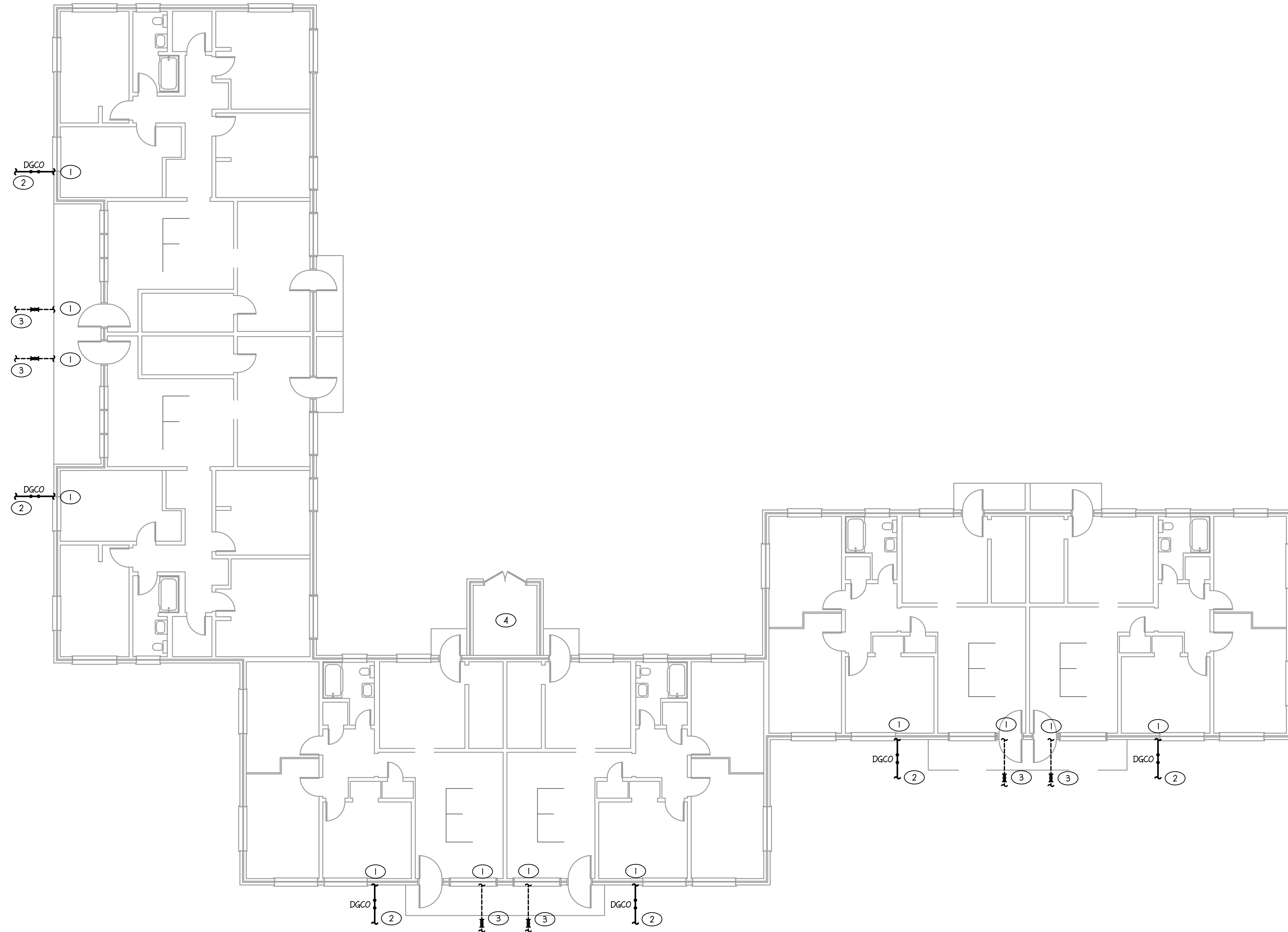
PLUMBING NOTES, LEGEND, AND SCHEDULE

COMM. NO.: 6041-B  
 DRAWN BY: AME  
 CHECKED BY: SAB  
 DATE: APR. 2, 2024  
 SHEET NO.

P0.0

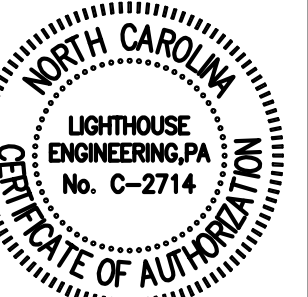
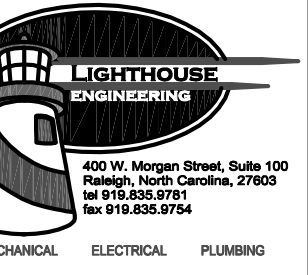
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- ① REFER TO PLUMBING UNIT PLANS FOR CONTINUATION.
- ② 4" W TO EXISTING WASTE LINE AT 5' FROM BUILDING. FIELD VERIFY LOCATION OF EXISTING WASTE LINE PRIOR TO CONNECTION.
- ③ 3/4" CN FR EXISTING WATER LINE AT 5' FROM BUILDING. FIELD VERIFY LOCATION OF EXISTING WATER LINE PRIOR TO CONNECTION. PROVIDE WATER SUPPLY SHUT-OFF IN ACCESSIBLE BOX.
- ④ COORDINATE WITH OWNERSHIP/GC FOR DEMOLITION OF EXISTING WATER MANIFOLD.



**1 BUILDING 1 - NC 15-1**  
1/8"=1'-0" FAIRVIEW CIRCLE

REVISIONS



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NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

PLUMBING  
BUILDING 1 PLANS  
NC 15-1

COMM. NO.: 6041-B

DRAWN BY: AME

CHECKED BY: SAB

DATE: APR. 2, 2024

SHEET NO.

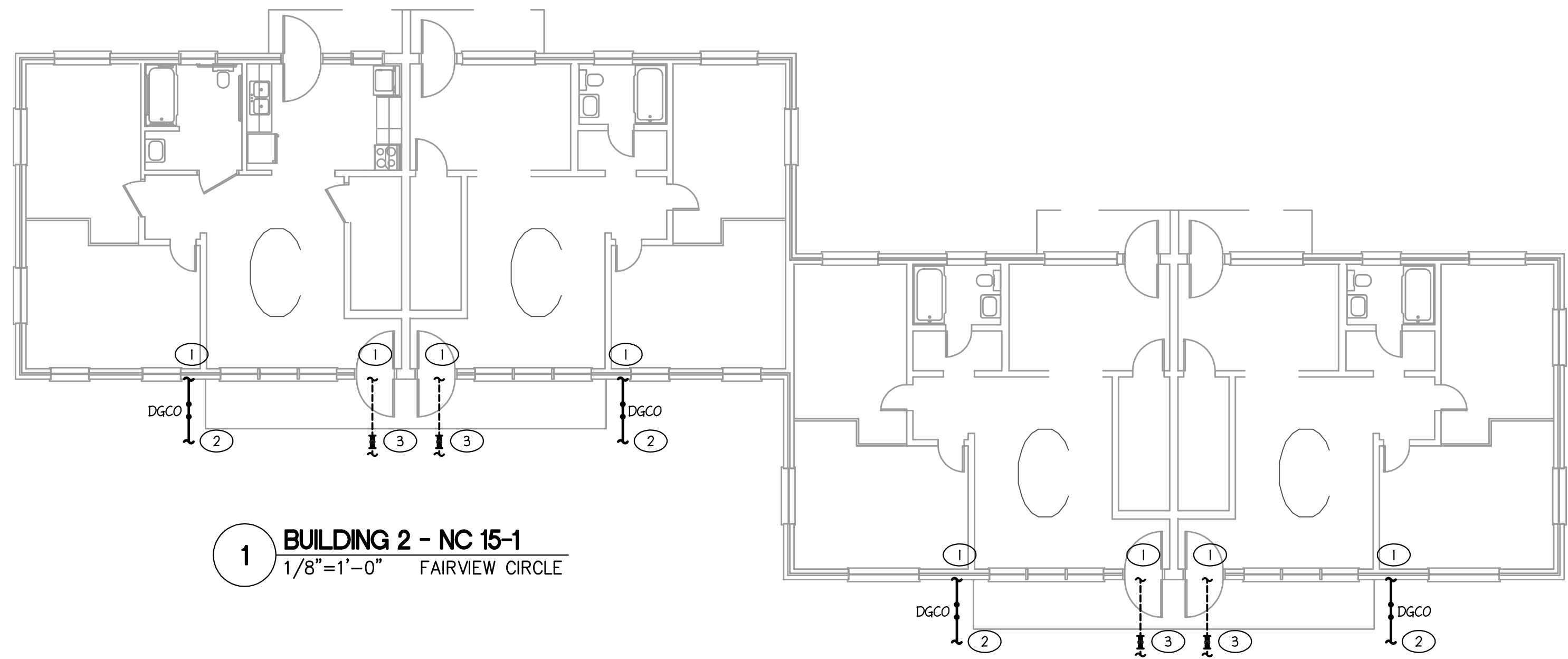
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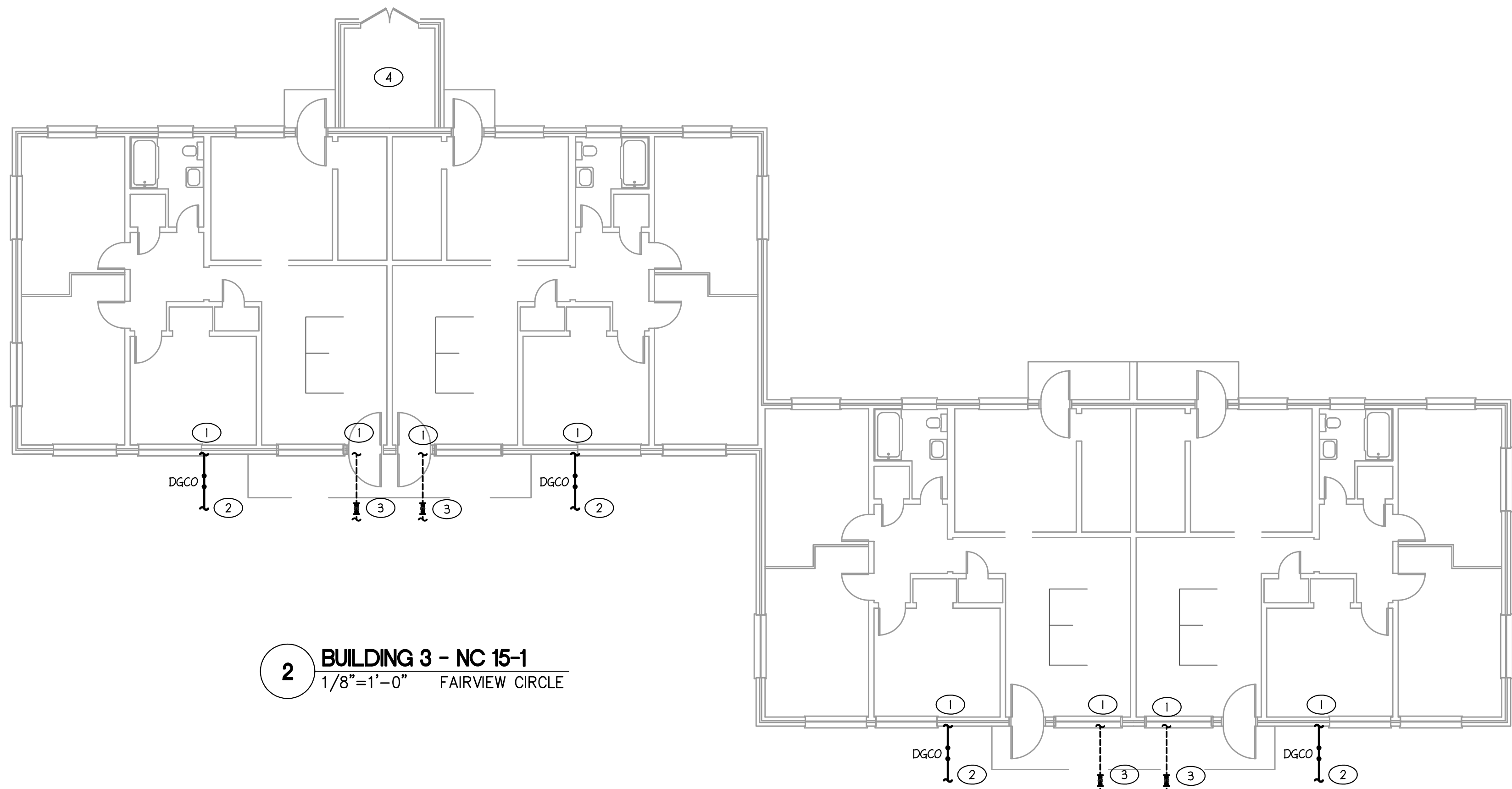


**TAGGED NOTES - THIS SHEET**

- ① REFER TO PLUMBING UNIT PLANS FOR CONTINUATION.
- ② 4" W TO EXISTING WASTE LINE AT 5' FROM BUILDING. FIELD VERIFY LOCATION OF EXISTING WASTE LINE PRIOR TO CONNECTION.
- ③ 3/4" CW FOR EXISTING WATER LINE AT 5' FROM BUILDING. FIELD VERIFY LOCATION OF EXISTING WATER LINE PRIOR TO CONNECTION. PROVIDE WATER SUPPLY SHUT-OFF IN ACCESSIBLE BOX.
- ④ COORDINATE WITH OWNERSHIP/GC FOR DEMOLITION OF EXISTING WATER MANIFOLD.

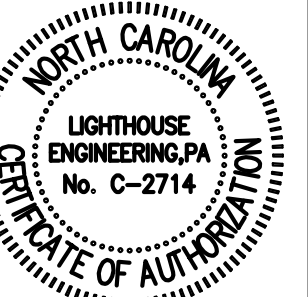


**1 BUILDING 2 - NC 15-1**  
1/8"=1'-0" FAIRVIEW CIRCLE



**2 BUILDING 3 - NC 15-1**  
1/8"=1'-0" FAIRVIEW CIRCLE

REVISIONS



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Phone 910-895-6874 Fax 910-895-1111

Housing Authority of the  
City of Goldsboro  
RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

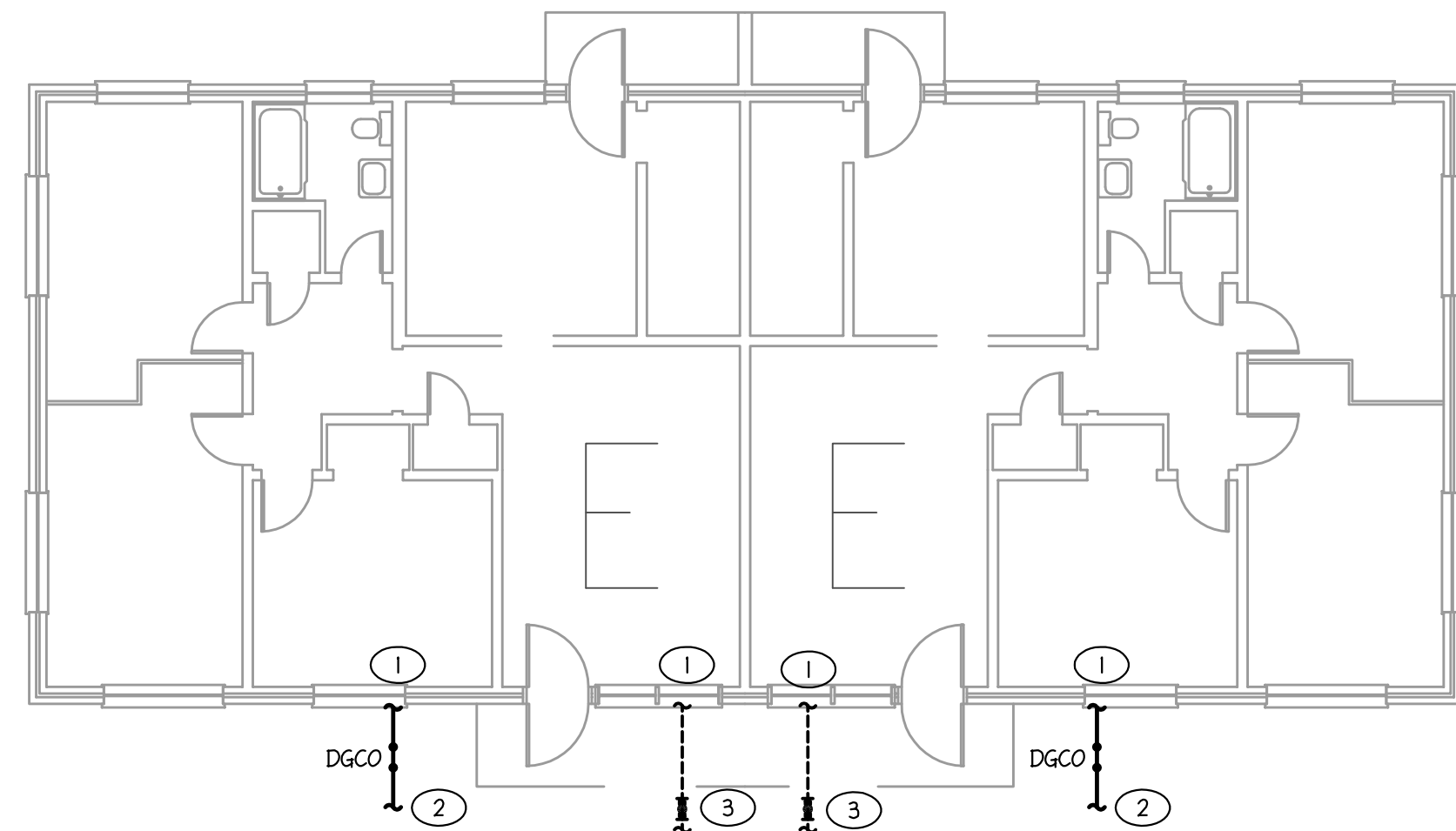
PLUMBING  
BUILDING 2 & 3 PLANS  
NC 15-1

COMM. NO.: 6041-B  
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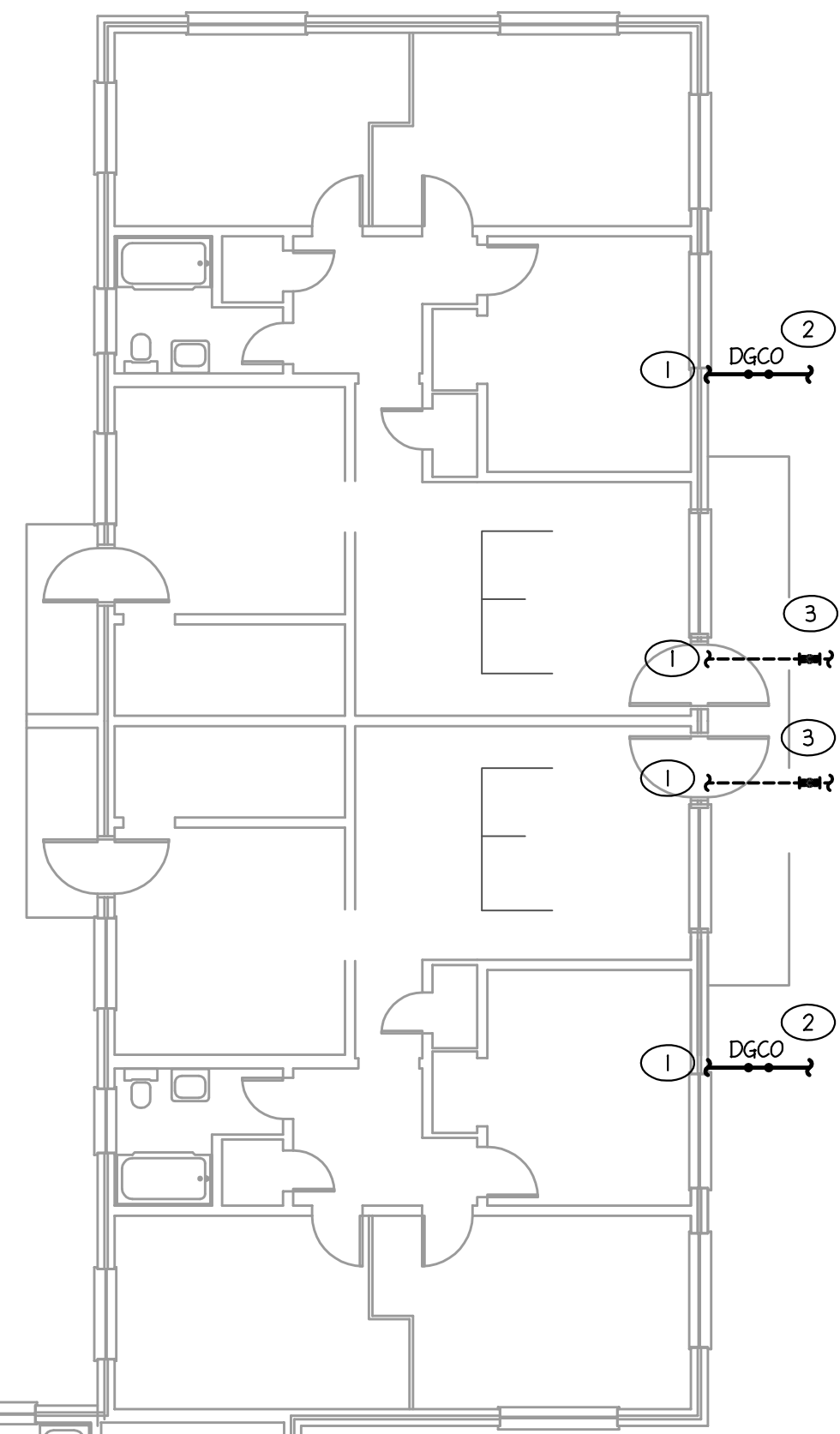
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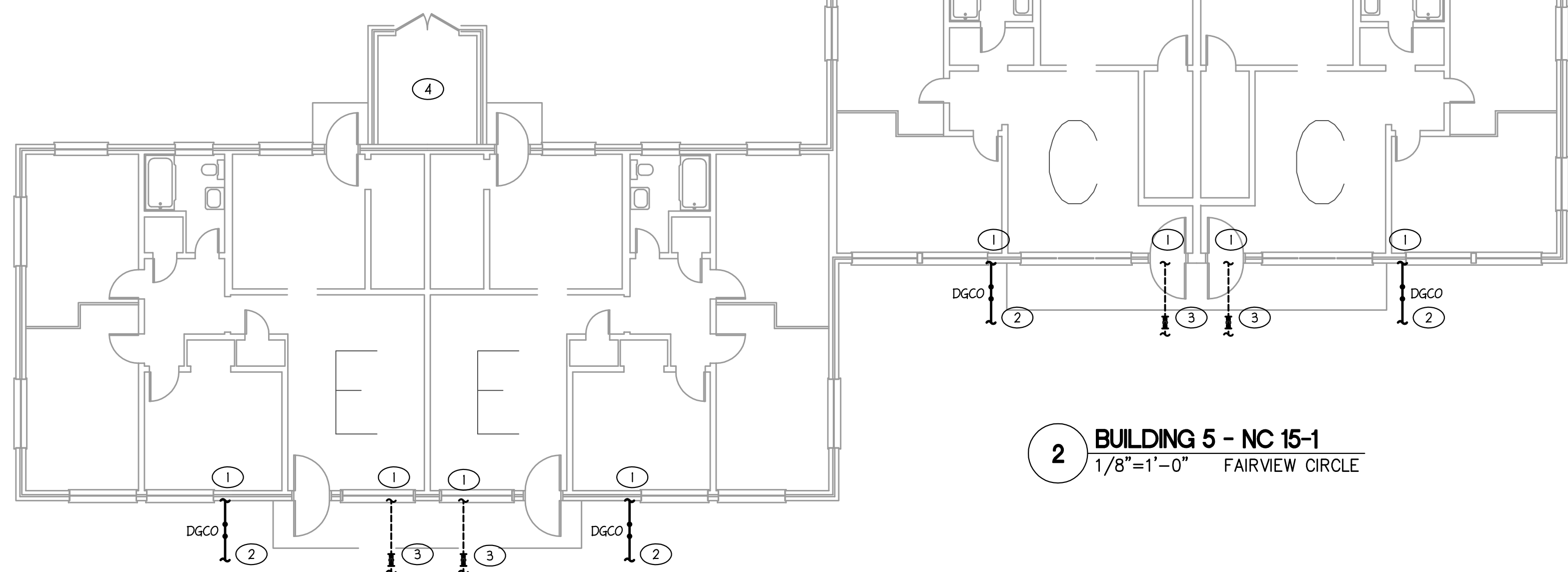
- TAGGED NOTES - THIS SHEET**
- ① REFER TO PLUMBING UNIT PLANS FOR CONTINUATION.
  - ② 4" W TO EXISTING WASTE LINE AT 5' FROM BUILDING. FIELD VERIFY LOCATION OF EXISTING WASTE LINE PRIOR TO CONNECTION.
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  - ④ COORDINATE WITH OWNERSHIP/GC FOR DEMOLITION OF EXISTING WATER MANIFOLD.



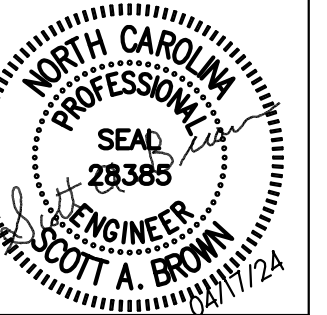
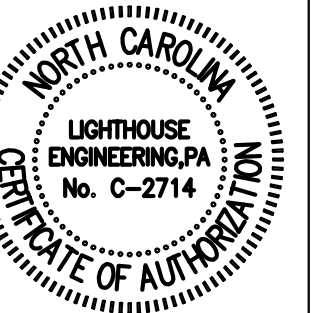
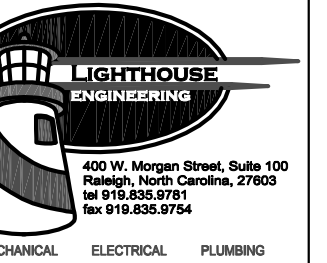
**1 BUILDING 4 - NC 15-1**  
1/8"=1'-0" FAIRVIEW CIRCLE



**2 BUILDING 5 - NC 15-1**  
1/8"=1'-0" FAIRVIEW CIRCLE



REVISIONS



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NC 15-1, FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

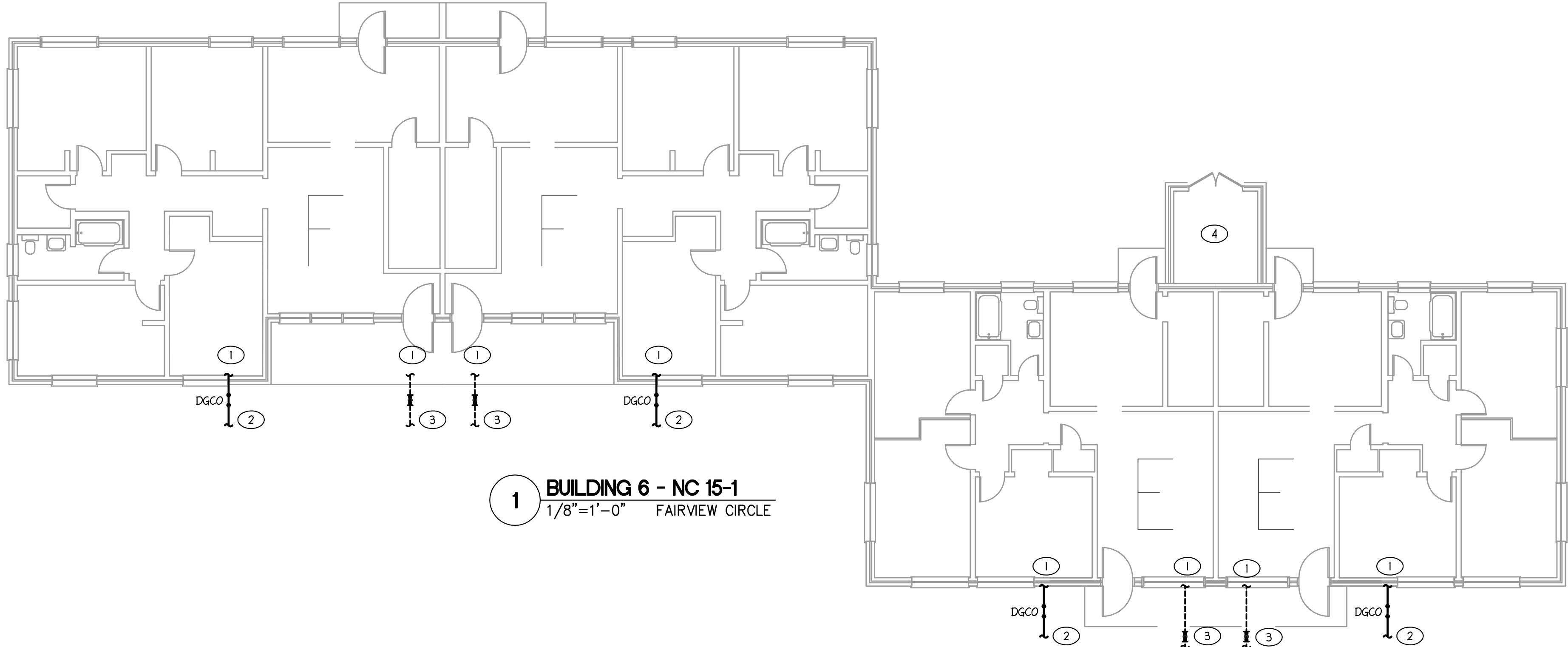
PLUMBING  
BUILDING 4 & 5 PLANS  
NC 15-1

COMM. NO.: 6041-B  
DRAWN BY: AME  
CHECKED BY: SAB  
DATE: APR. 2, 2024  
SHEET NO.

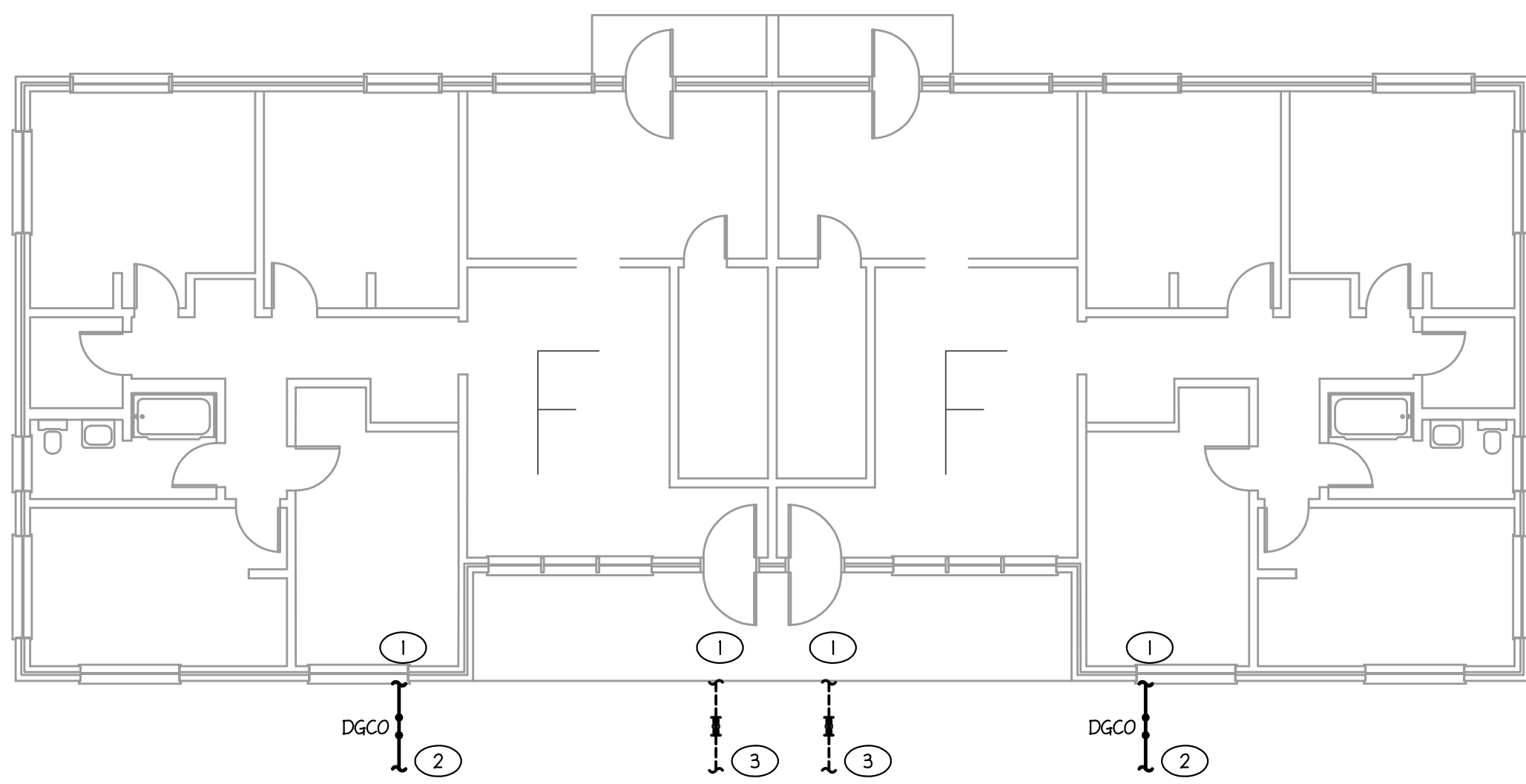
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- TAGGED NOTES - THIS SHEET**
- ① REFER TO PLUMBING UNIT PLANS FOR CONTINUATION.
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  - ④ COORDINATE WITH OWNERSHIP/GC FOR DEMOLITION OF EXISTING WATER MANIFOLD.



**1 BUILDING 6 - NC 15-1**  
1/8"=1'-0" FAIRVIEW CIRCLE



**2 BUILDING 7 - NC 15-1**  
1/8"=1'-0" FAIRVIEW CIRCLE

REVISIONS

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Wilmington, North Carolina, 27603  
Tel: 919.833.9793  
Fax: 919.833.9744

MECHANICAL ELECTRICAL PLUMBING

**NORTH CAROLINA**  
Lighthouse  
ENGINEERING, PA  
No. C-2714

**NORTH CAROLINA**  
PROFESSIONAL  
SEAL  
28385  
ENGINEER  
SCOTT A. BROWN  
04/17/24

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615 East Broad Avenue, Rockingham, North Carolina, 28379  
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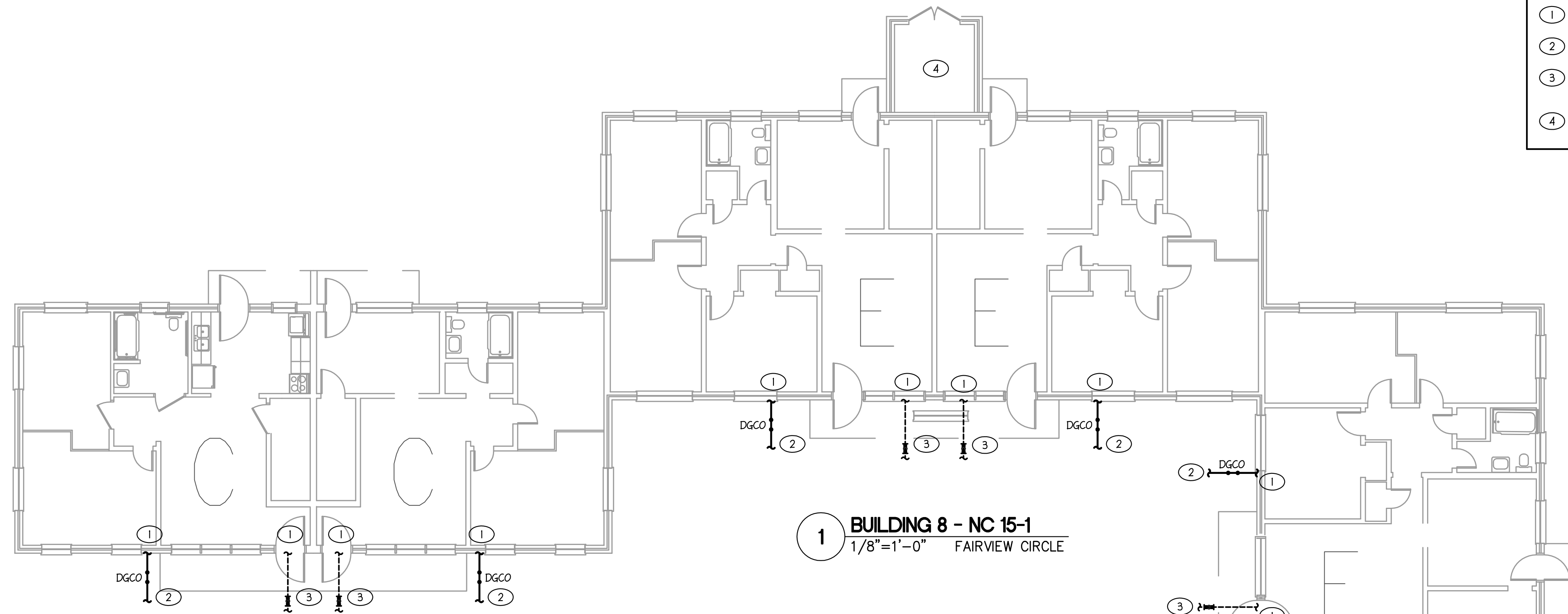
Housing Authority of the  
**City of Goldsboro**  
RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

PLUMBING  
BUILDING 6 & 7 PLANS  
NC 15-1

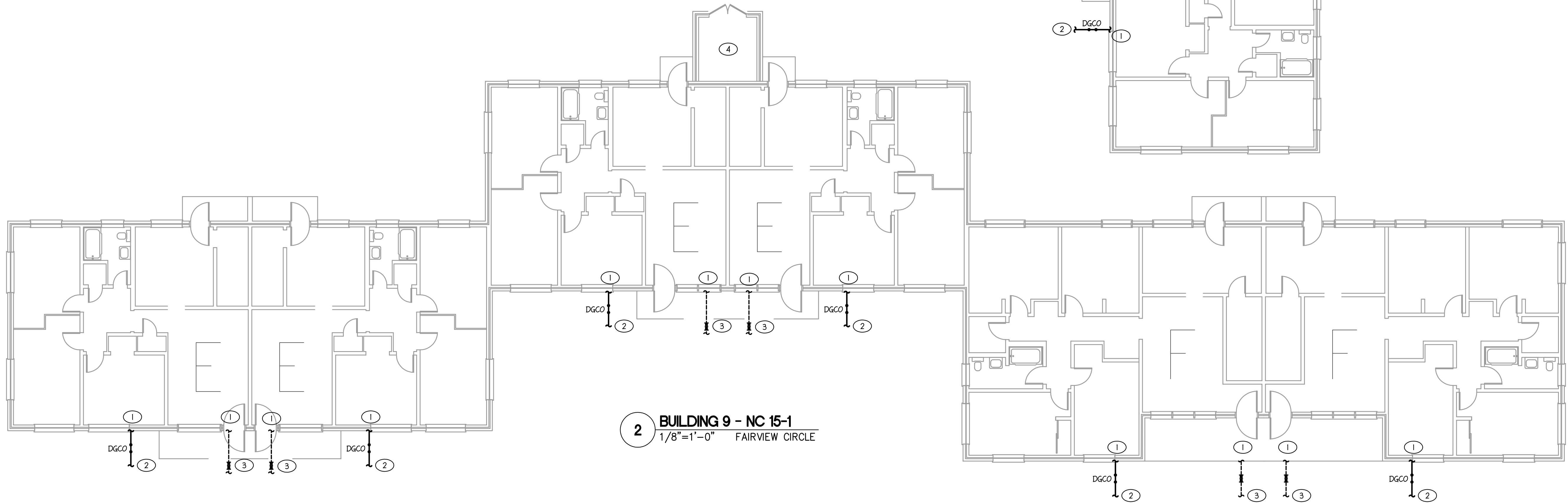
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DATE: APR. 2, 2024  
SHEET NO.

P13

- TAGGED NOTES - THIS SHEET**
- ① REFER TO PLUMBING UNIT PLANS FOR CONTINUATION.
  - ② 4" W TO EXISTING WASTE LINE AT 5' FROM BUILDING. FIELD VERIFY LOCATION OF EXISTING WASTE LINE PRIOR TO CONNECTION.
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  - ④ COORDINATE WITH OWNERSHIP/GC FOR DEMOLITION OF EXISTING WATER MANIFOLD.



**1 BUILDING 8 - NC 15-1**  
1/8"=1'-0" FAIRVIEW CIRCLE



**2 BUILDING 9 - NC 15-1**  
1/8"=1'-0" FAIRVIEW CIRCLE

**REVISIONS**

SCOTT A. BROWN  
Professional Engineer  
No. C-2714  
State of North Carolina

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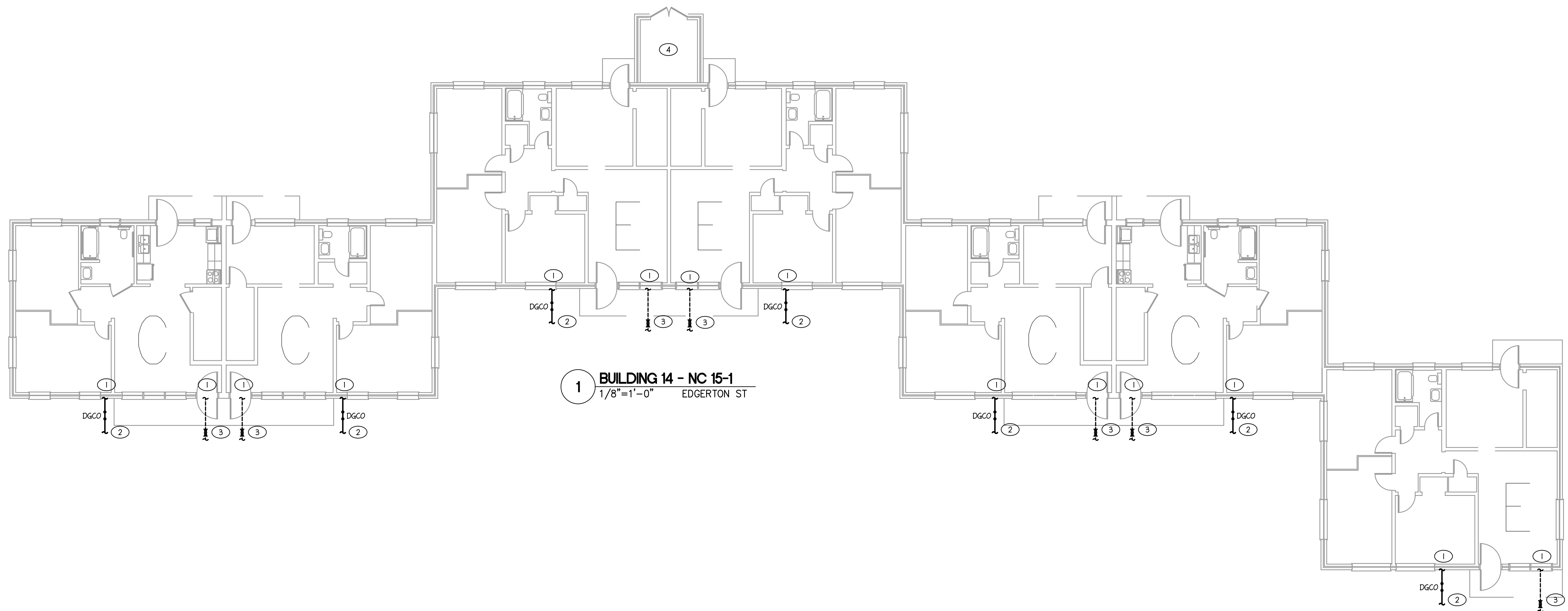
**Housing Authority of the City of Goldsboro**  
RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

PLUMBING  
BUILDING 8 & 9 PLANS  
NC 15-1

COMM. NO.: 6041-B  
DRAWN BY: AME  
CHECKED BY: SAB  
DATE: APR. 2, 2024  
SHEET NO. P14

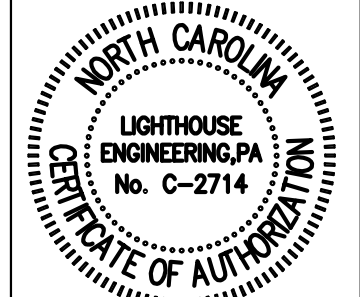
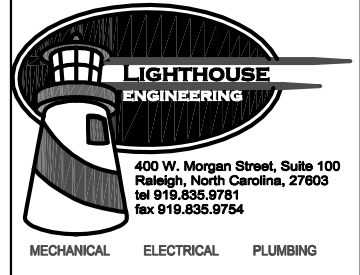


- TAGGED NOTES - THIS SHEET**
- ① REFER TO PLUMBING UNIT PLANS FOR CONTINUATION.
  - ② 4" W TO EXISTING WASTE LINE AT 5' FROM BUILDING. FIELD VERIFY LOCATION OF EXISTING WASTE LINE PRIOR TO CONNECTION.
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  - ④ COORDINATE WITH OWNERSHIP/GC FOR DEMOLITION OF EXISTING WATER MANIFOLD.



**1** BUILDING 14 - NC 15-1  
1/8"=1'-0" EDGERTON ST

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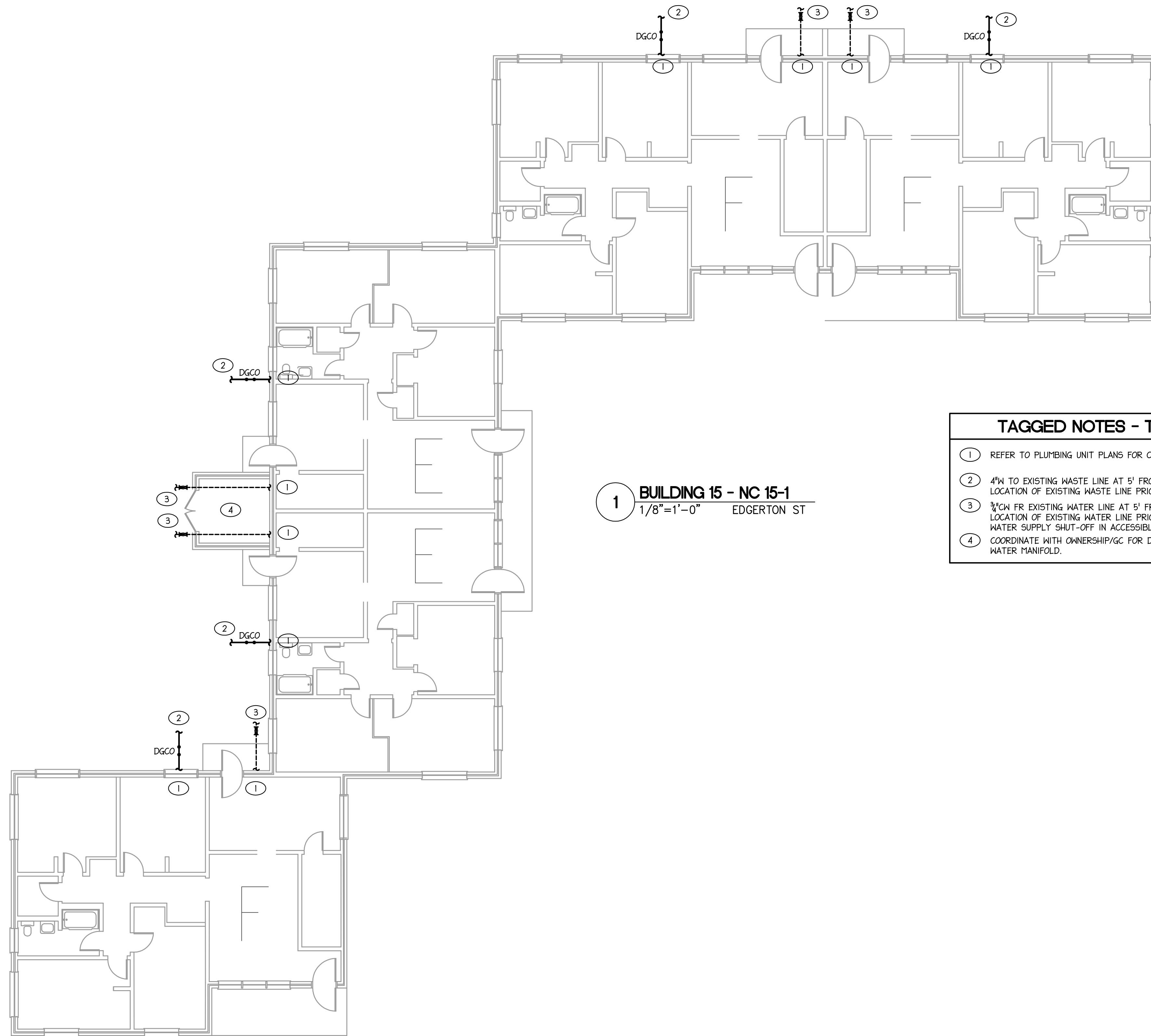
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RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1, FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

PLUMBING  
BUILDING 14 PLANS  
NC 15-1

COMM. NO.: 6041-B  
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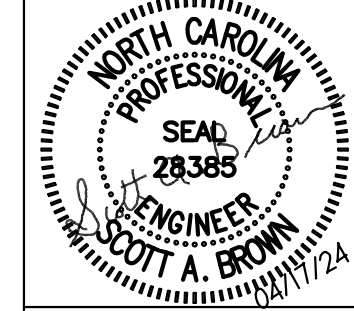
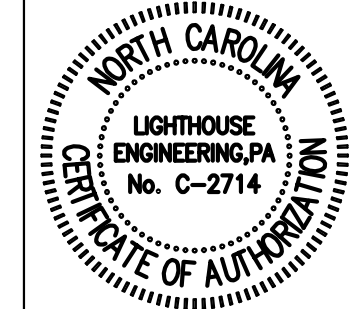
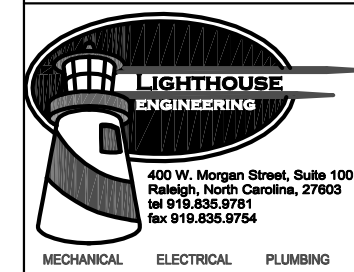
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- TAGGED NOTES - THIS SHEET**
- ① REFER TO PLUMBING UNIT PLANS FOR CONTINUATION.
  - ② 4" W TO EXISTING WASTE LINE AT 5' FROM BUILDING. FIELD VERIFY LOCATION OF EXISTING WASTE LINE PRIOR TO CONNECTION.
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 NC 15-1 FAIRVIEW CIRCLE  
 GOLDSBORO, NORTH CAROLINA

PLUMBING  
 BUILDING 15 PLANS  
 NC 15-1

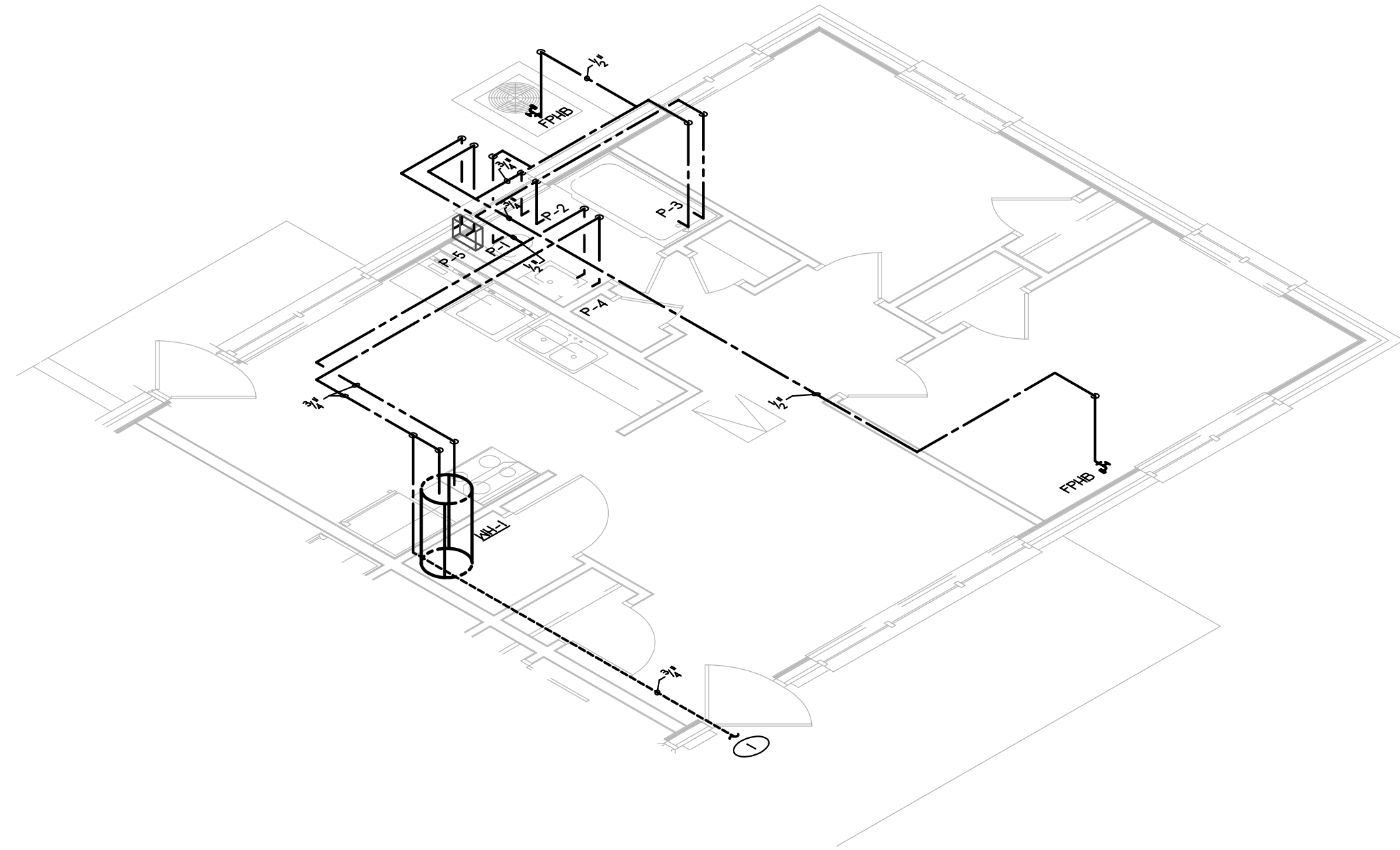
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 DATE: APR. 2, 2024  
 SHEET NO.

P16

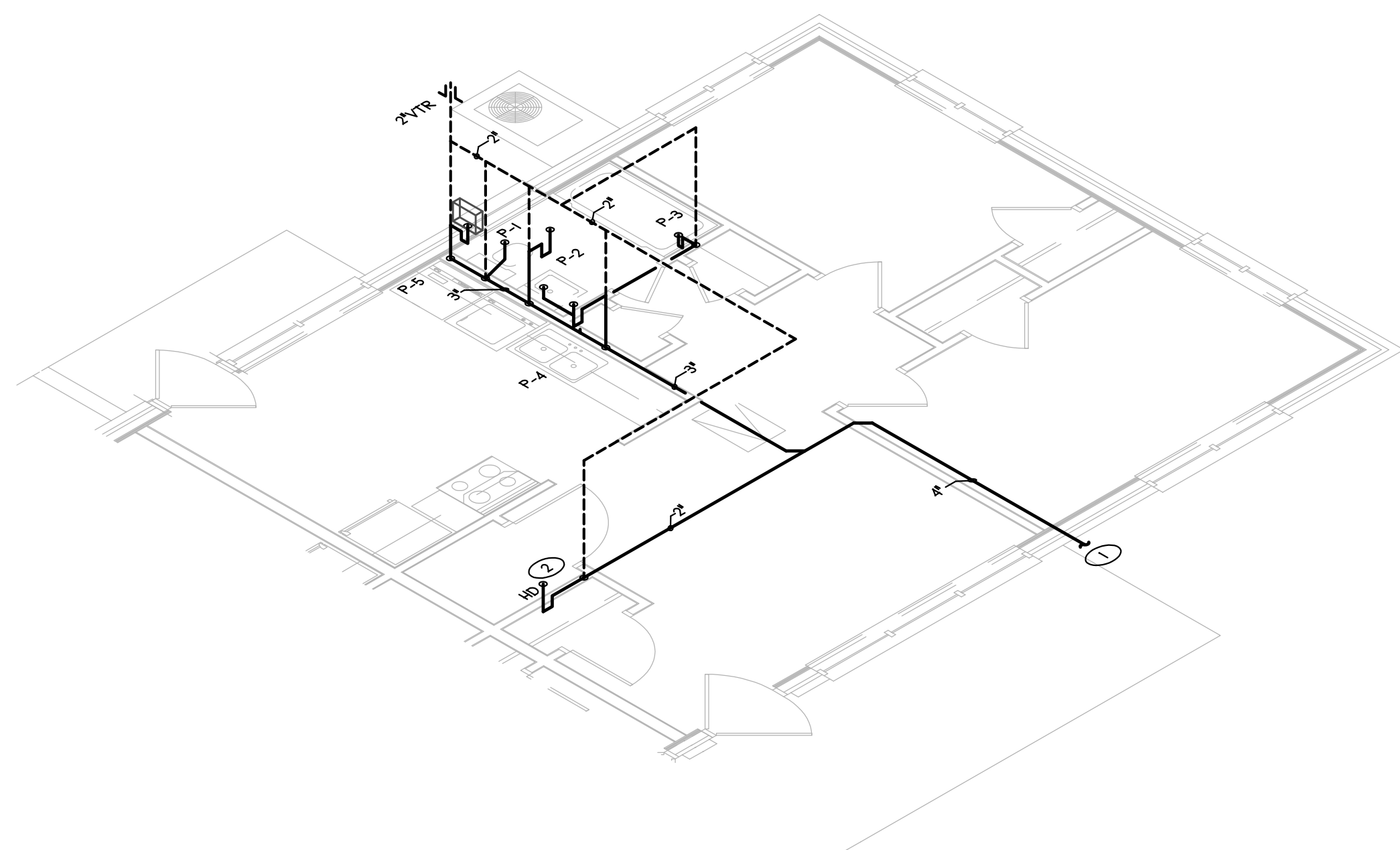


**TAGGED NOTES - THIS SHEET**

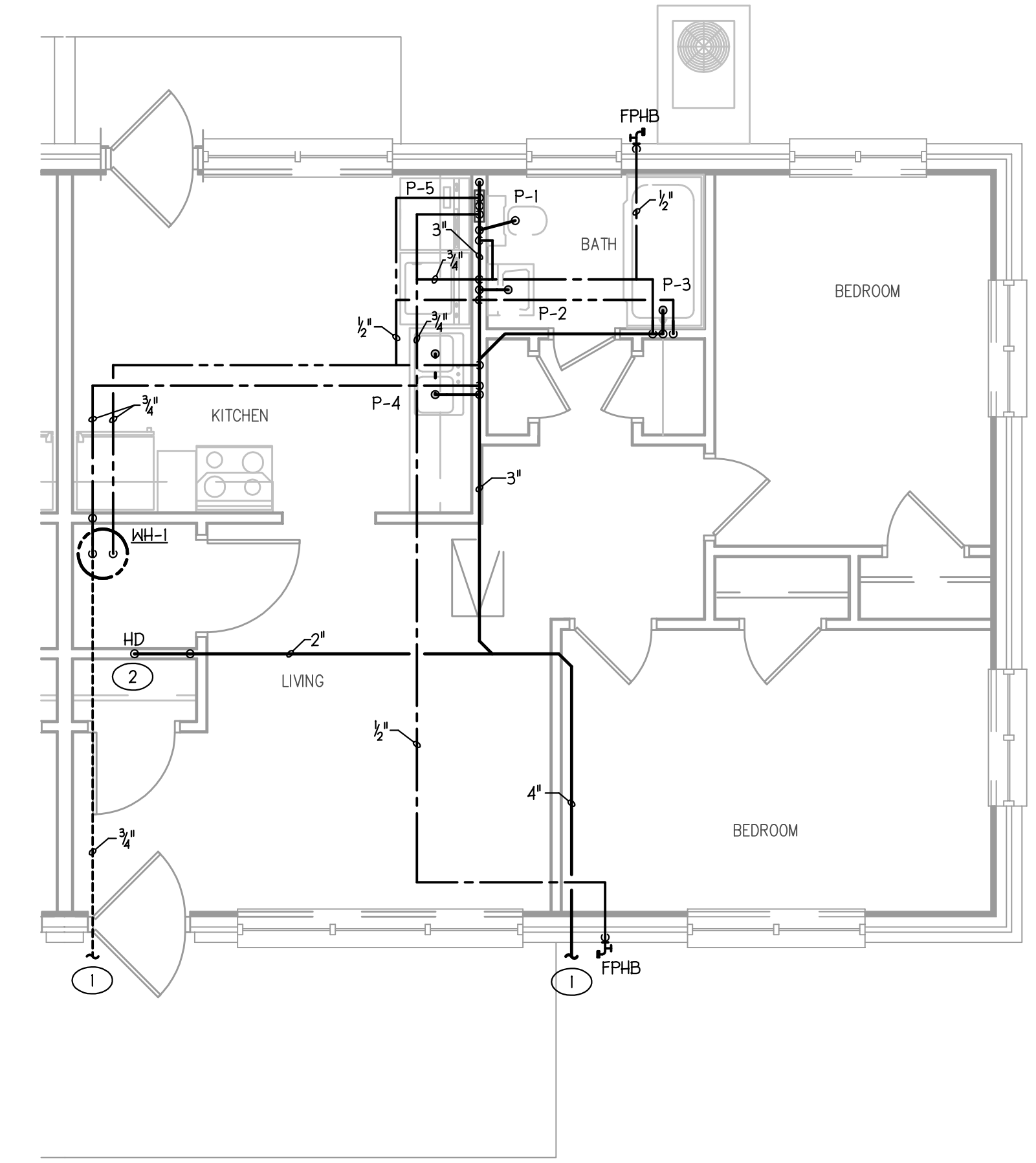
- ① REFER TO PLUMBING BUILDING PLANS FOR CONTINUATION.
- ② PROVIDE HD IN WALL WITH 12"x12" ACCESS PANEL. COORDINATE HUB DRAIN VENT LOCATION WITH MC TO ENSURE SPACE IS MAINTAINED FOR DUCTWORK TO FACILITATE RETURN AIR.



**3 TWO BEDROOM UNIT - NC 15-1 WATER RISER**  
NO SCALE BUILDING TYPE 'C'

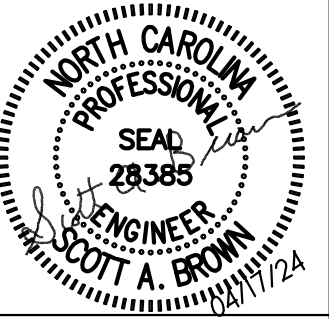
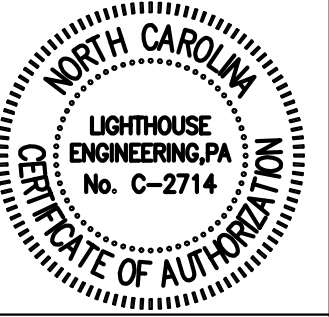


**2 TWO BEDROOM UNIT - NC 15-1 WASTE RISER**  
NO SCALE BUILDING TYPE 'C'



**1 TWO BEDROOM UNIT - NC 15-1**  
1/4"=1'-0" BUILDING TYPE 'C'

REVISIONS



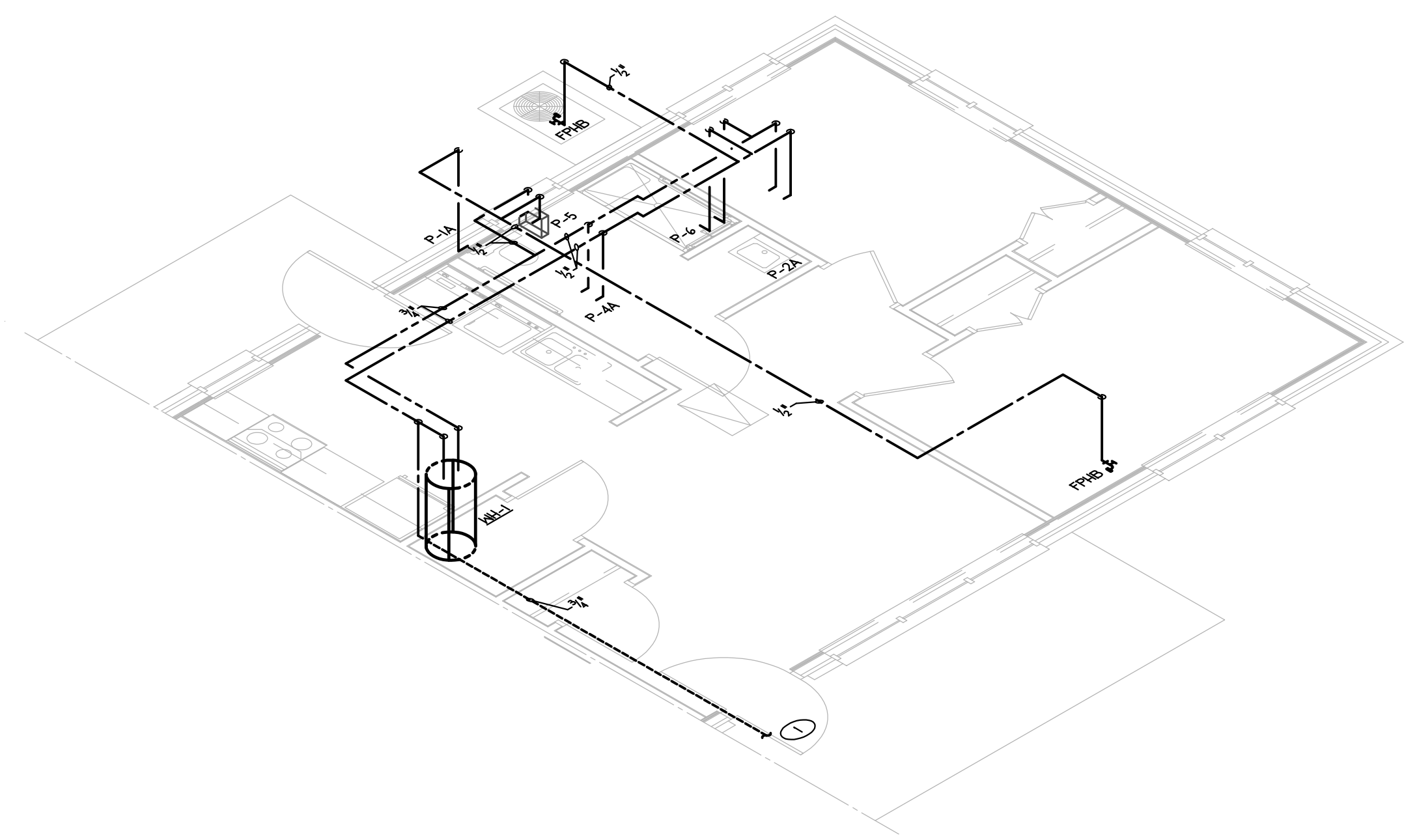
**Stogner Architecture, PA**  
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615 East Broad Avenue, Rockingham, North Carolina, 28379  
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RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1, FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

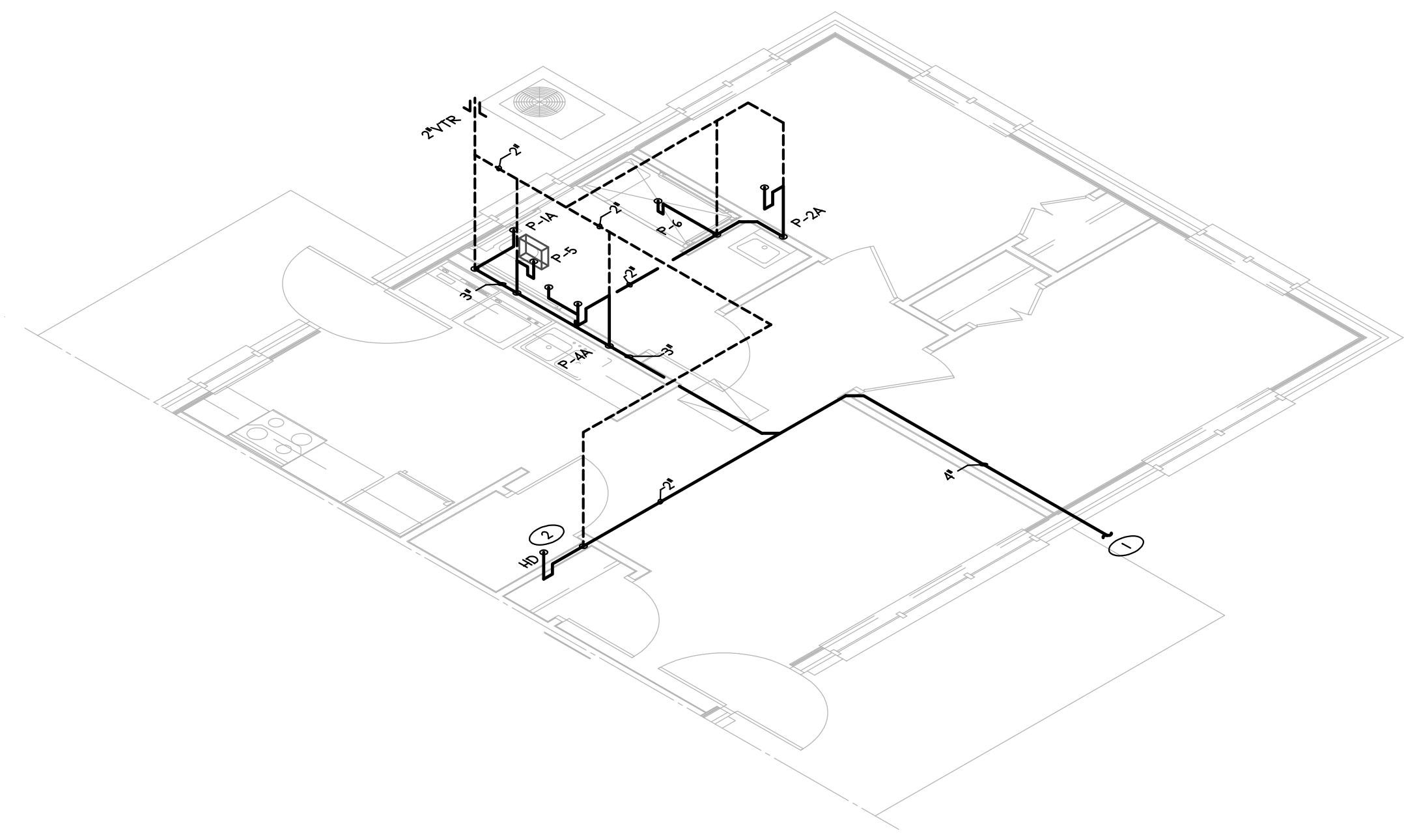
PLUMBING  
UNIT PLANS  
NC 15-1

COMM. NO.: 6041-B  
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DATE: APR. 2, 2024  
SHEET NO.  
**P20**

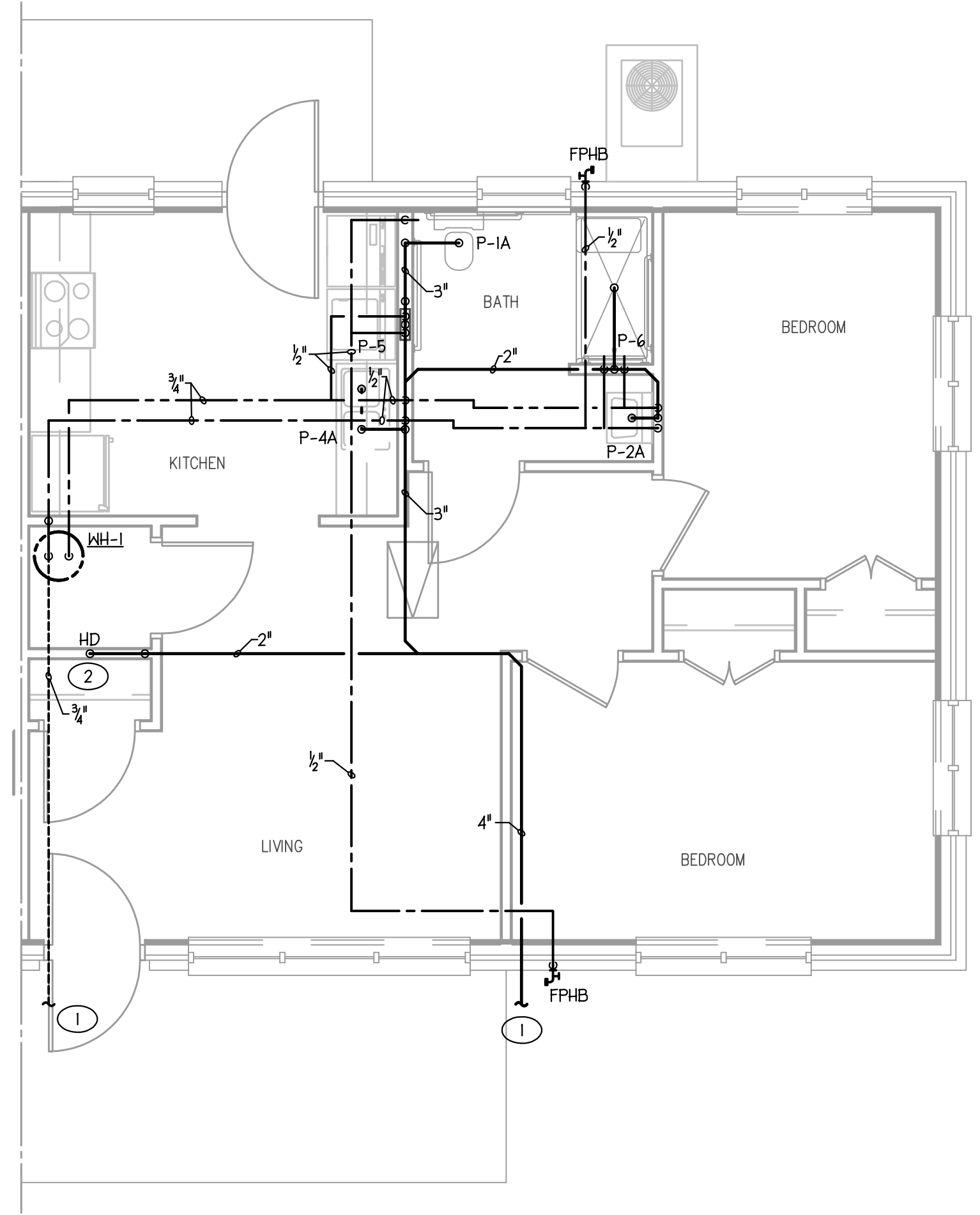
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Apr 17, 2024 4:40:29 PM



**3 TWO BEDROOM HANDICAP UNIT - NC 15-1 WATER RISER**  
NO SCALE BUILDING TYPE 'C'



**2 TWO BEDROOM HANDICAP UNIT - NC 15-1 WASTE RISER**  
NO SCALE BUILDING TYPE 'C'



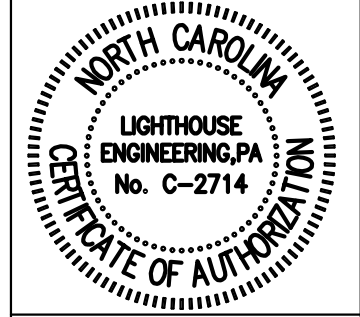
**1 TWO BEDROOM HANDICAP UNIT - NC 15-1**  
1/4"=1'-0" BUILDING TYPE 'C'

**TAGGED NOTES - THIS SHEET**

① REFER TO PLUMBING BUILDING PLANS FOR CONTINUATION.

② PROVIDE HD IN WALL WITH 12"x12" ACCESS PANEL. COORDINATE HUB DRAIN VENT LOCATION WITH MC TO ENSURE SPACE IS MAINTAINED FOR DUCTWORK TO FACILITATE RETURN AIR.

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NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

PLUMBING  
UNIT PLANS  
NC 15-1

COMM. NO.: 6041-B  
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CHECKED BY: SAB  
DATE: APR. 2, 2024  
SHEET NO.

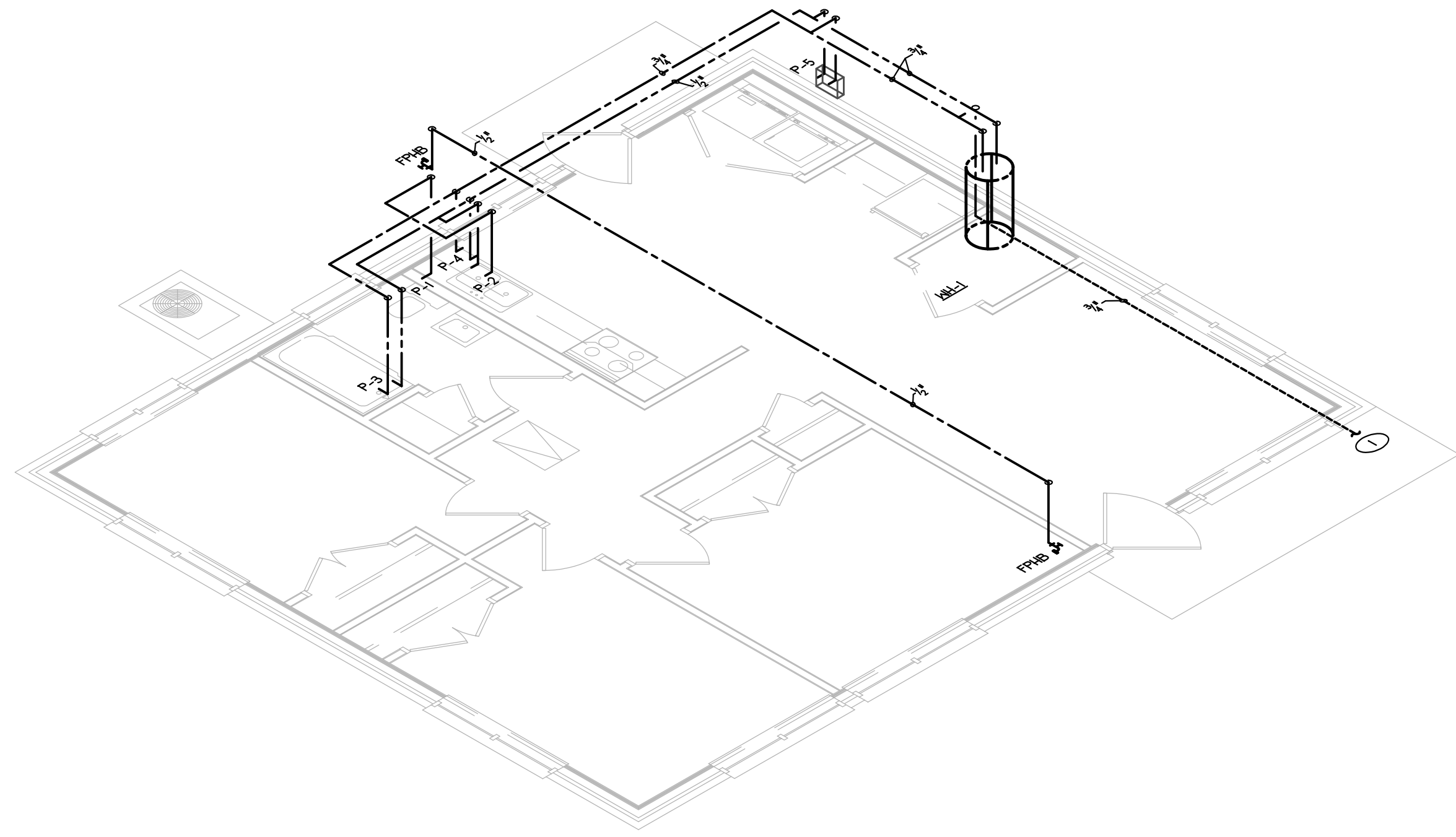
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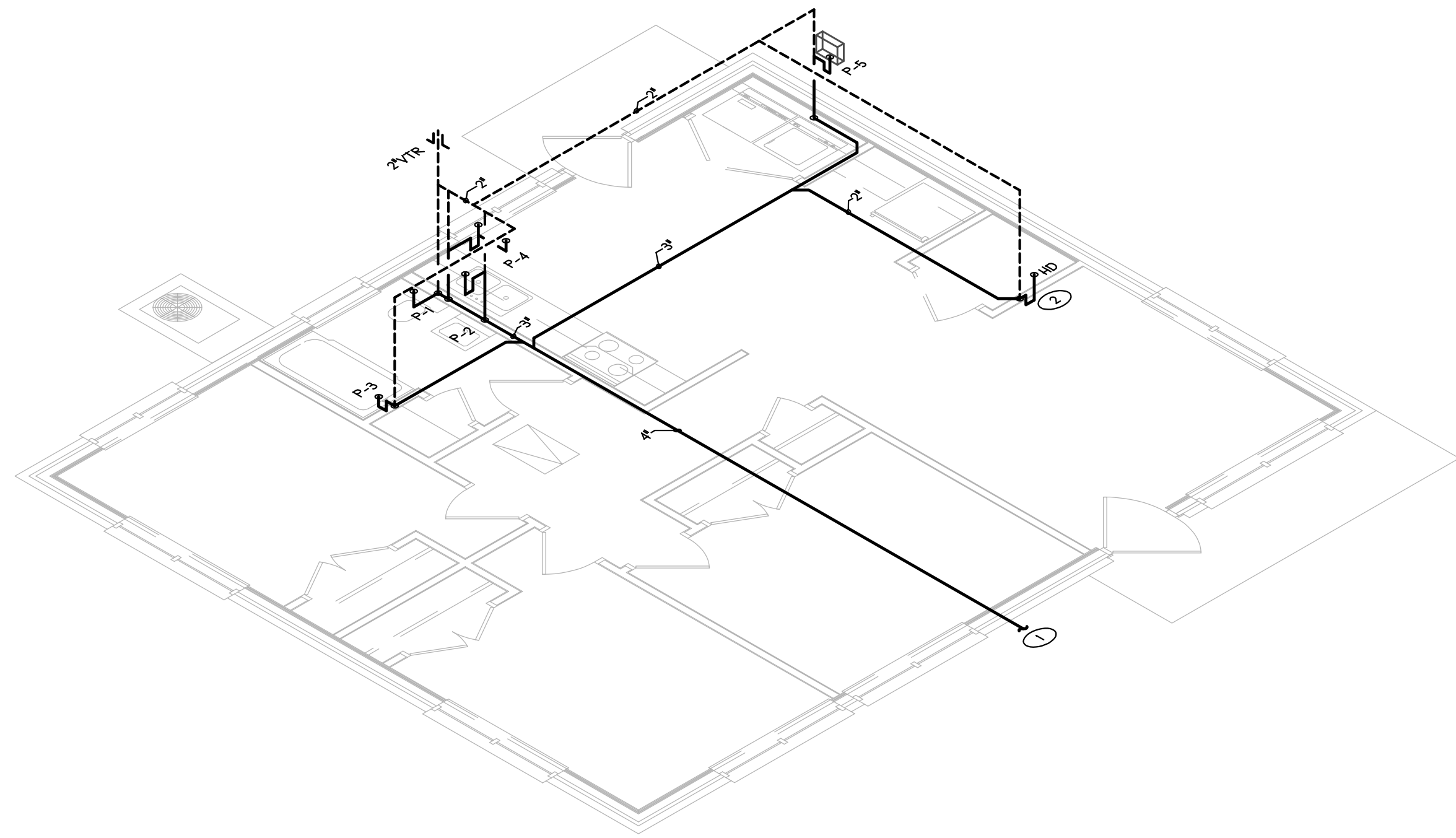




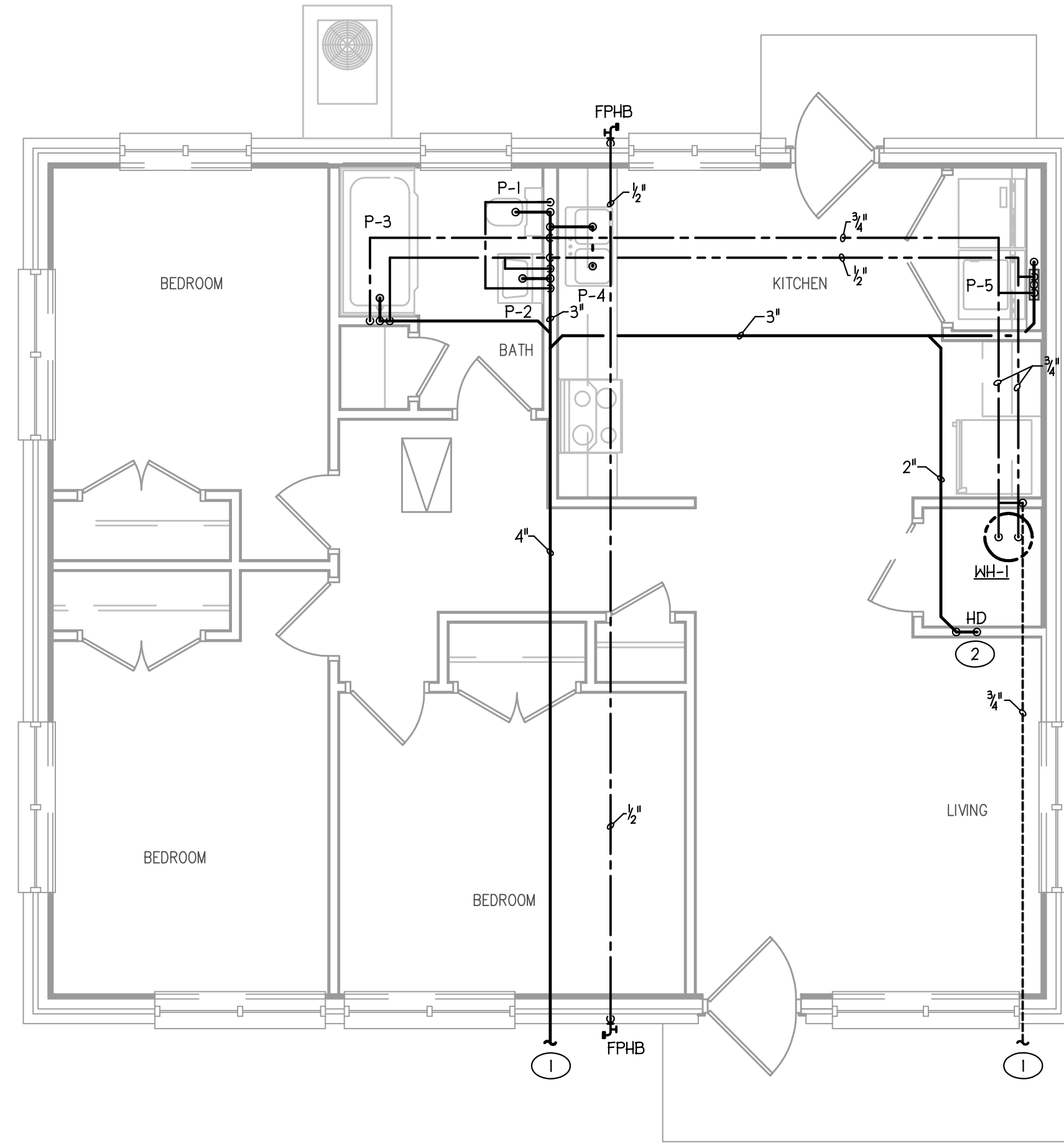
TAGGED NOTES - THIS SHEET	
①	REFER TO PLUMBING BUILDING PLANS FOR CONTINUATION.
②	PROVIDE HD IN WALL WITH 12"x12" ACCESS PANEL.



**3** THREE BEDROOM UNIT - NC 15-1 WATER RISER  
NO SCALE BUILDING TYPE 'E-1'



**2** THREE BEDROOM UNIT - NC 15-1 WASTE RISER  
NO SCALE BUILDING TYPE 'E-1'



**1** THREE BEDROOM UNIT - NC 15-1  
1/4"=1'-0" BUILDING TYPE 'E-1'

REVISIONS

400 W. Morgan Street, Suite 100  
Wilmington, North Carolina, 27603  
Tel: 919.833.9793  
Fax: 919.833.9744

MECHANICAL ELECTRICAL PLUMBING

**NORTH CAROLINA**  
Lighthouse Engineering, PA  
No. C-2714  
STATE OF AUTHORIZATION

**NORTH CAROLINA**  
PROFESSIONAL SEAL  
28385  
ENGINEER  
SCOTT A. BROWN  
04/17/24

**Stogner Architecture, PA**  
ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
615 East Broad Avenue, Rockingham, North Carolina, 28379  
Phone 910-895-6874 Fax 910-895-1111

Housing Authority of the  
City of Goldsboro  
RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1, FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

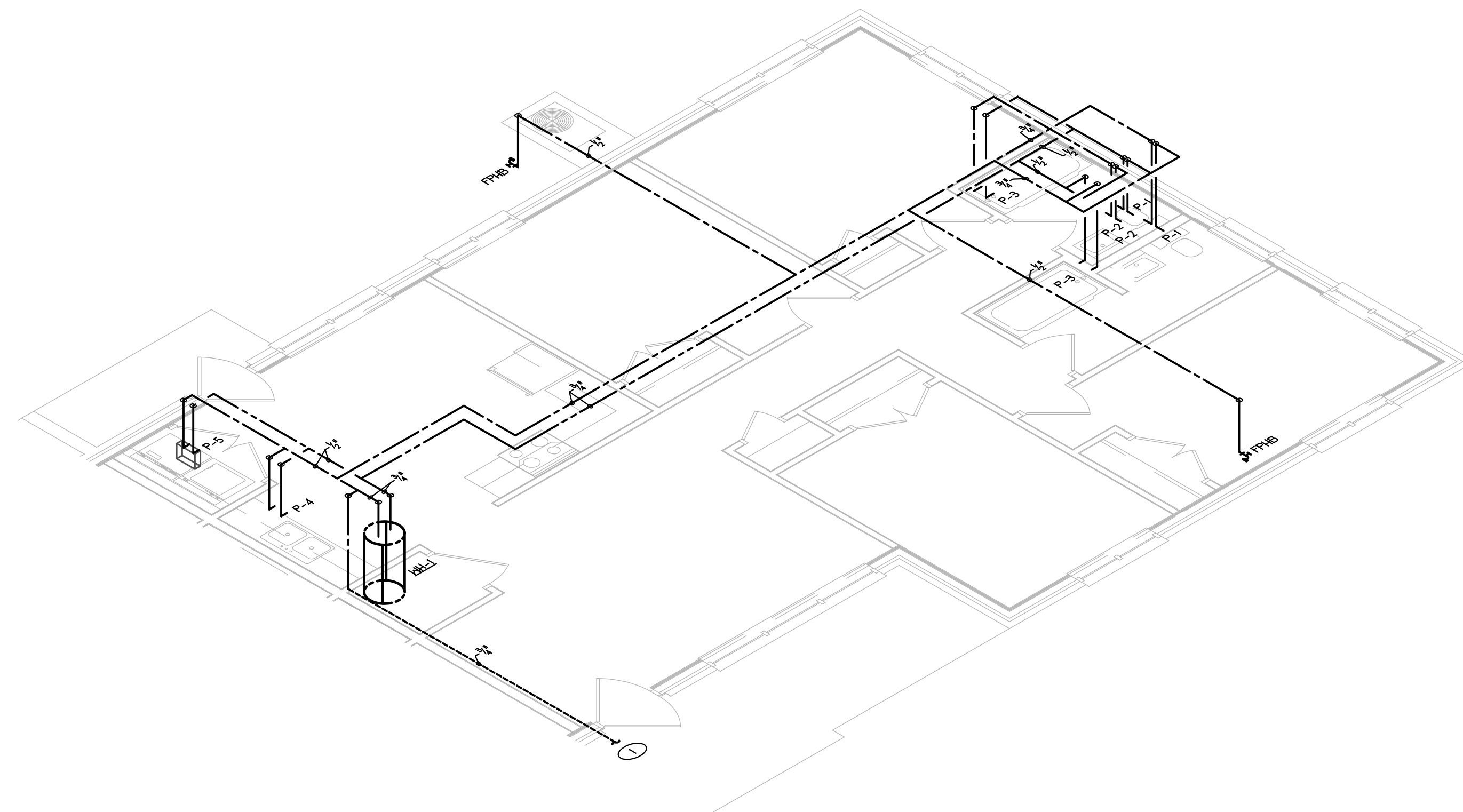
PLUMBING  
UNIT PLANS  
NC 15-1

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DATE: APR. 2, 2024  
SHEET NO.

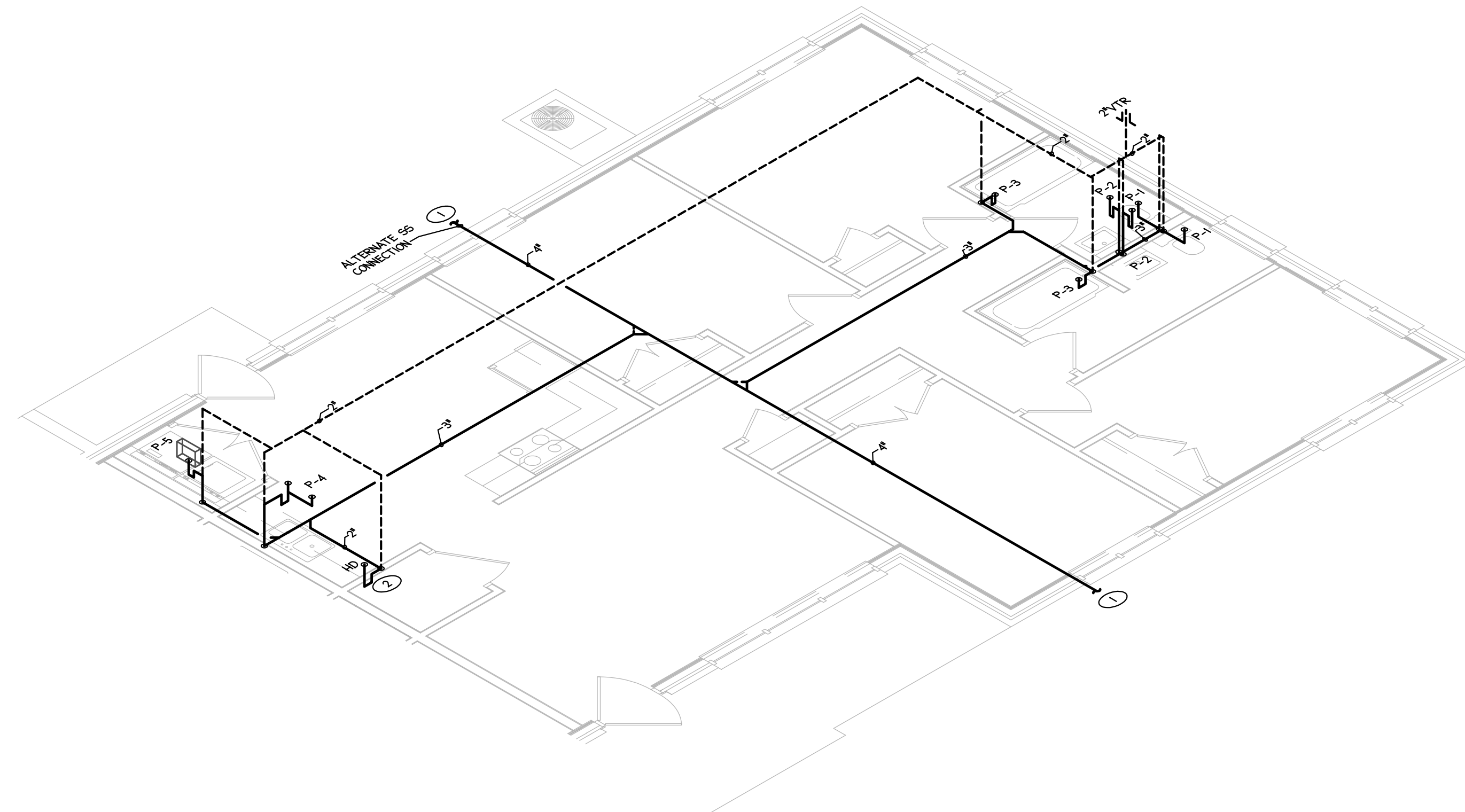
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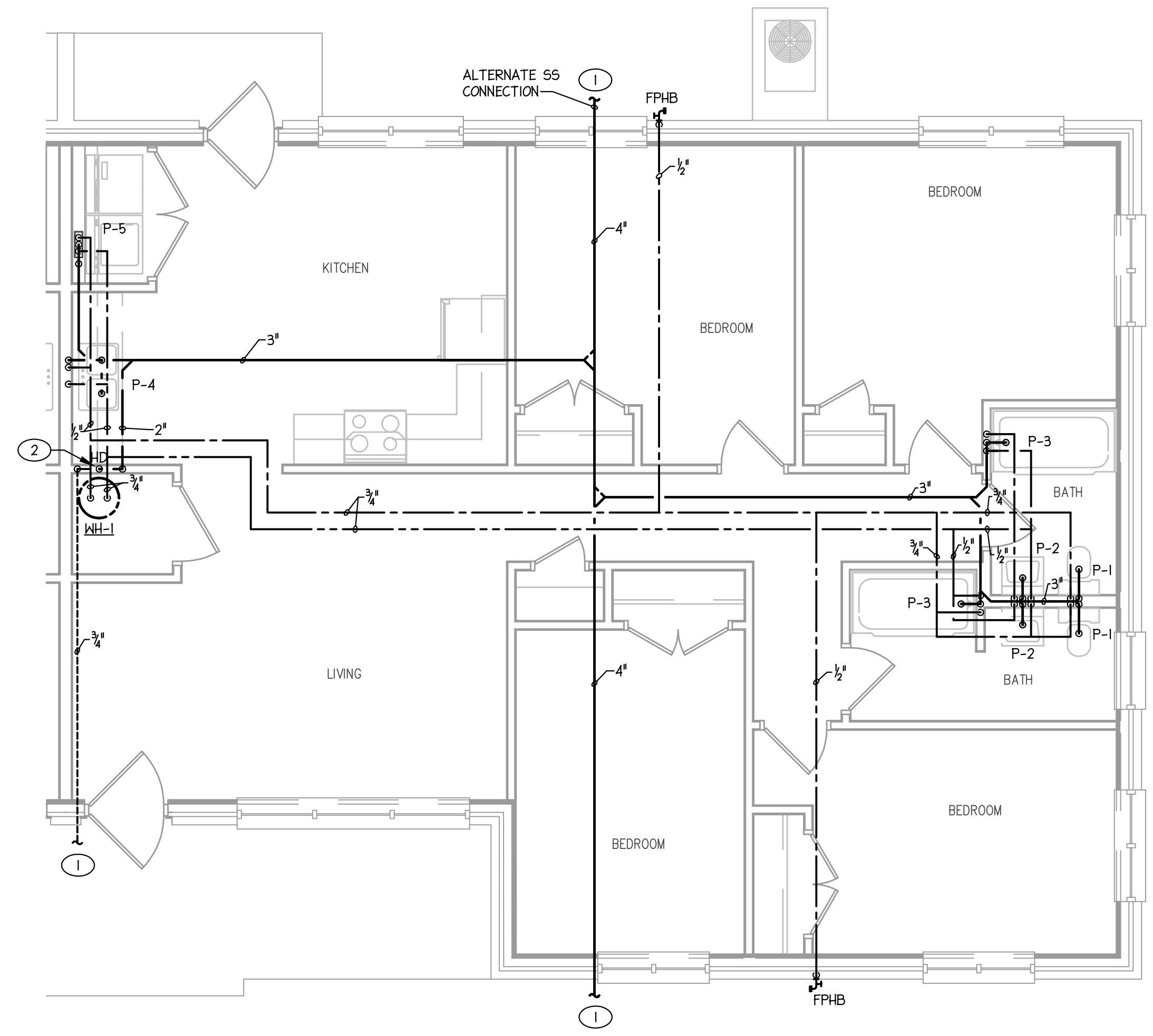




**3 FOUR BEDROOM UNIT - NC 15-1 WATER RISER**  
NO SCALE BUILDING TYPE 'F'



**2 FOUR BEDROOM UNIT - NC 15-1 WASTE RISER**  
NO SCALE BUILDING TYPE 'F'



**1 FOUR BEDROOM UNIT - NC 15-1**  
1/4"=1'-0" BUILDING TYPE 'F'

**TAGGED NOTES - THIS SHEET**

- ① REFER TO PLUMBING BUILDING PLANS FOR CONTINUATION.
- ② PROVIDE HD IN WALL WITH 12"x12" ACCESS PANEL.

**REVISIONS**

MECHANICAL ELECTRICAL PLUMBING

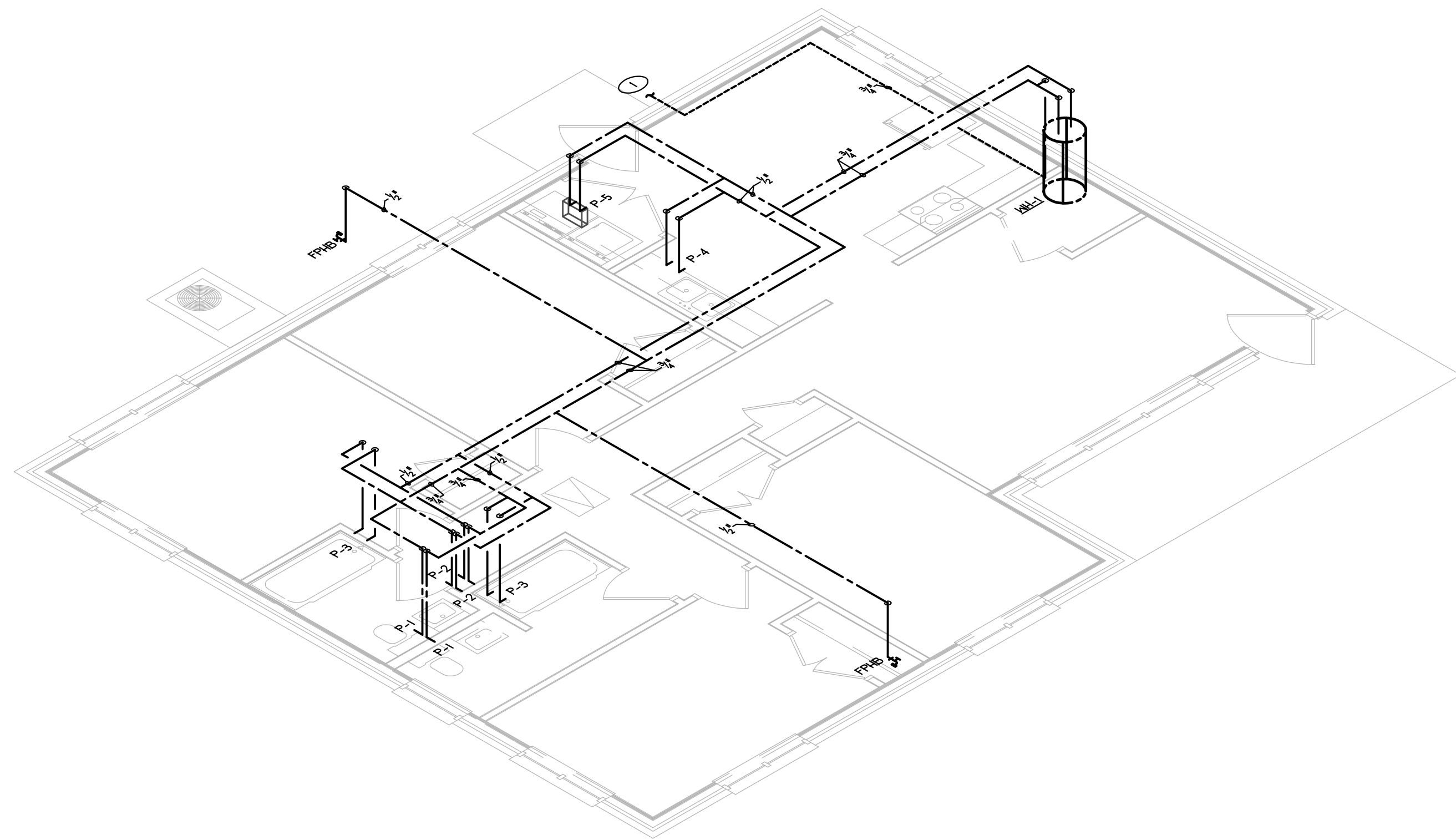
**Stogner Architecture, PA**  
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615 East Broad Avenue, Rockingham, North Carolina, 28379  
Phone 910-895-6874 Fax 910-895-1111

**Housing Authority of the City of Goldsboro**  
RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

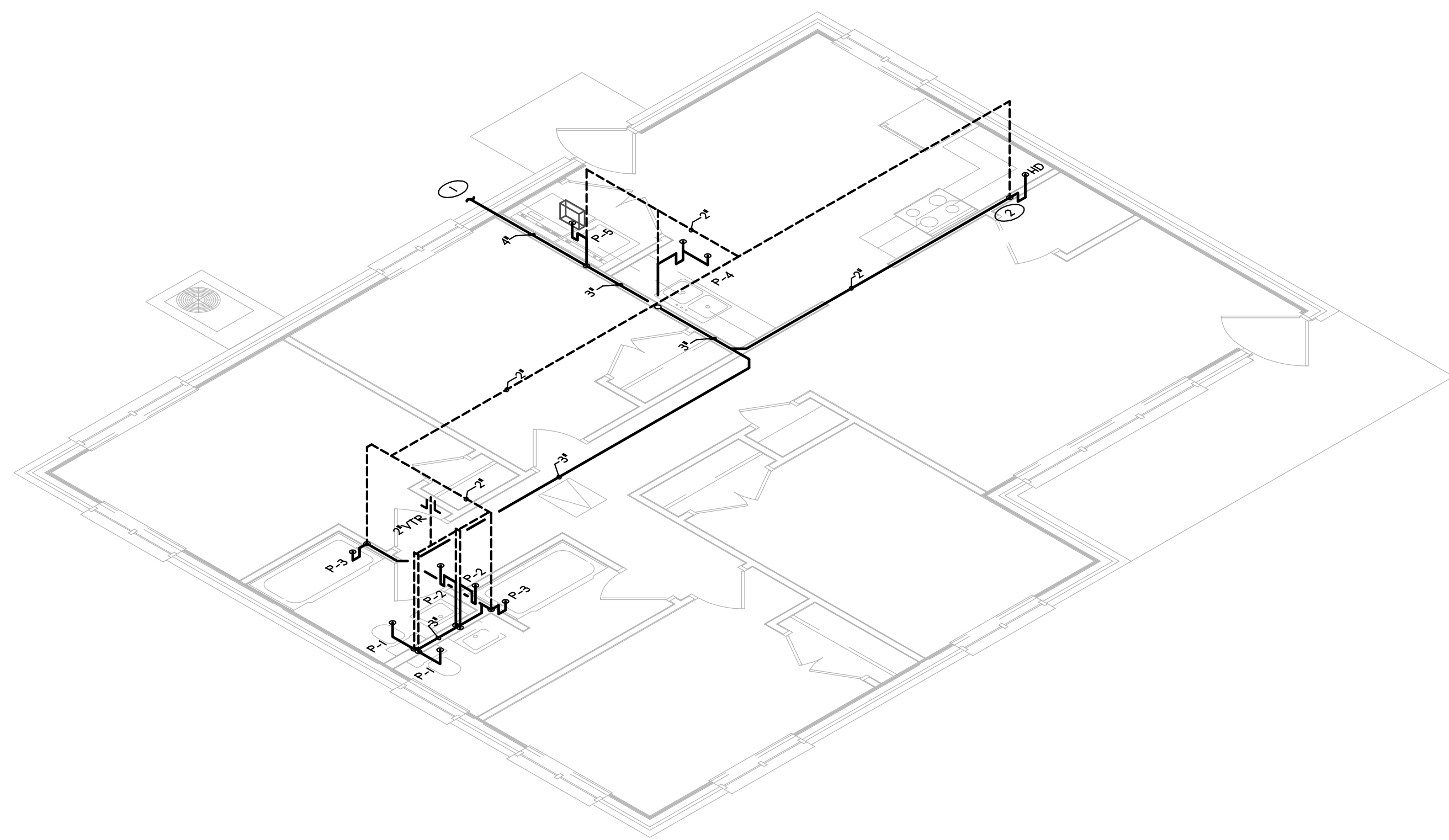
PLUMBING UNIT PLANS NC 15-1

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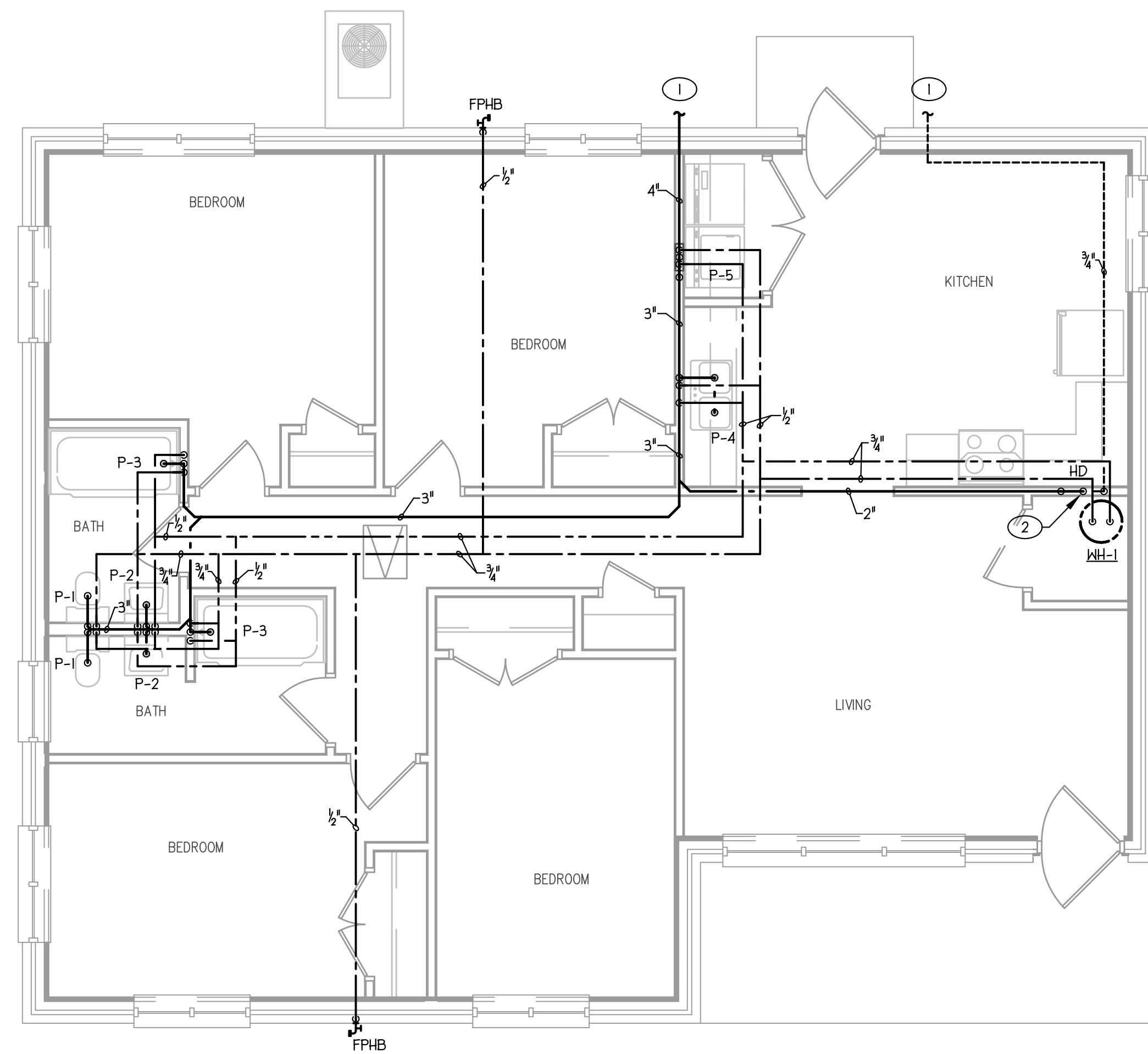
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**3** FOUR BEDROOM UNIT - NC 15-1 WATER RISER  
NO SCALE BUILDING TYPE 'F-1'



**2** FOUR BEDROOM UNIT - NC 15-1 WASTE RISER  
NO SCALE BUILDING TYPE 'F-1'



**1** FOUR BEDROOM UNIT - NC 15-1  
1/4"=1'-0" BUILDING TYPE 'F-1'

TAGGED NOTES - THIS SHEET	
①	REFER TO PLUMBING BUILDING PLANS FOR CONTINUATION.
②	PROVIDE HD IN WALL WITH 12"x12" ACCESS PANEL.

REVISIONS

400 W. Morgan Street, Suite 100  
Wilmington, North Carolina, 27603  
Tel: 919.833.9791  
Fax: 919.833.9744

MECHANICAL ELECTRICAL PLUMBING

**NORTH CAROLINA**  
Lighthouse  
ENGINEERING, P.A.  
No. C-2714

**NORTH CAROLINA**  
PROFESSIONAL  
SEAL  
28385  
ENGINEER  
SCOTT A. BROWN

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NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

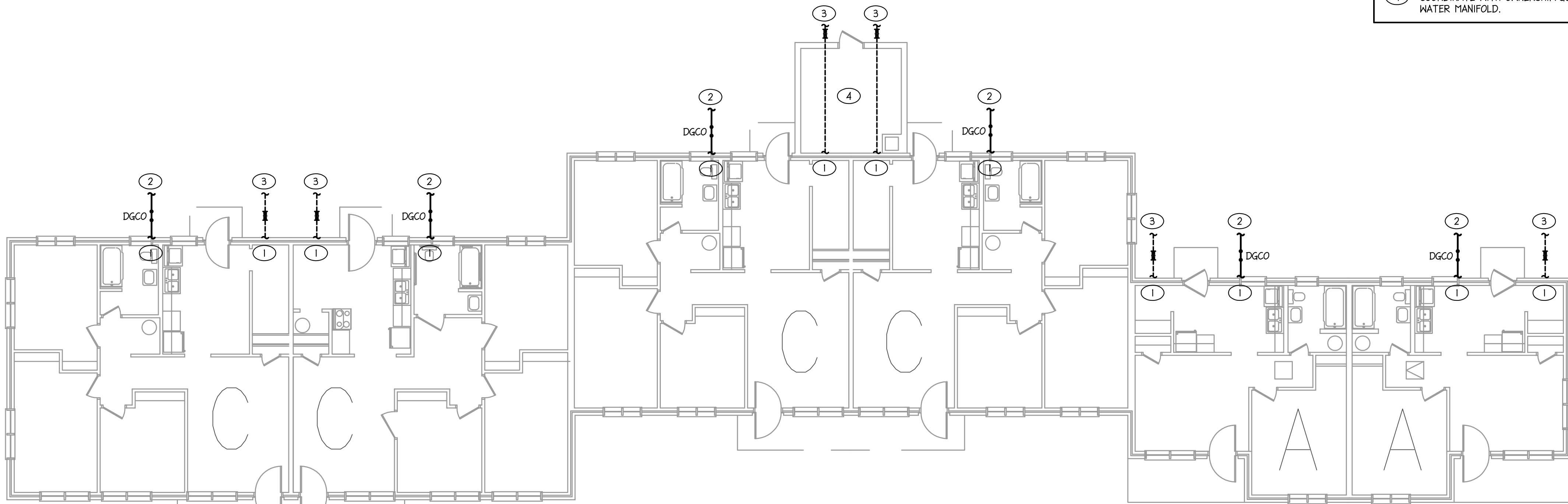
PLUMBING  
UNIT PLANS  
NC 15-1

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DATE: APR. 2, 2024  
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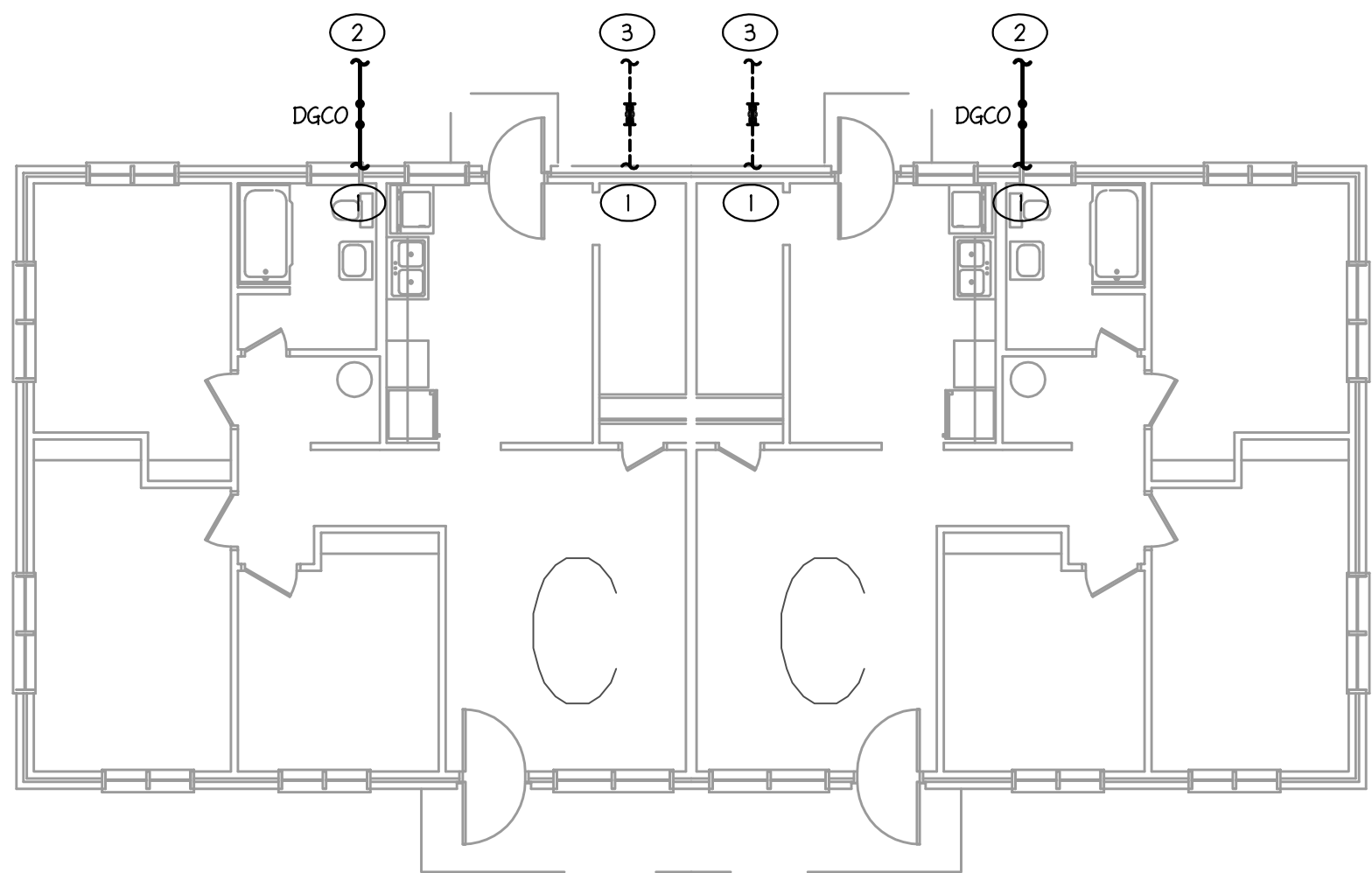
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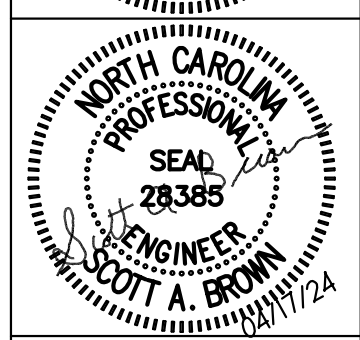
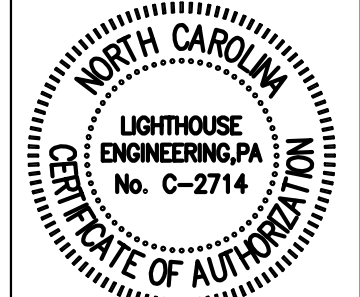
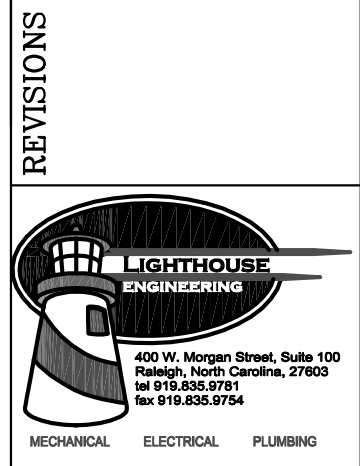
- TAGGED NOTES - THIS SHEET**
- ① REFER TO PLUMBING UNIT PLANS FOR CONTINUATION.
  - ② 4" W TO EXISTING WASTE LINE AT 5' FROM BUILDING. FIELD VERIFY LOCATION OF EXISTING WASTE LINE PRIOR TO CONNECTION.
  - ③ 3/4" CW FR EXISTING WATER LINE AT 5' FROM BUILDING. FIELD VERIFY LOCATION OF EXISTING WATER LINE PRIOR TO CONNECTION. PROVIDE WATER SUPPLY SHUT-OFF IN ACCESSIBLE BOX.
  - ④ COORDINATE WITH OWNERSHIP/GC FOR DEMOLITION OF EXISTING WATER MANIFOLD.



**2 BUILDING C-A - NC 15-3**  
1/8"=1'-0" EDGERTON ST



**1 BUILDING C - NC 15-3**  
1/8"=1'-0" EDGERTON ST



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NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

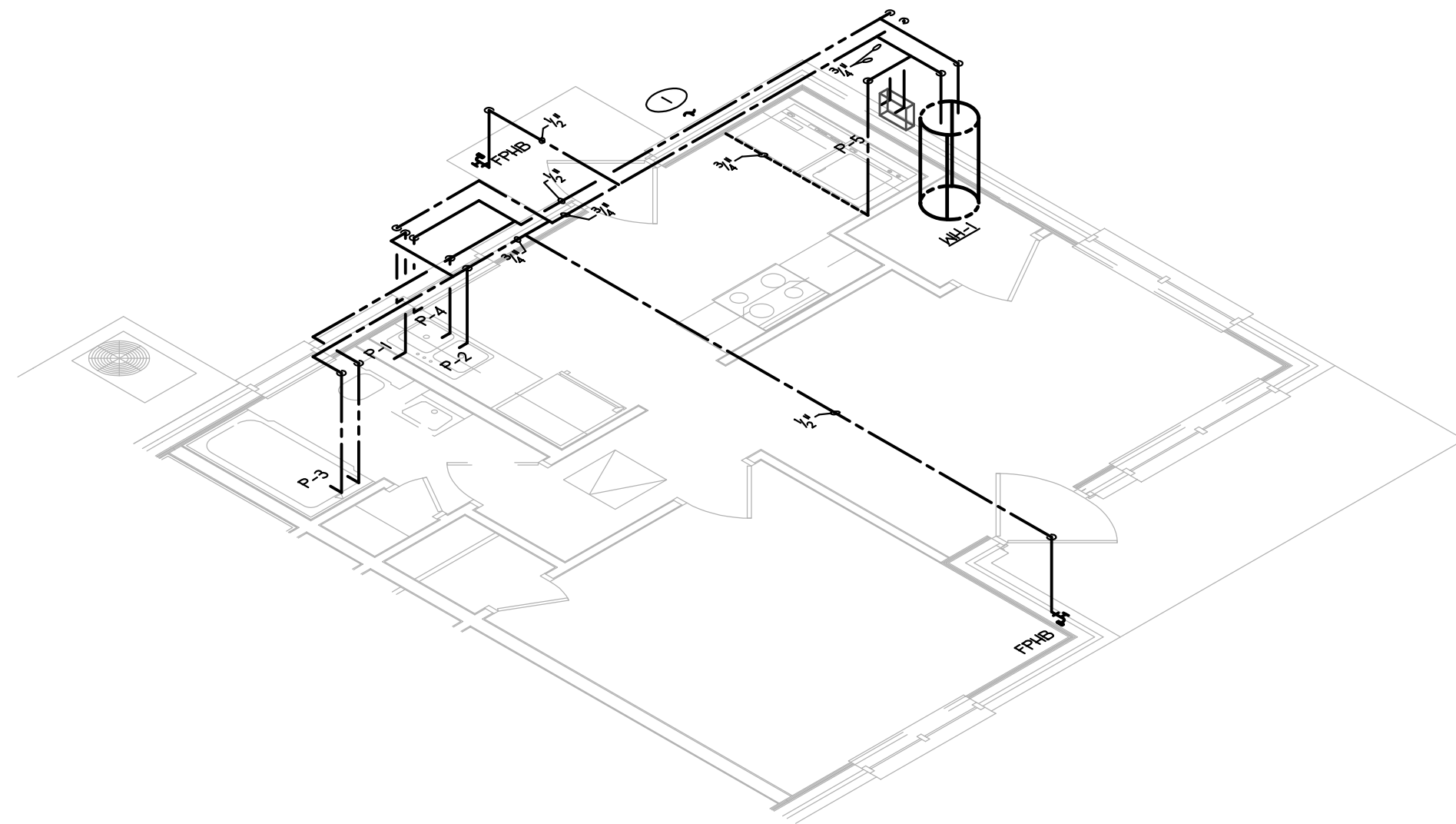
PLUMBING  
BUILDING C & C-A  
PLANS NC 15-3

COMM. NO.: 6041-B  
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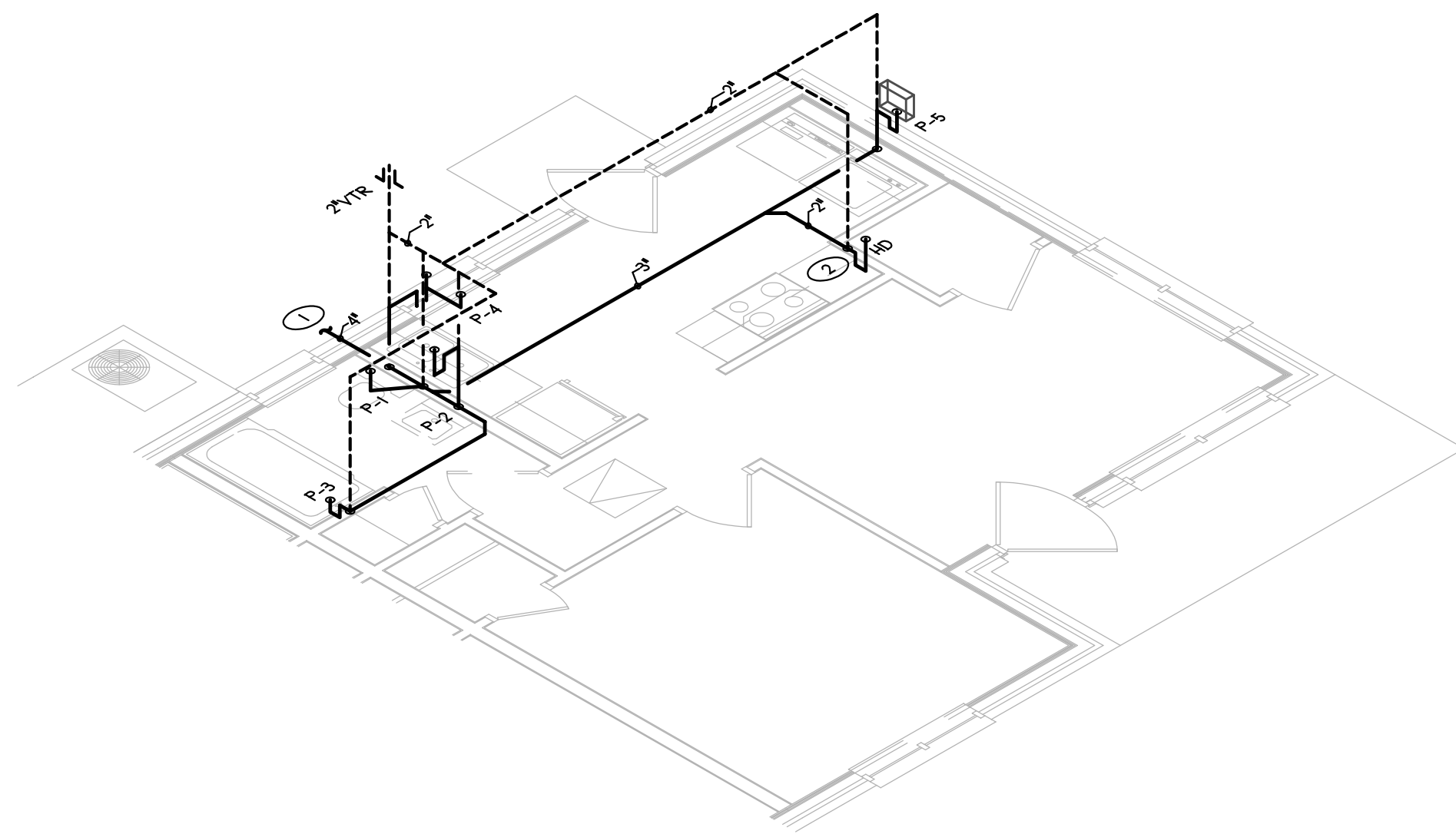
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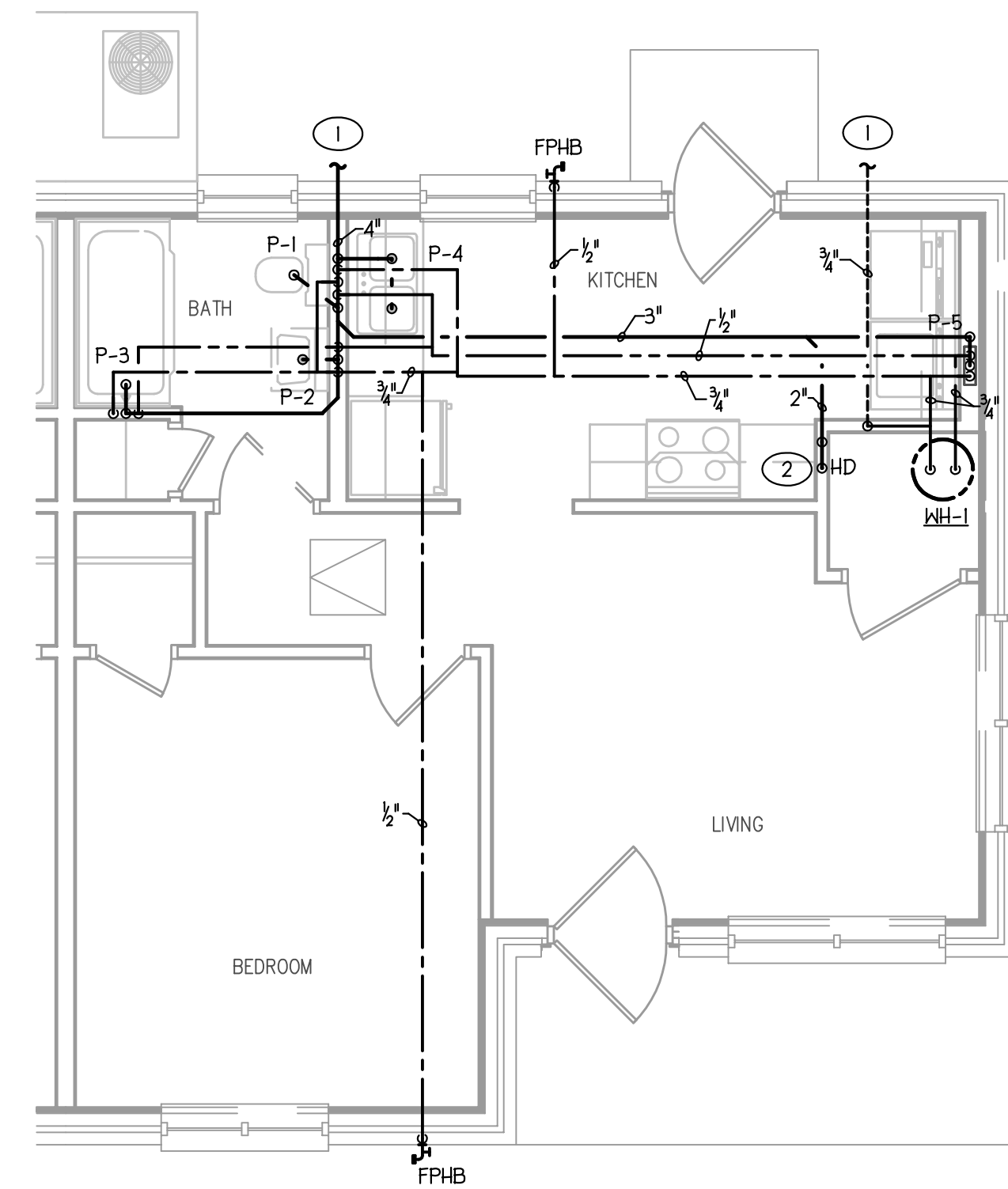
TAGGED NOTES - THIS SHEET	
①	REFER TO PLUMBING BUILDING PLANS FOR CONTINUATION.
②	PROVIDE HD IN WALL WITH 12"x12" ACCESS PANEL.



**3 ONE BEDROOM UNIT - NC 15-3 WATER RISER**  
NO SCALE BUILDING TYPE 'A'

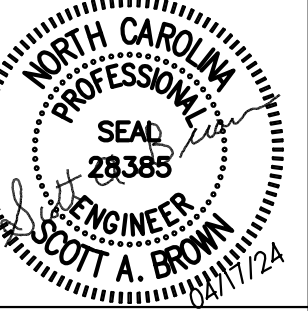
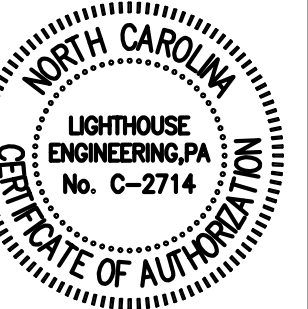


**2 ONE BEDROOM UNIT - NC 15-3 WASTE RISER**  
NO SCALE BUILDING TYPE 'A'



**1 ONE BEDROOM UNIT - NC 15-3**  
1/4"=1'-0" BUILDING TYPE 'A'

REVISIONS



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NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

PLUMBING  
UNIT PLANS  
NC 15-3

COMM. NO.: 6041-B  
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DATE: APR. 2, 2024  
SHEET NO.

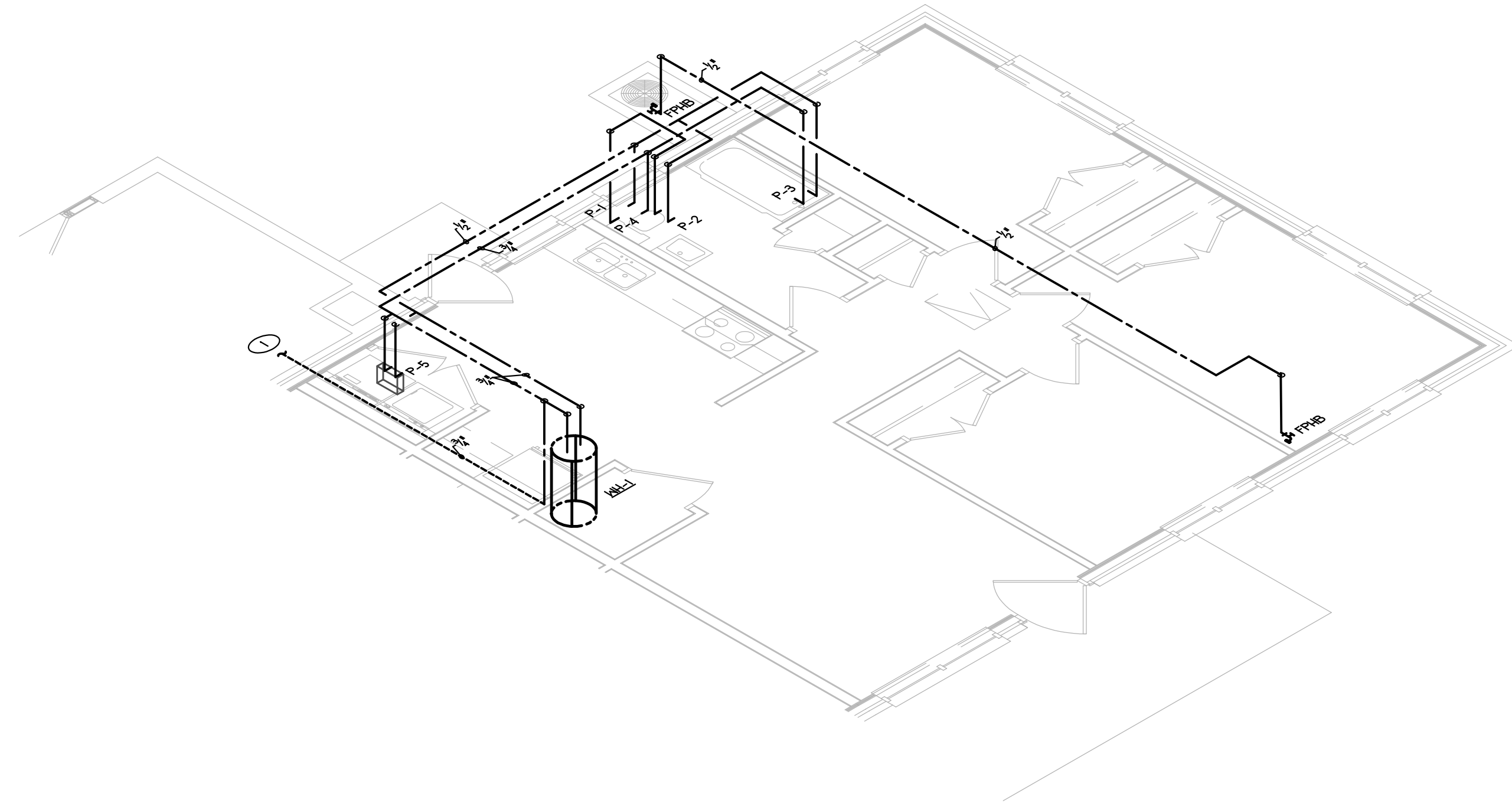
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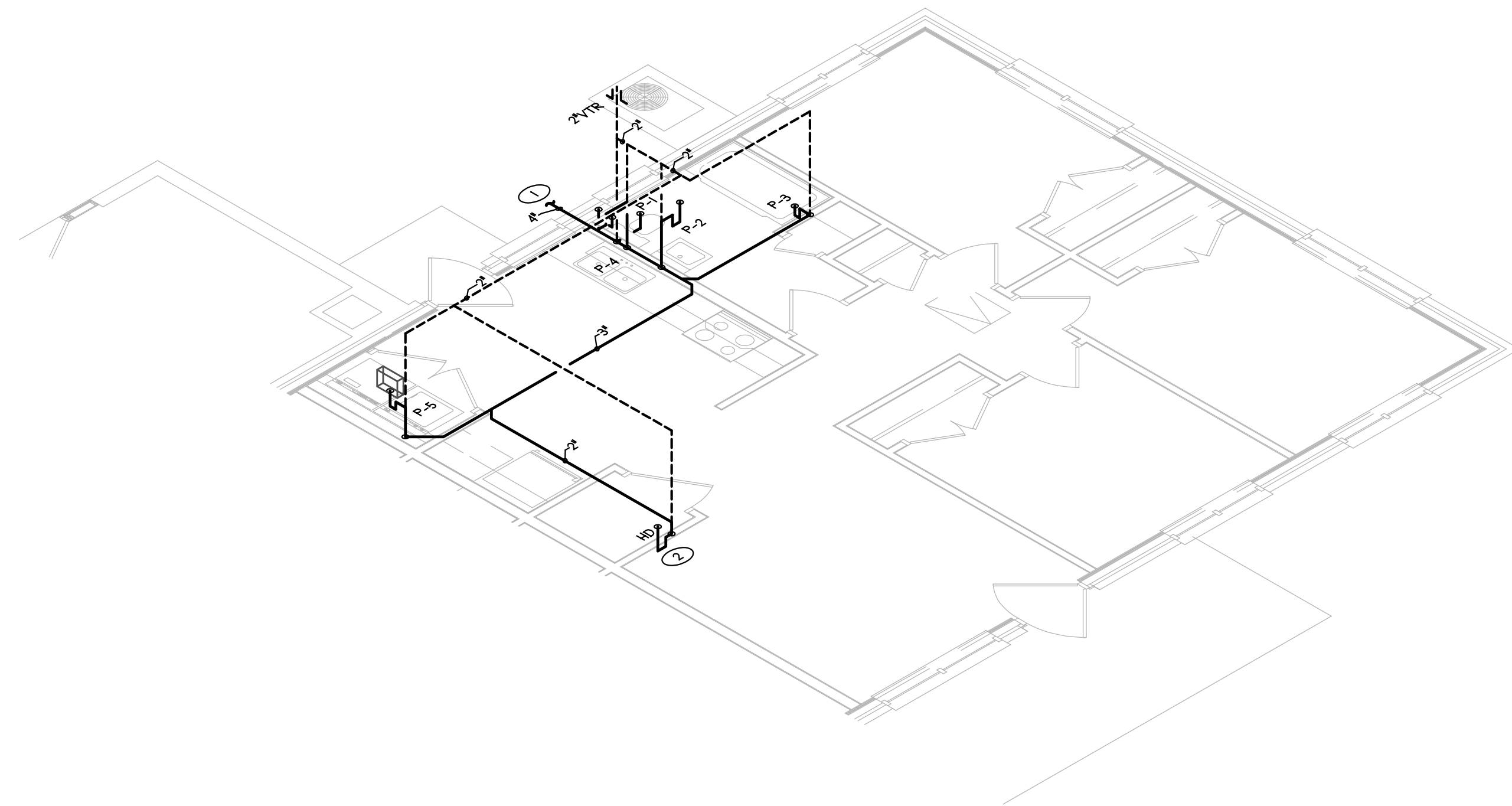


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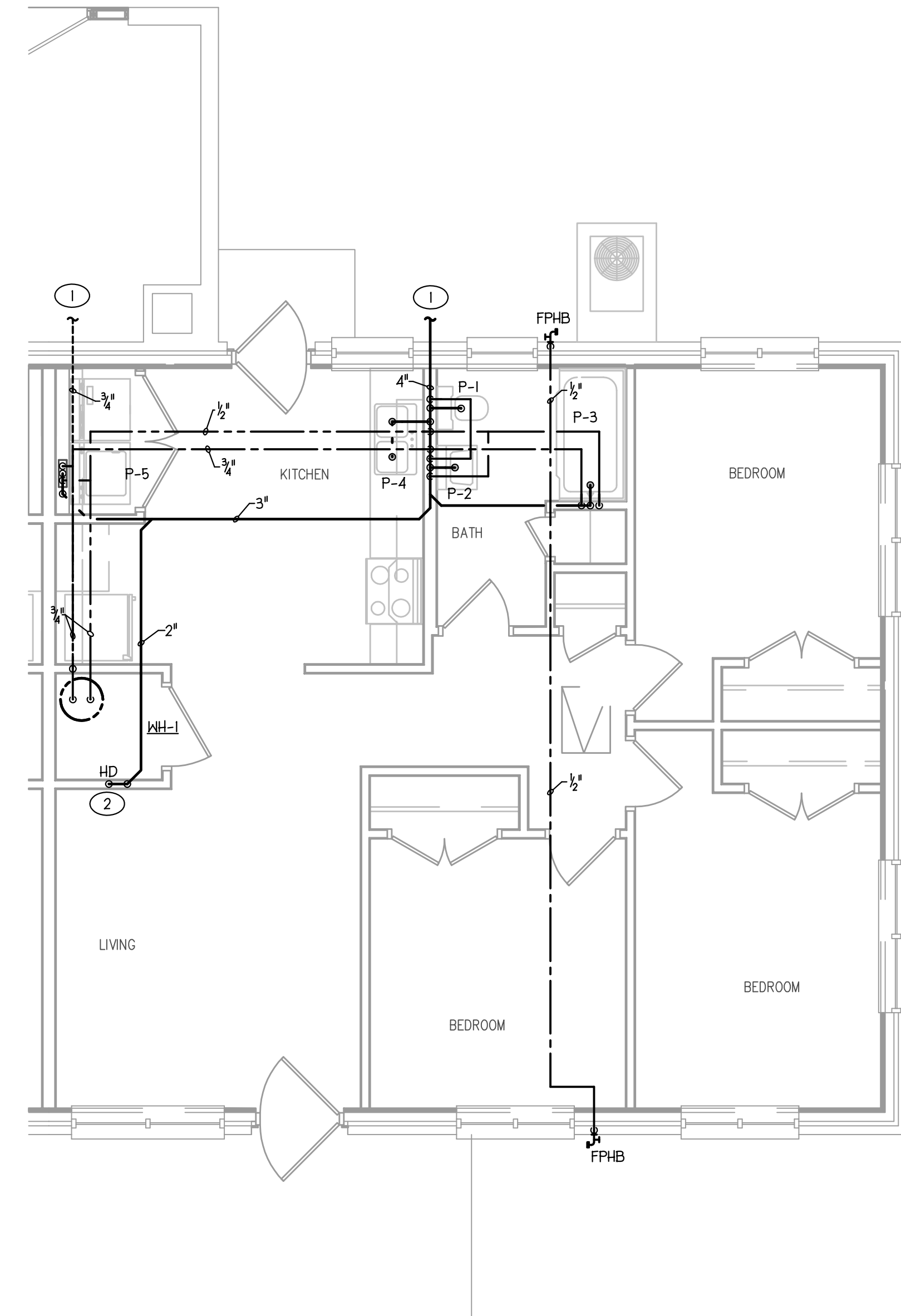
- ① REFER TO PLUMBING BUILDING PLANS FOR CONTINUATION.
- ② PROVIDE HD IN WALL WITH 12"x12" ACCESS PANEL.



**3 THREE BEDROOM UNIT - NC 15-3 WATER RISER**  
NO SCALE BUILDING TYPE 'C'

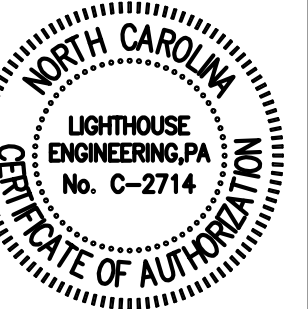
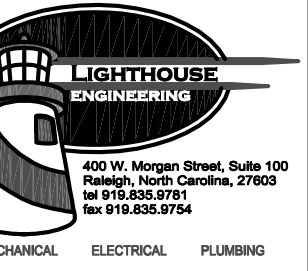


**2 THREE BEDROOM UNIT - NC 15-3 WASTE RISER**  
NO SCALE BUILDING TYPE 'C'



**1 THREE BEDROOM UNIT - NC 15-3**  
1/4"=1'-0" BUILDING TYPE 'C'

REVISIONS



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GOLDSBORO, NORTH CAROLINA

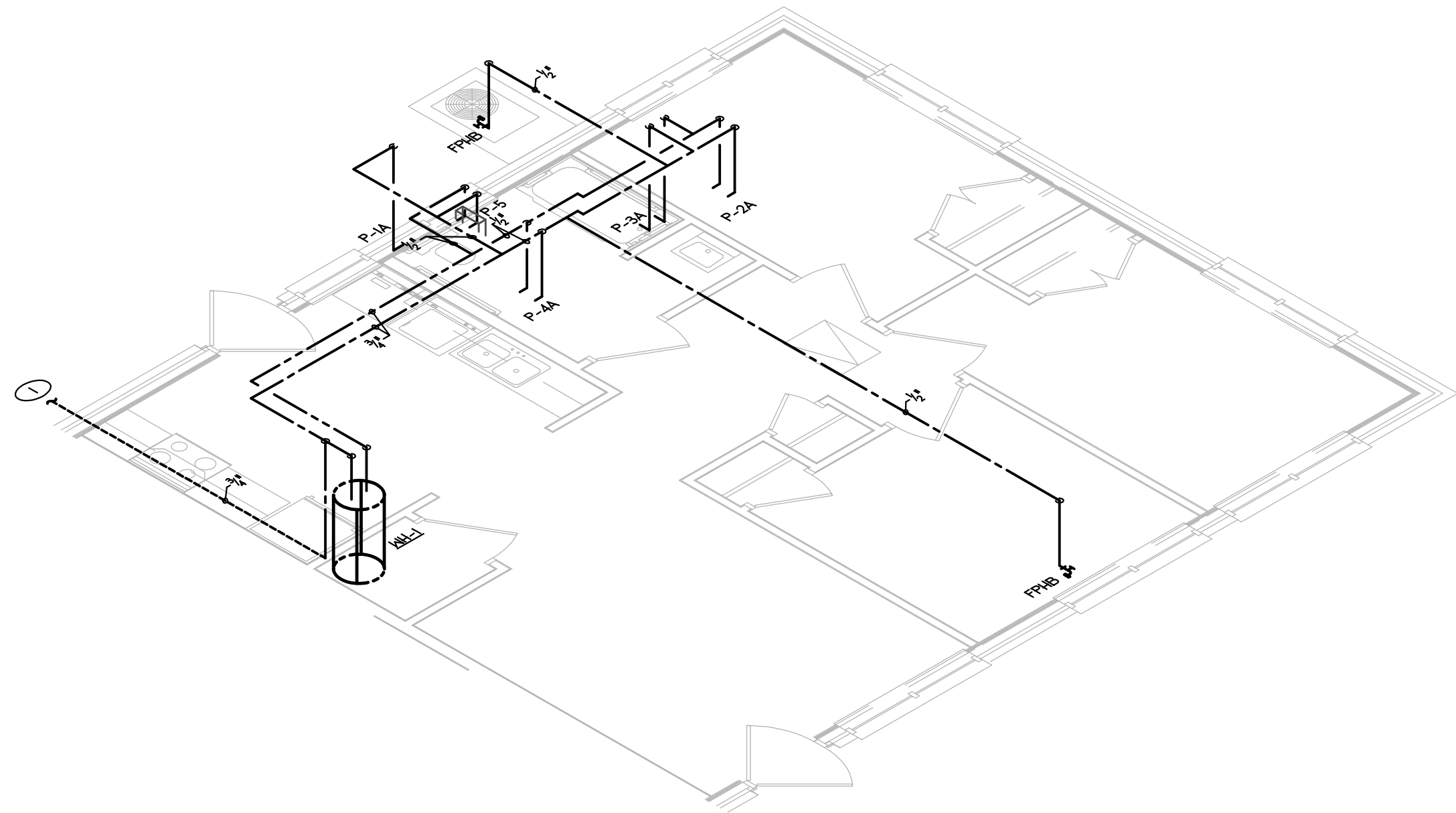
PLUMBING  
UNIT PLANS  
NC 15-3

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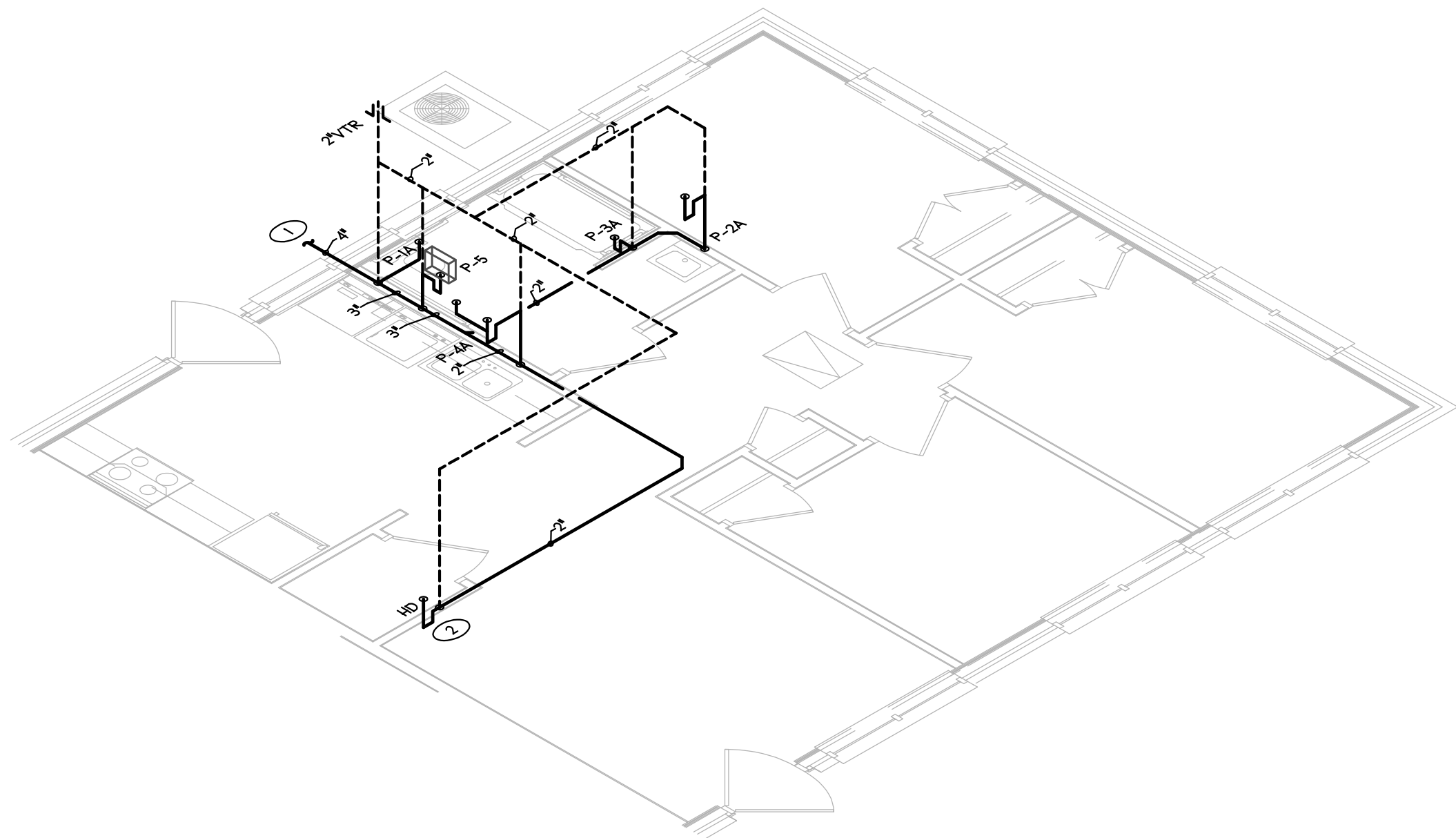
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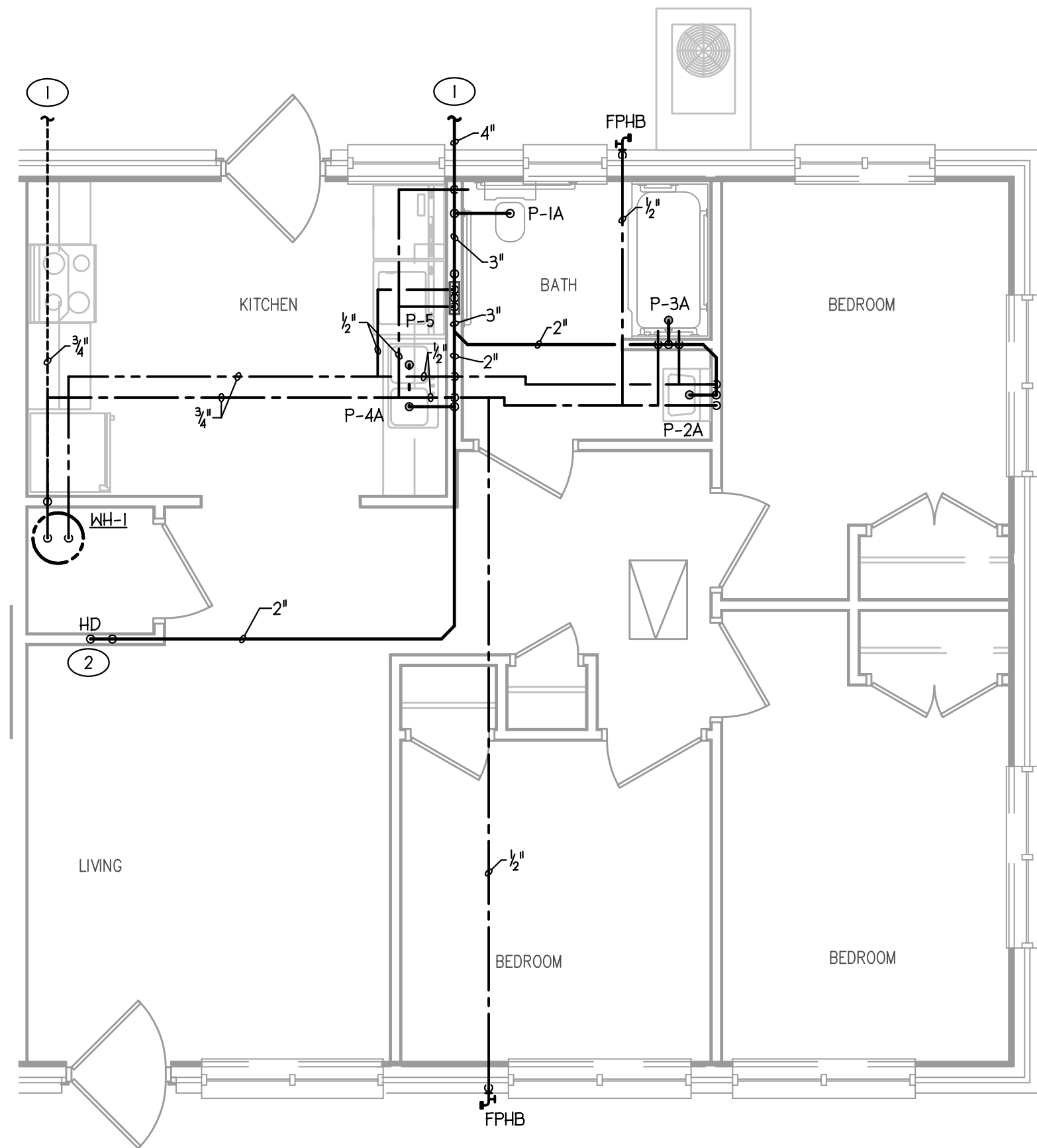
TAGGED NOTES - THIS SHEET	
①	REFER TO PLUMBING BUILDING PLANS FOR CONTINUATION.
②	PROVIDE HD IN WALL WITH 12"x12" ACCESS PANEL.



**3** THREE BEDROOM HANDICAP UNIT - NC 15-3 WATER RISER  
NO SCALE BUILDING TYPE 'C'

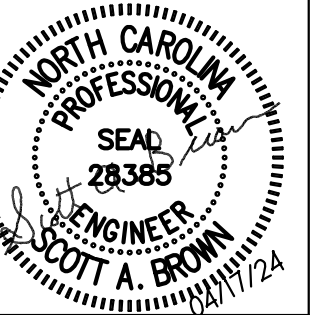
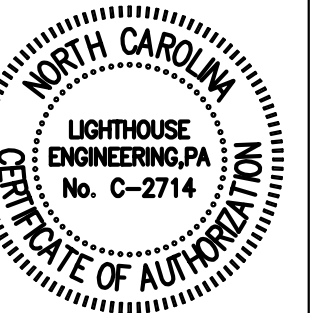
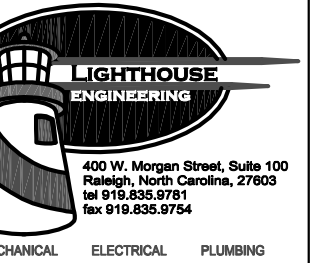


**2** THREE BEDROOM HANDICAP UNIT - NC 15-3 WASTE RISER  
NO SCALE BUILDING TYPE 'C'



**1** THREE BEDROOM HANDICAP UNIT - NC 15-3  
1/4"=1'-0" BUILDING TYPE 'C'

REVISIONS



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615 East Broad Avenue, Rockingham, North Carolina, 28379  
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RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

PLUMBING  
UNIT PLANS  
NC 15-3

COMM. NO.: 6041-B  
DRAWN BY: AME  
CHECKED BY: SAB  
DATE: APR. 2, 2024  
SHEET NO.

P12.1



### HVAC GENERAL NOTES

- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIAL AND EQUIPMENT IN STRICT ACCORDANCE WITH THE 2018 NORTH CAROLINA MECHANICAL CODE, ALL STATE AND LOCAL CODES AND STANDARDS, AND PER MANUFACTURER'S DIRECTIONS.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL NECESSARY PERMITS, LICENSE, INSPECTIONS, APPROVALS, AND FEES.
- THE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES BEFORE INSTALLATION OF ANY MATERIALS OR EQUIPMENT.
- THESE DRAWINGS ARE DIAGRAMMATIC AND SHOW GENERAL LOCATION AND ARRANGEMENT OF ALL MATERIALS AND EQUIPMENT. THE DRAWINGS SHALL BE FOLLOWED AS CLOSELY AS BUILDING CONSTRUCTION AND ALL OTHER WORK WILL PERMIT.
- DO NOT SCALE DRAWINGS FOR MEASUREMENTS.
- ALL DUCT DIMENSIONS SHOWN ARE INTERIOR DUCT DIMENSIONS.
- ALL PENETRATIONS THROUGH EXTERIOR WALLS & ROOF SHALL BE FLASHED & COUNTERFLASHED IN A WATERPROOF MANNER (COLOR TO MATCH EXTERIOR).
- SEAL ALL PENETRATIONS OF RATED WALLS WITH FIRE DAMPER OR SEALANT MATERIAL APPROVED BY LOCAL CODE. TO BE INSTALLED PER MFG. INSTRUCTIONS.
- ALL SUSPENDED MATERIALS AND EQUIPMENT SHALL BE INDIVIDUALLY SUPPORTED FROM THE BUILDING STRUCTURE. DO NOT SUSPEND ITEMS FROM THE CEILING OR ITS SUPPORT SYSTEM.
- INSTALL ALL CONTROL DEVICES, INCLUDING THERMOSTATS AND SWITCHES, 4'-0" ABOVE FINISHED FLOOR FROM TOP OF DEVICE. PROVIDE THE REQUIRED DEVICE(S) FOR ALL SYSTEMS WHETHER LOCATED ON THE PLANS OR NOT.
- LOCATE CEILING DIFFUSERS IN ACCORDANCE WITH ARCHITECTURAL REFLECTED CEILING PLANS (IF PROVIDED).
- PROVIDE MANUFACTURER'S RECOMMENDED CLEARANCES AROUND MECHANICAL UNITS FOR MAINTENANCE AND FILTER REMOVAL.
- ALL PIPING AND DUCTWORK LOCATIONS SHALL BE COORDINATED W/ WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS, TO AVOID INTERFERENCE.
- ALL SUPPLY, RETURN AND OUTSIDE AIR DUCTS SHALL BE INSULATED AS FOLLOWS:  

CONDITIONED SPACES	R-6 MINIMUM
NON-CONDITIONED SPACES	R-8 MINIMUM

CONCEALED SHEET METAL DUCT MAY BE EXTERNALLY INSULATED WITH MINERAL FIBER BOARD OR BLANKET OR MAY BE INTERNALLY INSULATED WITH DUCT LINER. THE FIRST 15' FROM THE AIR HANDLER SHALL BE INTERNALLY LINED.
- CERTIFIED TEST AND BALANCE CONTRACTOR SHALL BALANCE SYSTEM TO AIR QUANTITIES INDICATED ON PLANS AND PROVIDE OWNER'S REPRESENTATIVE WITH COMPLETE BALANCE REPORT. IF BALANCING DAMPERS ARE NOT PROVIDED IN RETURN DUCTWORK, CONTRACTOR SHALL BALANCE SUPPLY SIDE TO AIR QUANTITIES INDICATED ON PLANS AND SHALL BALANCE OUTSIDE AIR AND RETURN AIR FLOWS AT THE AIR HANDLER TO AIR QUANTITIES INDICATED IN THE SCHEDULE. PROVIDE NEW AIR FILTERS FOR EACH UNIT.
- AS REQUIRED BY LOCAL CODES, MECHANICAL CONTRACTOR SHALL PROVIDE U.L. LISTED FIRE DAMPERS WHERE REQUIRED FOR FIRE PROTECTION REQUIREMENTS OF THE HVAC SYSTEM & THE UL ASSEMBLY.
- PROVIDE 1 YEAR WARRANTY ON ALL EQUIPMENT AND 5 YEAR WARRANTY ON ALL COMPRESSORS.
- ALL INTAKE OPENINGS SHALL BE LOCATED A MINIMUM OF 10'-0" FROM ALL EXHAUST LOCATIONS.
- CONDENSATE DRAIN PIPING AND FITTINGS SHALL BE SCHEDULE 40 PVC WHEN LOCATED IN NON-PLENUM LOCATIONS. PIPING TO BE SCHEDULE 40 CPVC RATED FOR PLENUM INSTALLATION OR PVC WRAPPED WITH PLENUM RATED INSULATION WHEN LOCATED IN PLENUM LOCATIONS. DRAINS FROM AIR HANDLING UNITS SHALL BE TRAPPED.
- A COMPLETE SYSTEM OF SEISMIC RESTRAINTS SHALL BE DESIGNED BY MASON INDUSTRIES & SEALED BY THEIR REGISTERED ENGINEER & INSTALLED BY THIS CONTRACTOR, AS REQ'D BY APPLICABLE CODES FOR THE LOCALE OF THIS PROJECT.
- ALL MAIN DUCTWORK SHALL BE GALVANIZED SHEET METAL OR 1" FIBERBOARD CONSTRUCTED IN ACCORDANCE WITH SMAGNA STANDARDS. RUN OUTS FOR THE MAIN/BRANCH DUCTS MAY BE FLEX DUCT CONFORMING TO THE REQUIREMENTS OF UL 181 FOR CLASS 1 FLEXIBLE AIR DUCTS.
- THE MECHANICAL CONTRACTOR SHALL PROVIDE REFRIGERANT AND LOW VOLTAGE CONTROL LINES FROM THE CONDENSER(S) TO THE AIR HANDLING UNIT(S). COORDINATE ROUTING AND INSTALLATION WITH THE GENERAL CONTRACTOR. SIZE REFRIGERANT LINES PER MANUFACTURER'S REQUIREMENTS.
- ELECTRICAL CONTRACTOR TO PROVIDE ALL HIGH VOLTAGE ELECTRICAL WIRING, CONDUIT, DISCONNECT SWITCHES, FUSES, ETC. TO SPLIT SYSTEM UNIT(S). ALL FINAL ELECTRICAL CONNECTIONS ARE BY ELECTRICAL CONTRACTOR.
- OUTSIDE AIR DUCTWORK SHALL BE WRAPPED WITH 1 1/2" FIBERGLASS DUCT WRAP WITH VAPOR BARRIER.
- REFRIGERANT PIPING, NOT SHOWN ON PLANS, SHALL BE SIZED & INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, INSTALLATION INSTRUCTIONS AND LOCAL CODES.
- MECHANICAL CONTRACTOR SHALL VERIFY LOCATION OF ALL PENETRATIONS FOR RELIEF HOODS, OUTSIDE AIR HOODS, LOUVERS, AND WALL CAPS WITH ARCHITECT & OWNER PRIOR TO INSTALLATION.
- MECHANICAL CONTRACTOR SHALL PAINT ALL RELIEF HOODS, INTAKE HOODS, LOUVERS, AND VENT CAPS. CONFIRM COLOR WITH ARCHITECT & OWNER PRIOR TO INSTALLATION.
- PENETRATIONS OF RATED WALLS, PARTITIONS AND FLOORS OF NON-COMBUSTIBLE CONSTRUCTION SHALL BE FIRESTOPPED WITH NONCOMBUSTIBLE MATERIALS. PENETRATIONS OF NONRATED WALLS, PARTITIONS AND FLOOR OF COMBUSTIBLE CONSTRUCTION SHALL BE FIRESTOPPED WITH MATERIALS EQUIVALENT TO TWO INCHES OF WOOD. FIRESTOPPING SHALL COMPLY WITH ASTM E-814.
- ALL CUTTING AND PATCHING OF WALLS AND FLOORS FOR MECHANICAL EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR.

### SPLIT SYSTEM HEAT PUMP UNIT SCHEDULE

AIR HANDLING UNIT DATA													HEAT PUMP						NOTES			
UNIT TAG	AREA SERVED	MANUF. MODEL	FAN CFM	FAN DATA			COOLING		HEAT (MBH)	AUX. HEAT (KWH/240)	ELECTRICAL DATA			GENERAL DATA			ELECTRICAL DATA					
				ESP (' OF WG)	MOTOR (HP)	OA (CFM)	TOTAL (MBH)	SENS. (MBH)			VOLTAGE (V/PH)	MCA (A)	MOCF (A)	UNIT TAG	MANUF. MODEL	TONNAGE	SEER 2	HSPF 2	VOLTAGE (V/PH)	MCA (A)	MOCF (A)	
AH-1	UNITS	CARRIER FT14A41800	500-700	0.50"	1/3	NOTE II	18.0	14.4	10.2	5	240/1Ø	28.5	30	HP-1	CARRIER GH55AN418	1.5	15.2	7.8	240/1Ø	13.4	20	1-14
AH-2	UNITS	CARRIER FT14A42400	800	0.52"	1/3	NOTE II	24.0	19.2	14.4	5	240/1Ø	28.5	30	HP-2	CARRIER GH55AN424	2.0	15.2	7.5	240/1Ø	14.5	25	1-14
AH-3	UNITS	CARRIER FT14A43000	950	0.53"	1/2	NOTE II	30.0	24.0	17.2	7.5	240/1Ø	42.5	50	HP-3	CARRIER GH55AN430	2.5	15.2	8.1	240/1Ø	18.2	30	1-14

#### NOTES:

- COOLING CAPACITIES ARE RATED IN ACCORDANCE WITH ARI STANDARD 210/240 AT 95°F AMBIENT OUTDOOR AIR TEMP., 80°F DRY BULB, 67°F WET BULB ENTERING AIR TEMP., AND AIR QUANTITY LISTED BY MFG. UNITS ABOVE 5 TONS ARE RATED IN ACCORDANCE WITH ARI STANDARD 340.
- REFRIG. PIPING TO BE SIZED PER TOTAL INSTALL. EQUIV. LENGTH. LONG-LINE APP. TO BE PROVIDED PER MFG. GUIDELINES WHEN REQUIRED. MC TO CONFIRM ALL LENGTHS WILL MEET MFG. REQUIREMENTS BEFORE INSTALLATION.
- PROVIDE SINGLE POINT ELECTRICAL CONNECTION FOR AIR HANDLING UNIT.
- PROVIDE NEW FILTER IN EACH UNIT AT TURNOVER TO OWNER.
- SYSTEMS SHALL HAVE A MINIMUM 14.3 SEER2 AND 7.5 HSPF2 RATING.
- PROVIDE HONEYWELL FOCUSPRO 5000 TH5220D1003 THERMOSTAT OR EQUAL.
- PROVIDE BI-FLOW TXV FOR HEAT PUMP OPERATION.
- AHU TO USE UPFLOW APPLICATION.
- RETURN AIR THROUGH GRILLE.
- DRAIN CONDENSATE TO HUB DRAIN.
- OUTSIDE AIR PROVIDED BY NATURAL VENTILATION AND INFILTRATION.
- OUTDOOR THERMOSTAT TO LOCK-OUT ELECTRIC HEAT WHEN TEMPERATURE IS 40°F OR HIGHER. PROVIDE UNIT WITH EMERGENCY HEAT OVERRIDE OPTION.
- LOW AMBIENT KIT DOWN TO 0°F.
- CATALOG NUMBERS AND MANUFACTURERS ARE TO INDICATE TYPE AND QUALITY OF UNIT DESIRED. SUBMIT CUTSHEETS OF THESE AND ALTERNATE MANUFACTURERS FOR ARCHITECT AND OWNER APPROVAL PRIOR TO PURCHASE OF ANY UNITS. INFORMATION ON ALTERNATE UNITS PROPOSED BY THE CONTRACTOR SHALL INCLUDE THE ADD/DEDUCT ASSOCIATED WITH ACCEPTANCE OF THAT UNIT (OR THE ALTERNATE PACKAGE AS A WHOLE).

### FAN SCHEDULE

UNIT NO.	SERVICE	AREA SERVED	CFM	S.P.	RPM	TYPE & ARRANGEMENT	MIN. MOTOR HP & VOLTAGE	MANUFACTURER & MODEL NO.	DRIVE	CONTROL SCHEME	REMARKS
EF-1	EXHAUST	UNITS	80	0.10"	MFG	CEILING	26.9 WATTS/0.5 A 120/1Ø	BROAN MODEL AEB0SL	DIRECT	A	1-6

#### NOTES:

- SCREEN
  - BACKDRAFT DAMPER
  - COLOR BY ARCHITECT
  - INTEGRAL DISCONNECT SWITCH
  - HUMIDITY SENSING
  - INTEGRAL LIGHT
- CONTROL OPTIONS:  
A. CONTROL W/ ROOM LIGHTS AND HUMIDITY SENSORS.

### DIFFUSER SCHEDULE

SYMBOL	CFM	NECK SIZE	MODULE SIZE	FRAME TYPE	PATTERN	DAMPER	MATERIAL	SERVICE	FINISH	MANUFACTURER & MODEL NO.	NOTES
A	AS NOTED	AS NOTED	AS NOTED	SURFACE	2-WAY	YES	ALUMINUM	SUPPLY	NOTE 2	HART & COOLEY A682	1-3
B	AS NOTED	AS NOTED	AS NOTED	SURFACE	FIX BLD.	NO	ALUMINUM	TRANSFER/RETURN	NOTE 2	HART & COOLEY A650	1-3
C	AS NOTED	AS NOTED	12x12	SURFACE	FIX BLD.	NO	STEEL	ACCESS	NOTE 2	HART & COOLEY 659	1-4

#### NOTES:

- DIFFUSER DESIGNATIONS ON PLANS AS FOLLOWS:
- FINISH TO MATCH / BE ABLE MATCH CEILING OR WALL OR DOOR.
- FACTORY INSULATION BACKING ON GRILLES EXPOSED TO NON-CONDITIONED AREAS. ALTERNATELY, FIELD SUPPLY AND INSTALL.
- HINGED ACCESS GRILLE TO BE ALUMINUM IF PREFERRED BY OWNERSHIP.

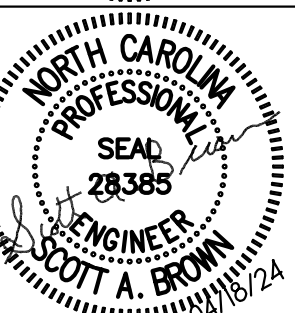
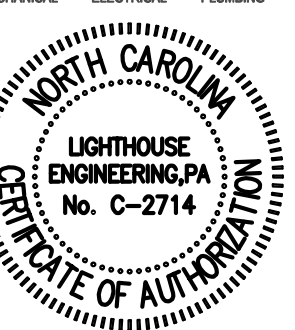
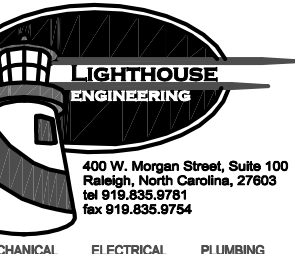
### MECHANICAL LEGEND

	RECTANGULAR DUCT
	ROUND METAL DUCT
	FLEXIBLE ROUND DUCT
	ELBOW WITH TURNING VANES
	SUPPLY TAP
	SUPPLY DIFFUSER/GRILLE OR RISER
	RETURN REGISTER/GRILLE OR RISER
	SIDEWALL DIFFUSER/GRILLE
	CEILING EXHAUST FAN
	T-STAT
	1' DOOR UNDER CUT

### Drawing Sheet List

#	Title
M0.0	MECHANICAL NOTES, SCHEDULES, & LEGEND
M0.1	MECHANICAL DETAILS
M1.0	MECHANICAL BUILDING 1 PLANS NC 15-1
M1.1	MECHANICAL BUILDING 2 & 3 PLANS NC 15-1
M1.2	MECHANICAL BUILDING 4 & 5 PLANS NC 15-1
M1.3	MECHANICAL BUILDING 6 & 7 PLANS NC 15-1
M1.4	MECHANICAL BUILDING 8 & 9 PLANS NC 15-1
M1.5	MECHANICAL BUILDING 14 PLANS NC 15-1
M1.6	MECHANICAL BUILDING 15 PLANS NC 15-1
M2.0	MECHANICAL UNIT PLANS NC 15-1
M2.1	MECHANICAL UNIT PLANS NC 15-1
M3.0	MECHANICAL UNIT PLANS NC 15-1
M3.1	MECHANICAL UNIT PLANS NC 15-1
M4.0	MECHANICAL UNIT PLANS NC 15-1
M4.1	MECHANICAL UNIT PLANS NC 15-1
M10.0	MECHANICAL BUILDING C & C-A PLANS NC 15-3
M11.0	MECHANICAL UNIT PLANS NC 15-3
M12.0	MECHANICAL UNIT PLANS NC 15-3
M12.1	MECHANICAL UNIT PLANS NC 15-3

REVISIONS



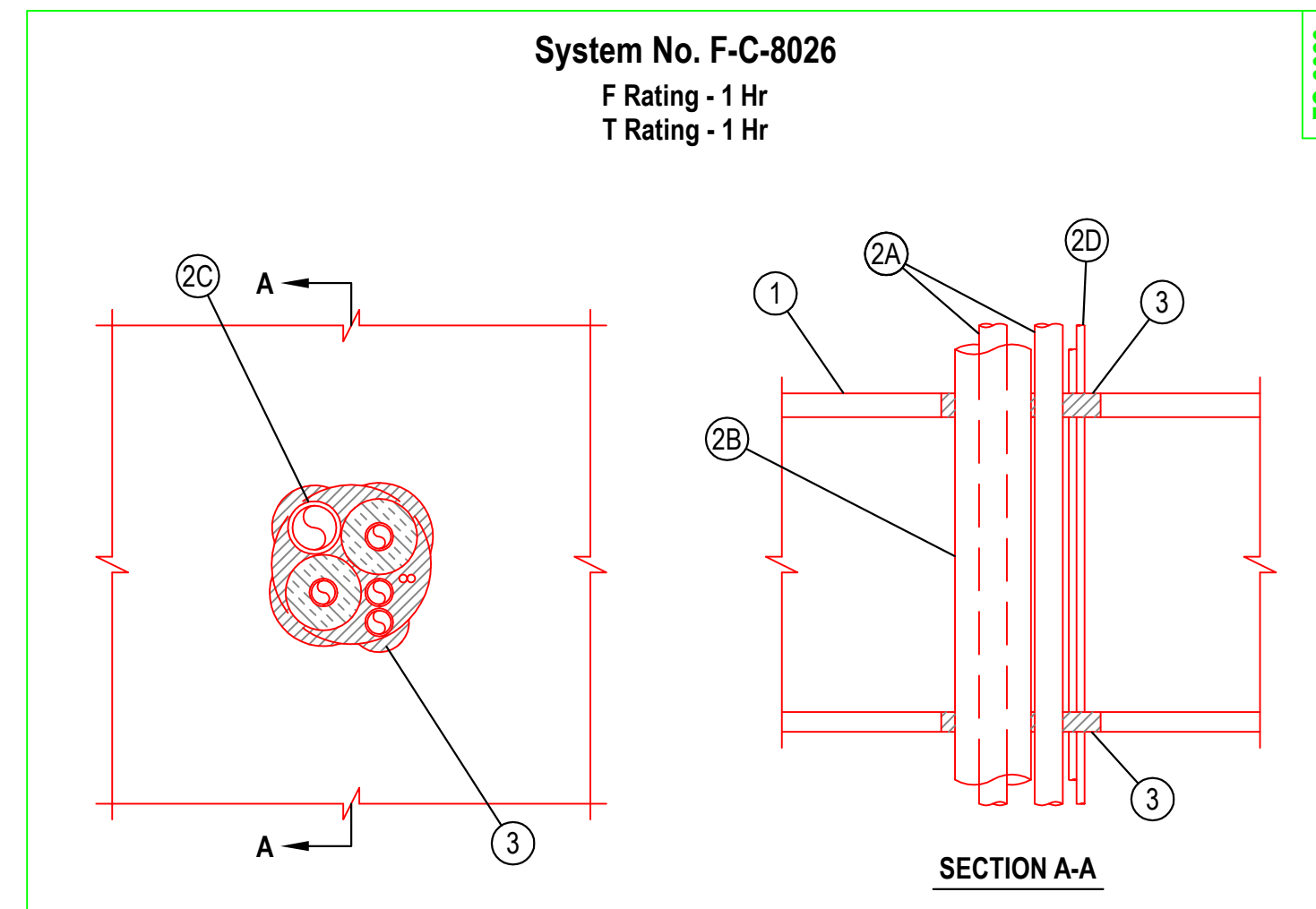
**Stogner Architecture, PA**  
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 615 East Broad Avenue, Rockingham, North Carolina, 28379  
 Phone 910-895-1111 Fax 910-895-6874

**Housing Authority of the City of Goldsboro**  
 RENOVATIONS - FAIRVIEW APARTMENTS  
 NC 15-1 FAIRVIEW CIRCLE  
 GOLDSBORO, NORTH CAROLINA

MECHANICAL NOTES, SCHEDULES, & LEGEND

COMM. NO.: 6041-B  
 DRAWN BY: WER  
 CHECKED BY: SAB  
 DATE: APR. 2, 2024  
 SHEET NO.

M0.0



FC 8026

1. Floor-Ceiling Assembly -- The 1 hr fire-rated solid or trussed lumber joist floor-ceiling assembly shall be constructed of the materials and in the manner specified in the individual L500 Series Floor-Ceiling Designs in the UL Fire Resistance Directory. The general construction features of the floor-ceiling assembly are summarized below:

A. Flooring System -- Lumber or plywood subfloor with finish floor of lumber, plywood or Floor Topping Mixture\* as specified in the individual Floor-Ceiling Design. Max diam of opening shall be 5 in.

B. Wood Joists\* -- Nom 10 in. deep (or deeper) lumber, steel or combination lumber and steel joists, trusses or Structural Wood Members\* with bridging as required and with ends firestopped.

C. Gypsum Board\* -- Nom 4 ft wide by 5/8 in. thick as specified in the individual Floor-Ceiling Design. Gypsum board secured to wood joists or furring channels as specified in the individual Floor-Ceiling Design.

1A. Chase Wall -- (Optional, Not Shown) - The through penetrants (Item 2) may be routed through a 1 hr fire rated single, double or staggered wood stud/gypsum board chase wall. Depth of chase wall stud cavity to be min 1/2 in. greater than diameter of opening cut in sole and top plates to accommodate the through penetrant (Item 2). The chase wall shall be constructed of the materials and in the manner specified in the individual U300 Series Wall and Partition Designs in the UL Fire Resistance Directory and shall include the following construction features:

A. Studs -- Nom 2 by 4 in., 2 by 6 in. or double nom 2 by 4 in. lumber studs.

B. Sole Plate -- Nom 2 by 4 in., 2 by 6 in. or parallel 2 by 4 in. lumber plates, tightly butted. Max diam of opening is 5 in.

C. Top Plate -- The double top plate shall consist of two nom 2 by 4 in., two nom 2 by 6 in. or two sets of parallel 2 by 4 in. lumber plates, tightly butted. Max diam of opening is 5 in.

D. Gypsum Board\* -- Thickness, type, number of layers and fasteners shall be as specified in the individual Wall and Partition Design.

2. Through Penetrants -- One or more pipes, conduits, tubing and cables to be installed concentrically or eccentrically within the opening. The space between any penetrant, except nonmetallic pipes and uninsulated metallic pipes to be min 0 in. (point contact) to max 1 in. The space between any penetrants and the periphery of the opening shall be min 0 in. (point contact) to max 1 in. Pipes, conduits, tubing and cables to be rigidly supported on both sides of floor-ceiling assembly.

A. Metallic Penetrants -- One or more metallic pipes, conduits or tubing to be installed within the firestop system. The following types and sizes of metallic pipes, conduits or tubing may be used:

A1. Steel Pipe -- Nom 3/4 in. diam (or smaller) Schedule 10 (or heavier) steel pipe.

A2. Conduit -- Nom 3/4 in. diam (or smaller) steel electrical metallic tubing (EMT) or 3/4 in. diam galv steel conduit.

A3. Copper Tube -- Nom 3/4 in. diam (or smaller) Type L (or heavier) copper tube.

A4. Copper Pipe -- Nom 3/4 in. diam (or smaller) Regular (or heavier) copper pipe.

B. Tube Insulation - Plastics+ -- Nom 3/4 in. thick acrylonitrile butadiene/polyvinyl chloride (AB/PVC) flexible foam furnished in the form of tubing. Tube insulation to be installed on one or more of the metallic pipes or tubes (Item 2A). See Plastics+ (QMF22) category in the Plastics Recognized Component Directory for names of manufacturers. Any Recognized Component tube insulation material meeting the above specifications and having a UL 94 Flammability Classification of 94-5VA may be used.

C. Nonmetallic Through Penetrants -- One nonmetallic pipe to be installed within the firestop system. Pipe shall be spaced a min 1-1/2 in. from non-uninsulated metallic through penetrants. The following types and sizes of metallic pipes may be used:

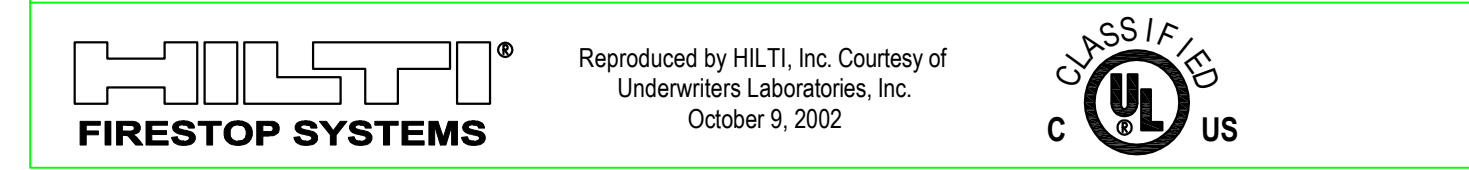
C1. Polyvinyl Chloride (PVC) Pipe -- Nom 1-1/4 in. diam (or smaller) Schedule 40 solid core PVC pipe for use in closed (process or supply) or vented (drain, waste or vent) piping system.

C2. Chlorinated Polyvinyl Chloride (CPVC) Pipe -- Nom 1-1/4 in. diam (or smaller) SDR13.5 CPVC pipe for use in closed (process or supply) piping systems.

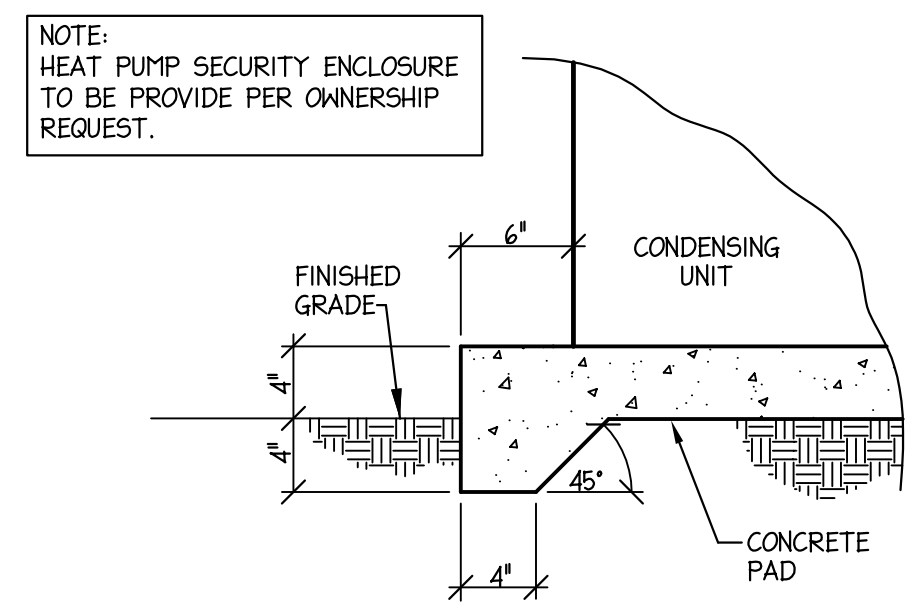
D. Cables -- Max of two 4 pair No. 18 AWG (or smaller) cable with PVC insulation and jacket materials.

3. Fill, Void or Cavity Materials\* -- Sealant -- Min 3/4 in. thickness of sealant applied within the annulus flush with the top surface of the floor or sole plate and min 5/8 in. thickness of sealant applied within the annulus flush with the bottom surface of gypsum board or top plate. A min 1/4 in. diameter bead of sealant applied at the bundle/subflooring or sole plate interface and the bundle/gypsum board or top plate interface at point contact locations.

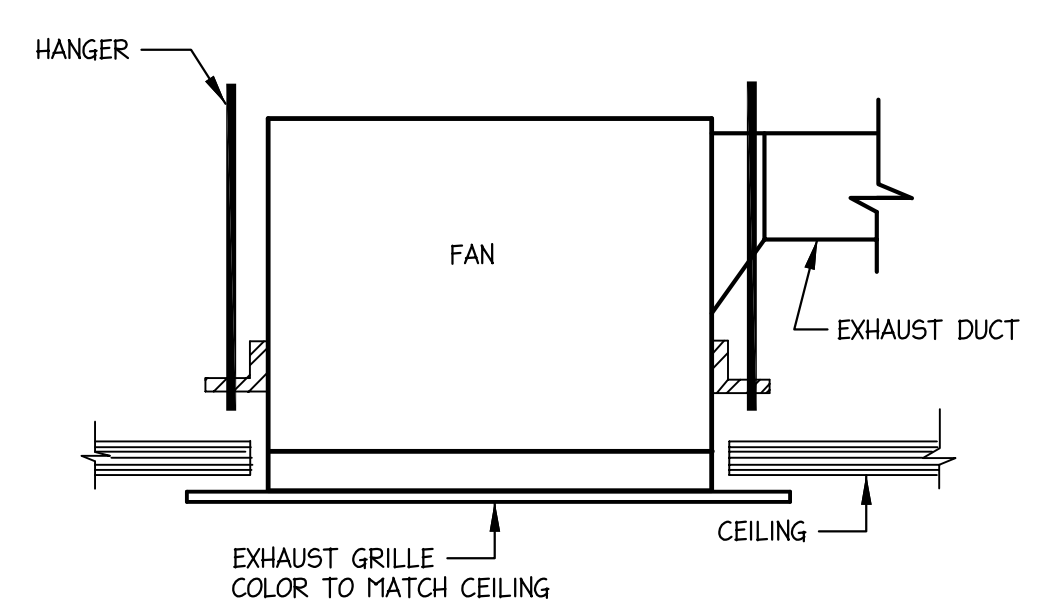
HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC -- FS-ONE Sealant  
 \*Bearing the UL Classification Mark  
 \*Bearing the UL Recognized Component Mark



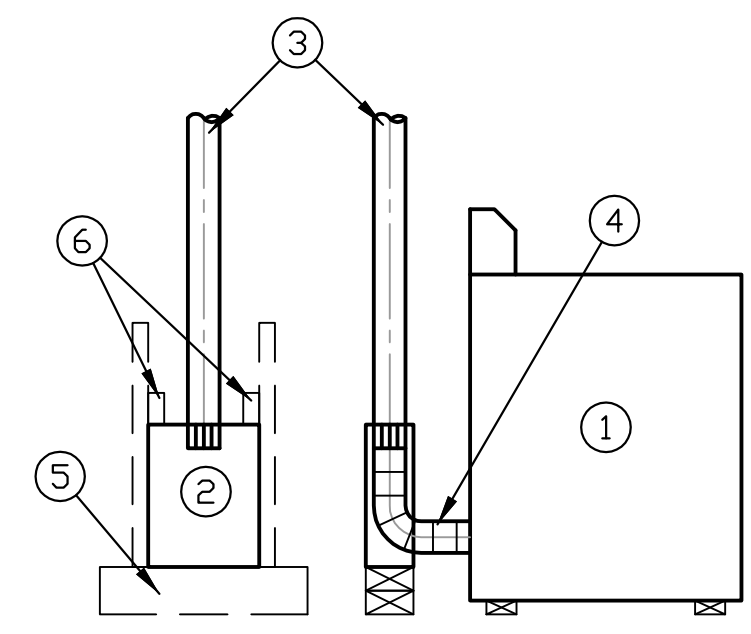
3 HVAC LINE SET PENETRATION DETAIL NO SCALE



6 HEAT PUMP UNIT PAD DETAIL NO SCALE

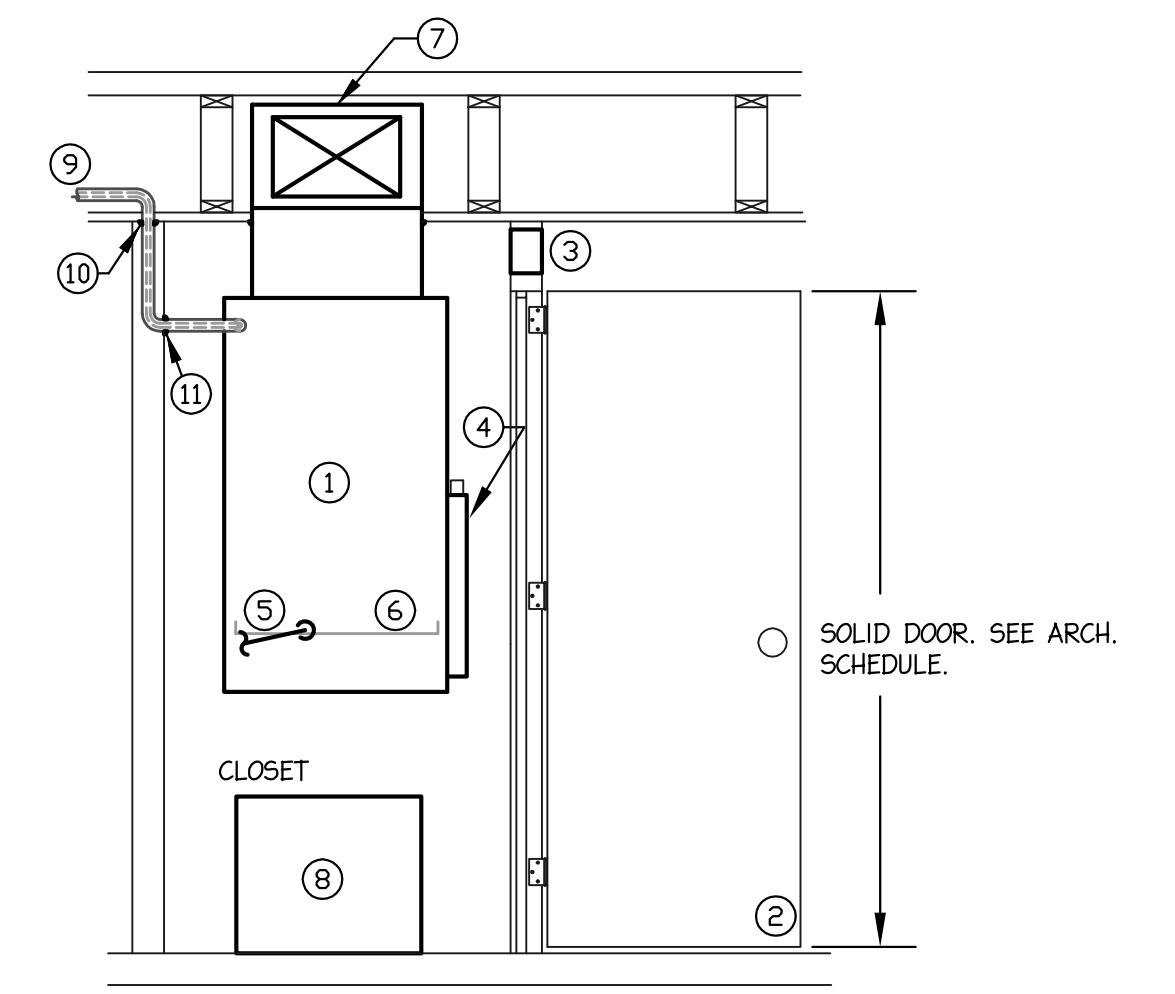


5 EXHAUST FAN DETAIL - NON-RATED CEILING NO SCALE



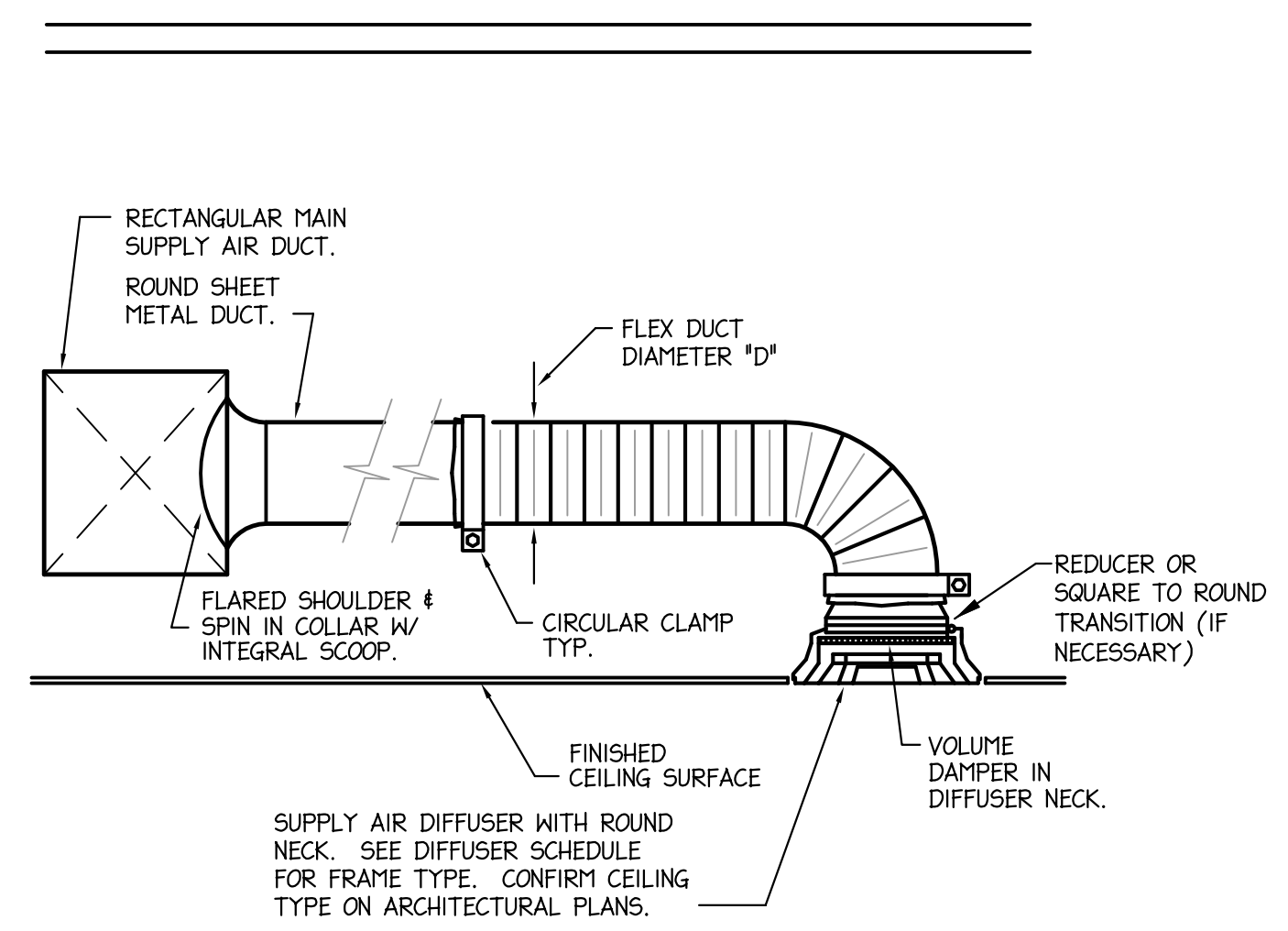
- 1. RESIDENTIAL DRYER
- 2. RECESSED METAL BOX (18"x14"x5 1/2")
- 3. 4" DRYER VENT
- 4. DRYER FLEX HOSE
- 5. ONE 2x6 BLOCK ON BOTTOM PLATE
- 6. 2x4 BLOCKING

4 RECESSED METAL BOX FOR DRYER EXHAUST NO SCALE



- NOTES:
- 1 AIR HANDLER IN CLOSET, FRONT RETURN.
  - 2 SOLID DOOR.
  - 3 RA GRILLE HIGH ON SIDEWALL.
  - 4 FILTER RACK FOR 1" THROW-AWAY (PROVIDE FILTER)
  - 5 3/4" DRAIN FROM AH CONDENSATE TO HUB DRAIN. (THIS CONNECTION MUST BE IN A VISIBLE LOCATION.)
  - 6 MICROFLOAT SWITCH LOCATED IN PRIMARY DRAIN PAN AT A POINT HIGHER THAN PRIMARY DRAIN LOCATION. INTERLOCK FLOAT SWITCH W/ A.H.
  - 7 SUPPLY DUCT IN FLOOR/CEILING SPACE.
  - 8 WATER HEATER. SEE PLUMBING DRAWINGS FOR SIZE.
  - 9 REFRIGERANT LINE SET
  - 10 APPROVED FIRE STOP SEALANT (RATED FLOOR/CEIL. ASSEMBLIES ONLY)
  - 11 NON-HARDENING SEALANT AROUND ALL CLOSET PENETRATIONS

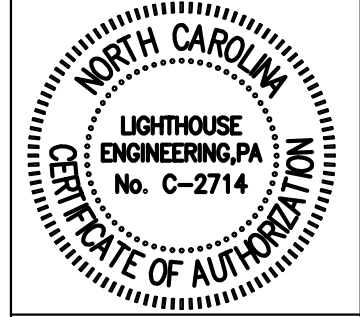
1 UNIT AIR HANDLER DETAIL NO SCALE



NOTE:  
 1. SEE HVAC GENERAL NOTES FOR DUCT INSULATION REQUIREMENTS.

2 SUPPLY AIR DIFFUSER DETAIL NO SCALE

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 NC 15-1 FAIRVIEW CIRCLE  
 GOLDSBORO, NORTH CAROLINA

MECHANICAL DETAILS

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 CHECKED BY: SAB  
 DATE: APR. 2, 2024  
 SHEET NO.

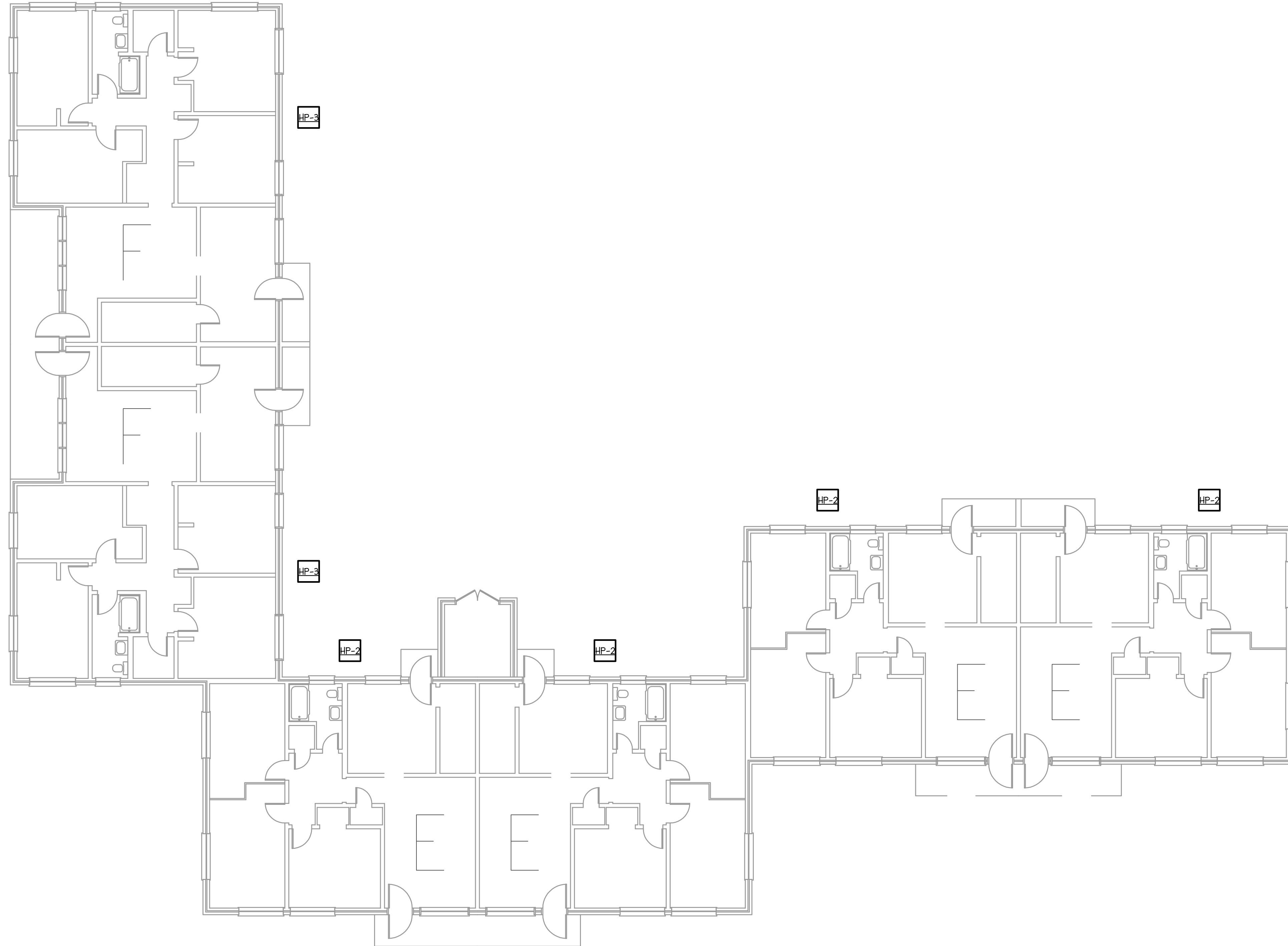
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20/18 2024/03/18

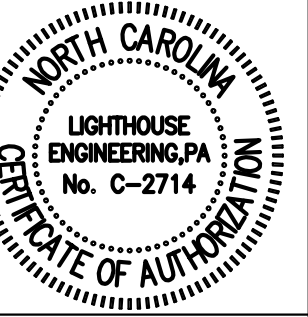
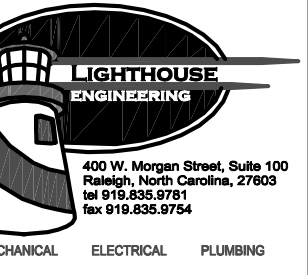
A  
B  
C  
D

1 2 3 4



**1** BUILDING 1 - NC 15-1  
1/8"=1'-0" FAIRVIEW CIRCLE

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MECHANICAL  
 BUILDING 1 PLANS  
 NC 15-1

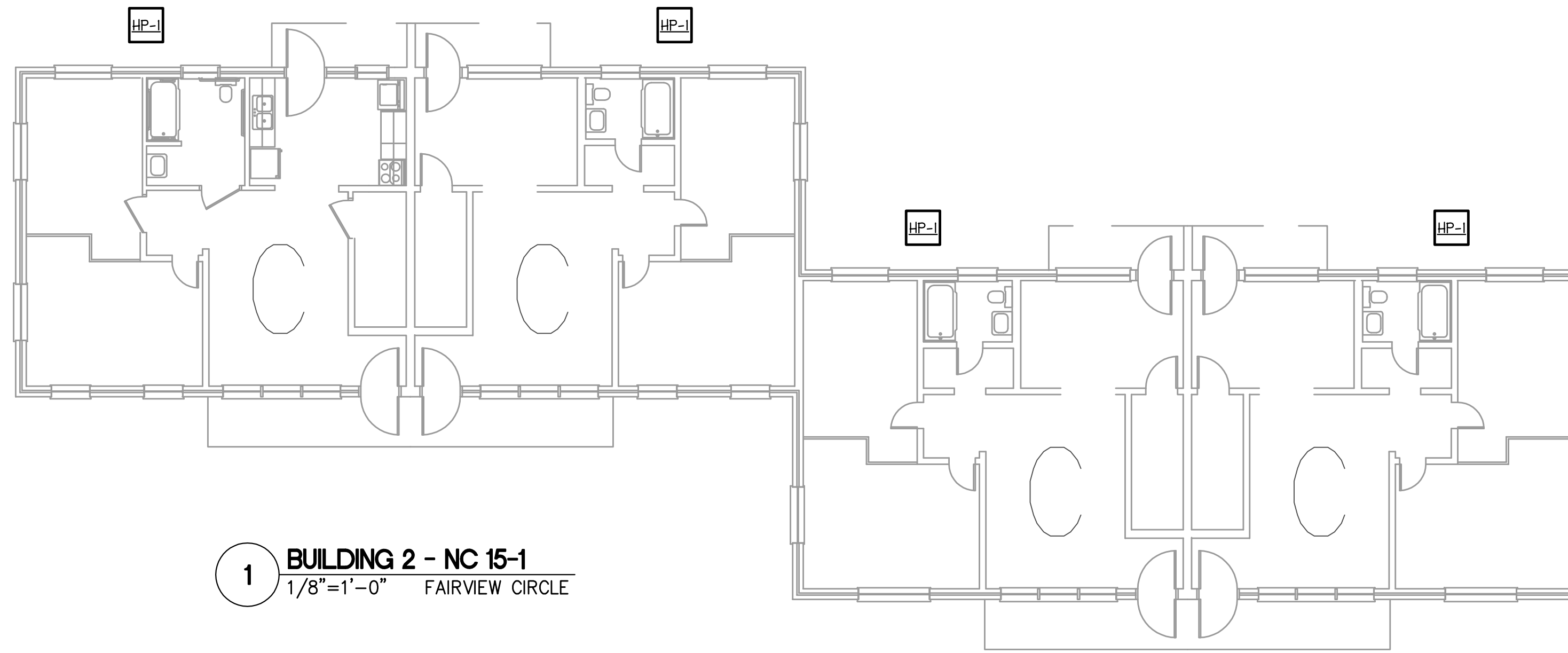
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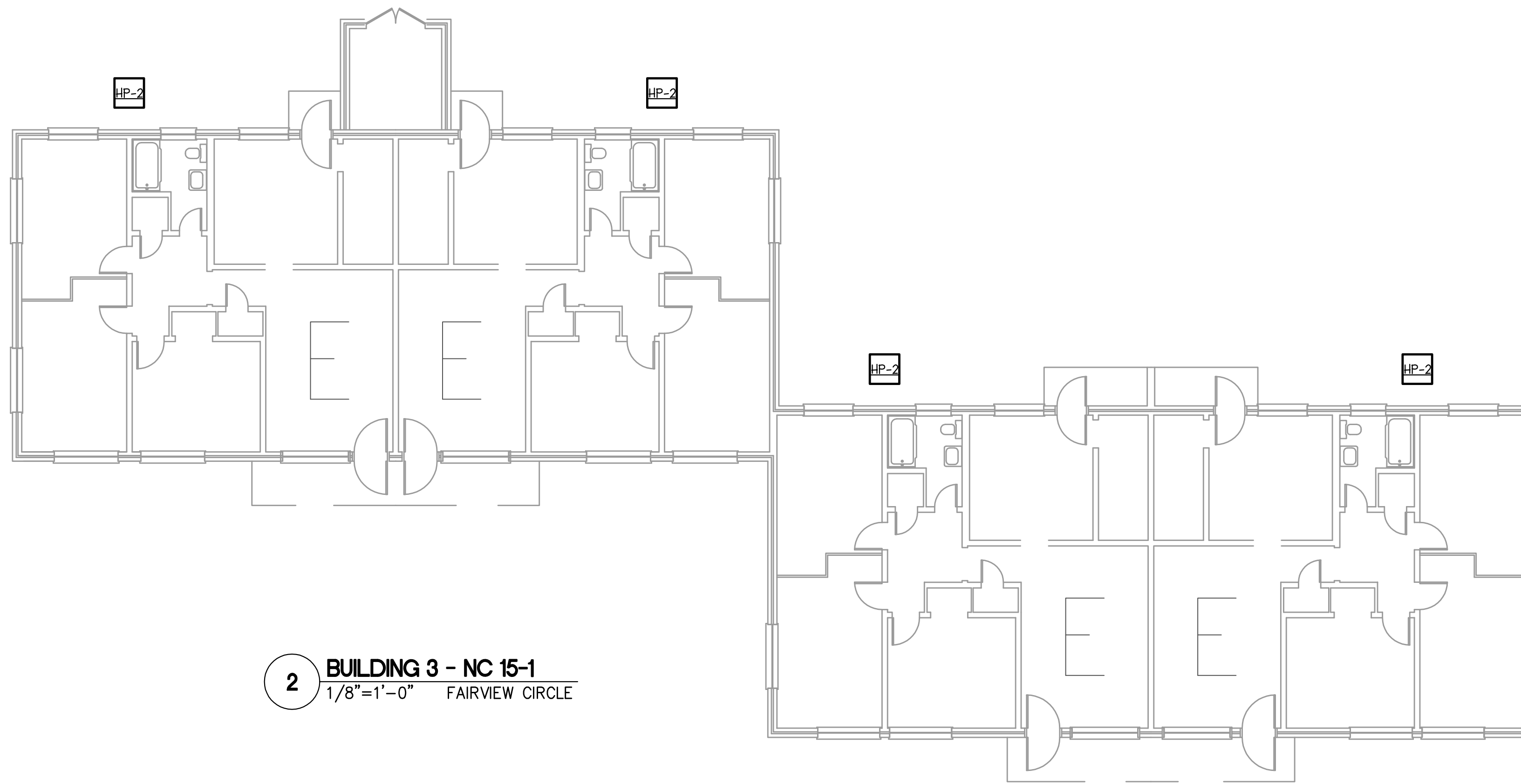
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SHEET NO.

M10



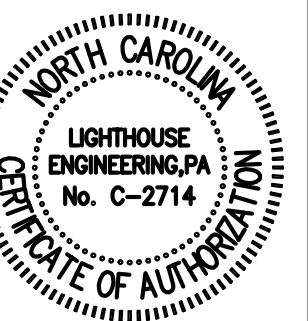
1 **BUILDING 2 - NC 15-1**  
1/8"=1'-0" FAIRVIEW CIRCLE



2 **BUILDING 3 - NC 15-1**  
1/8"=1'-0" FAIRVIEW CIRCLE

PROJECT: FAIRVIEW MECHANICAL BUILDING 2 & 3, FAIRVIEW NC 15-1.dwg  
 DATE: 04/18/2024 10:27AM

REVISIONS



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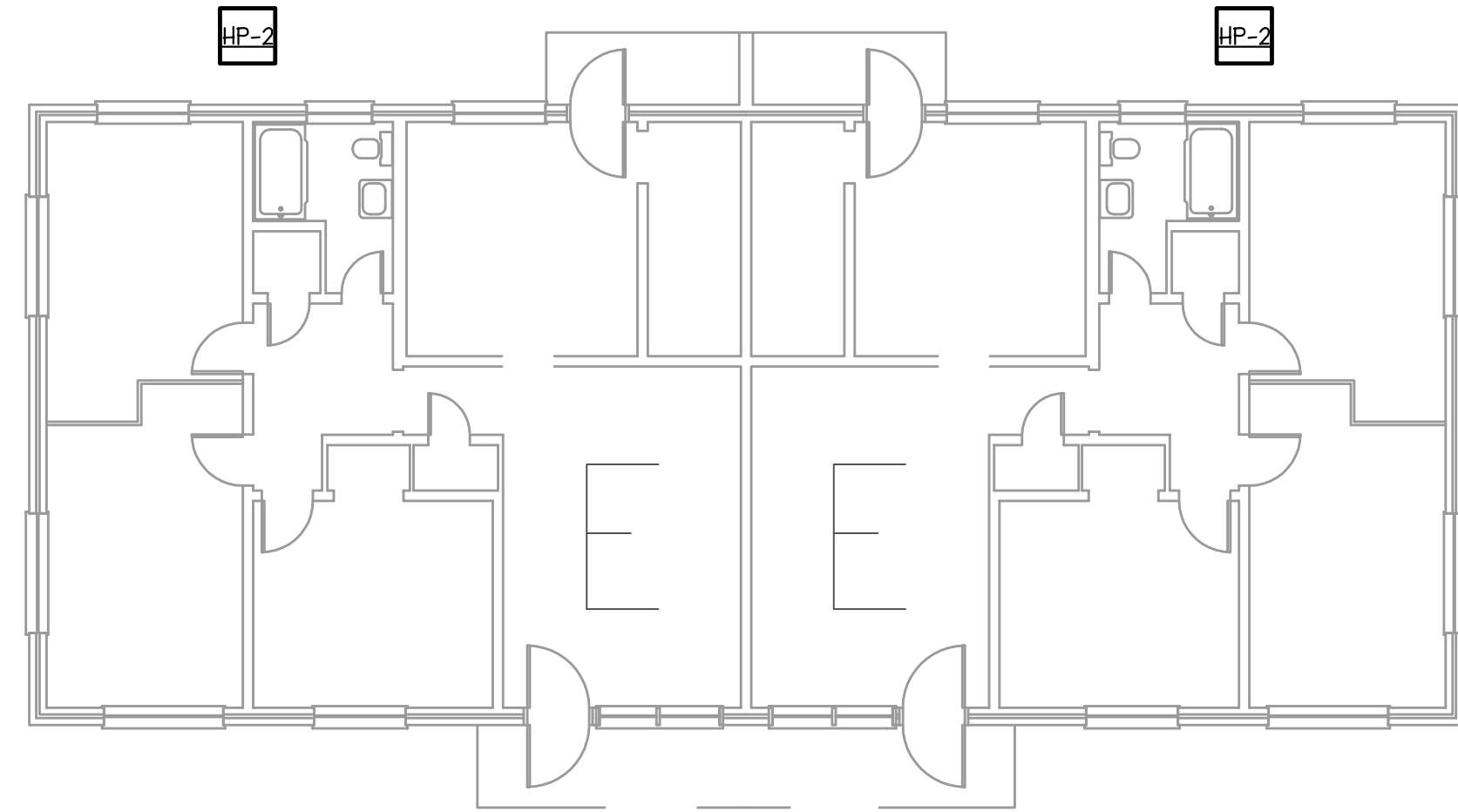
Housing Authority of the  
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 NC 15-1 FAIRVIEW CIRCLE  
 GOLDSBORO, NORTH CAROLINA

MECHANICAL  
 BUILDING 2 & 3 PLANS  
 NC 15-1

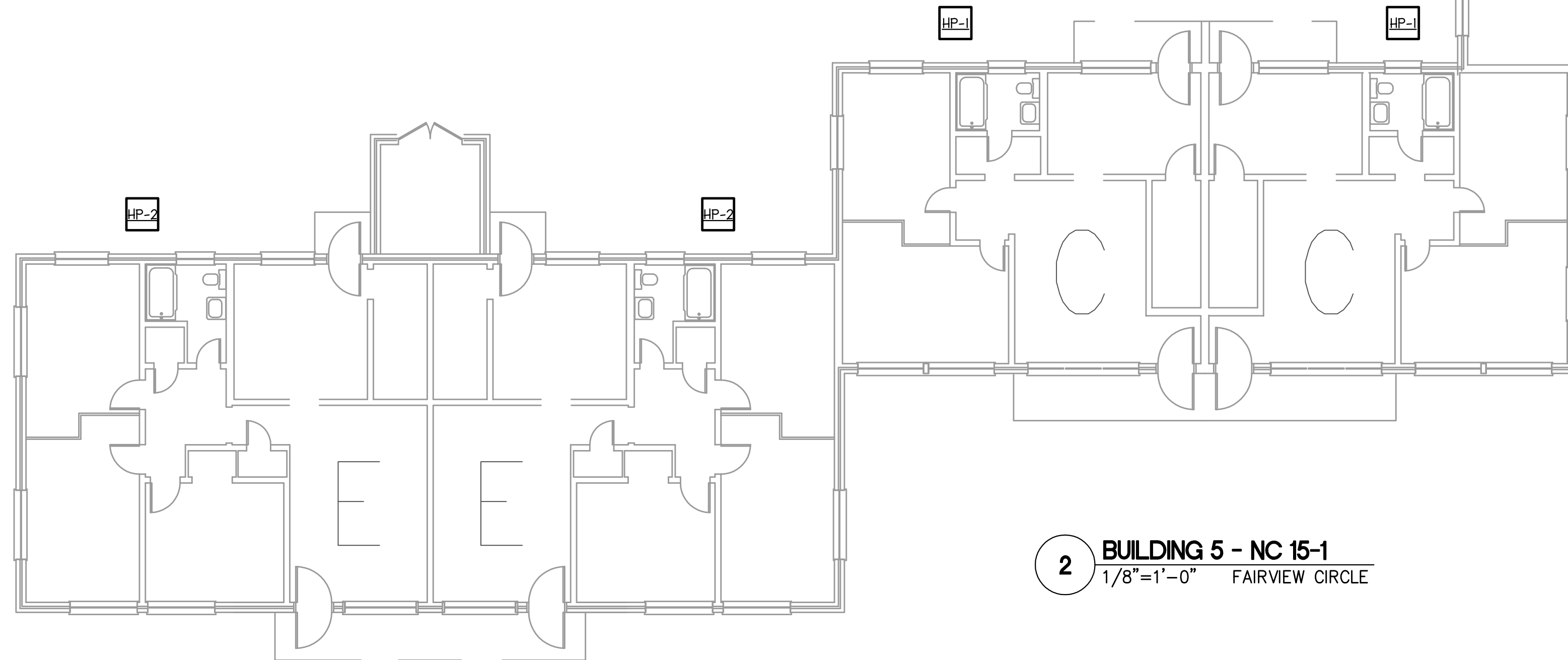
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 DATE: APR. 2, 2024  
 SHEET NO.

M1.1





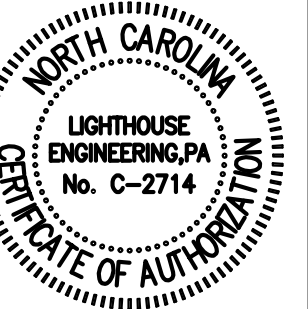
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1/8"=1'-0" FAIRVIEW CIRCLE



**2** BUILDING 5 - NC 15-1  
1/8"=1'-0" FAIRVIEW CIRCLE

PROJECT: FAIRVIEW MECHANICAL BUILDING 4 & 5 (FAIRVIEW NC 15-1) DWG  
 DATE: 04/02/2024 09:30AM

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 NC 15-1, FAIRVIEW CIRCLE  
 GOLDSBORO, NORTH CAROLINA

MECHANICAL  
 BUILDING 4 & 5 PLANS  
 NC 15-1

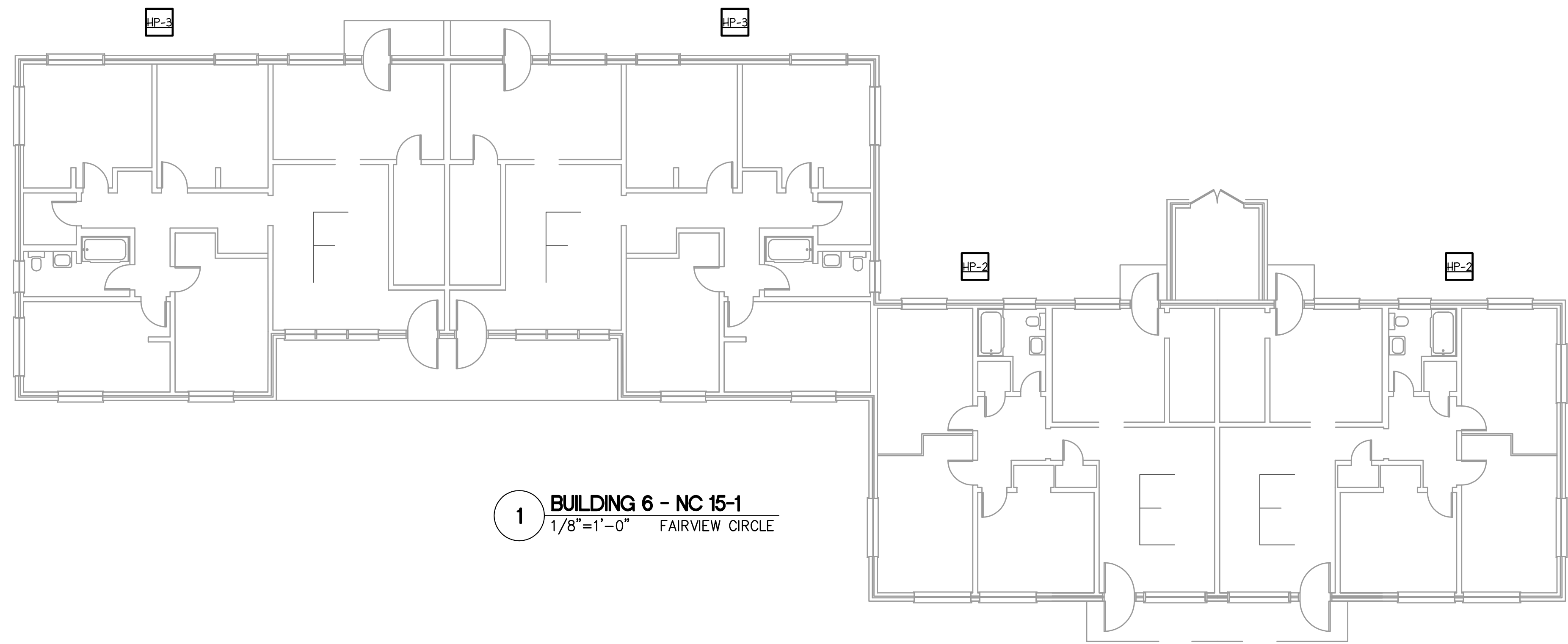
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M12

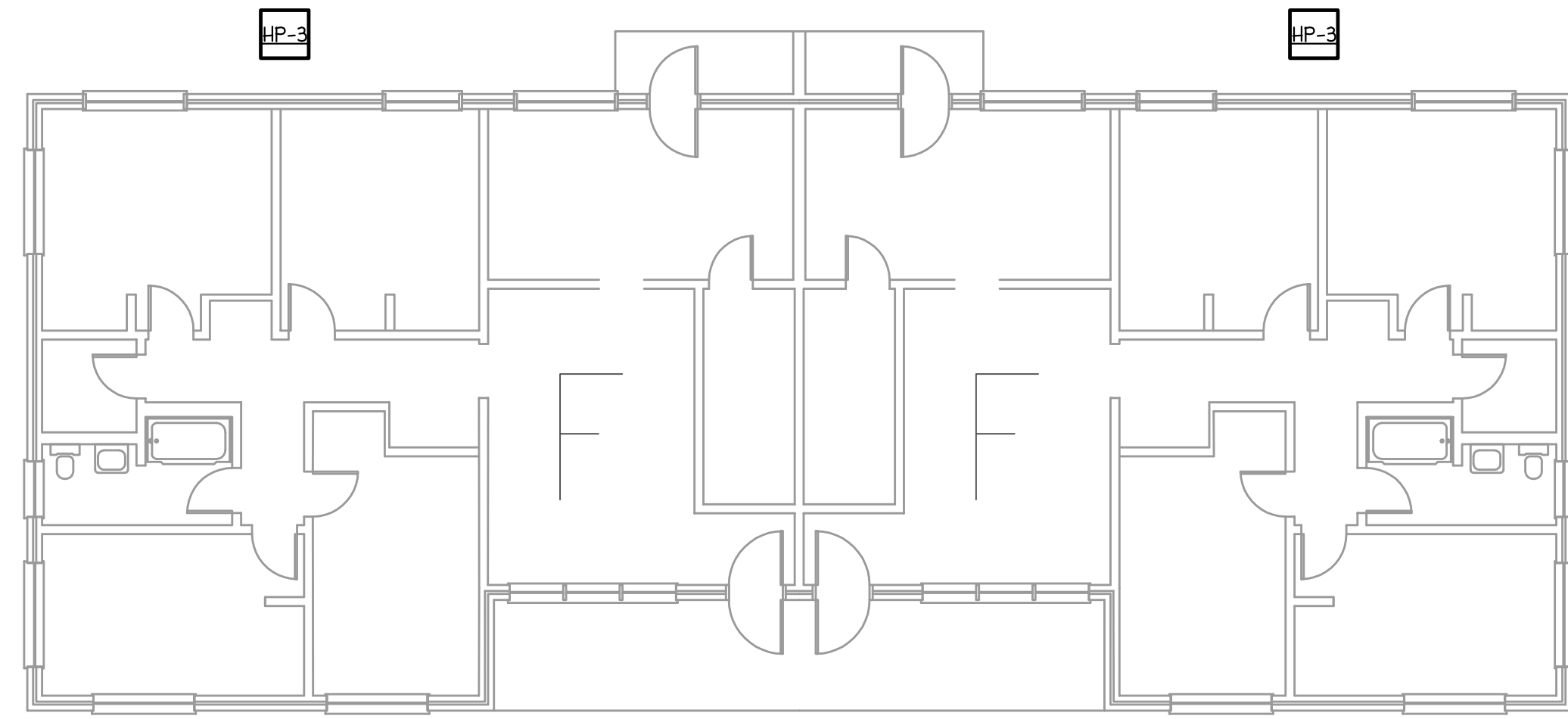
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DATE: 2024.03.20

A  
B  
C  
D

1 2 3 4

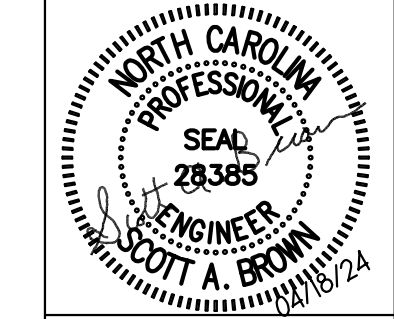
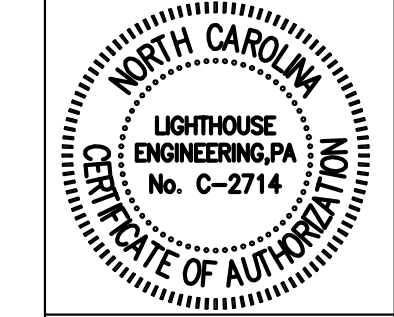
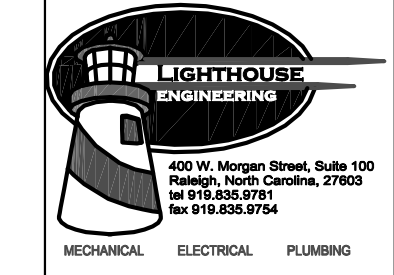


1 **BUILDING 6 - NC 15-1**  
1/8"=1'-0" FAIRVIEW CIRCLE



2 **BUILDING 7 - NC 15-1**  
1/8"=1'-0" FAIRVIEW CIRCLE

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NC 15-1 FAIRVIEW CIRCLE  
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MECHANICAL  
BUILDING 6 & 7 PLANS  
NC 15-1

COMM. NO.: 6041-B

DRAWN BY: WER

CHECKED BY: SAB

DATE: APR. 2, 2024

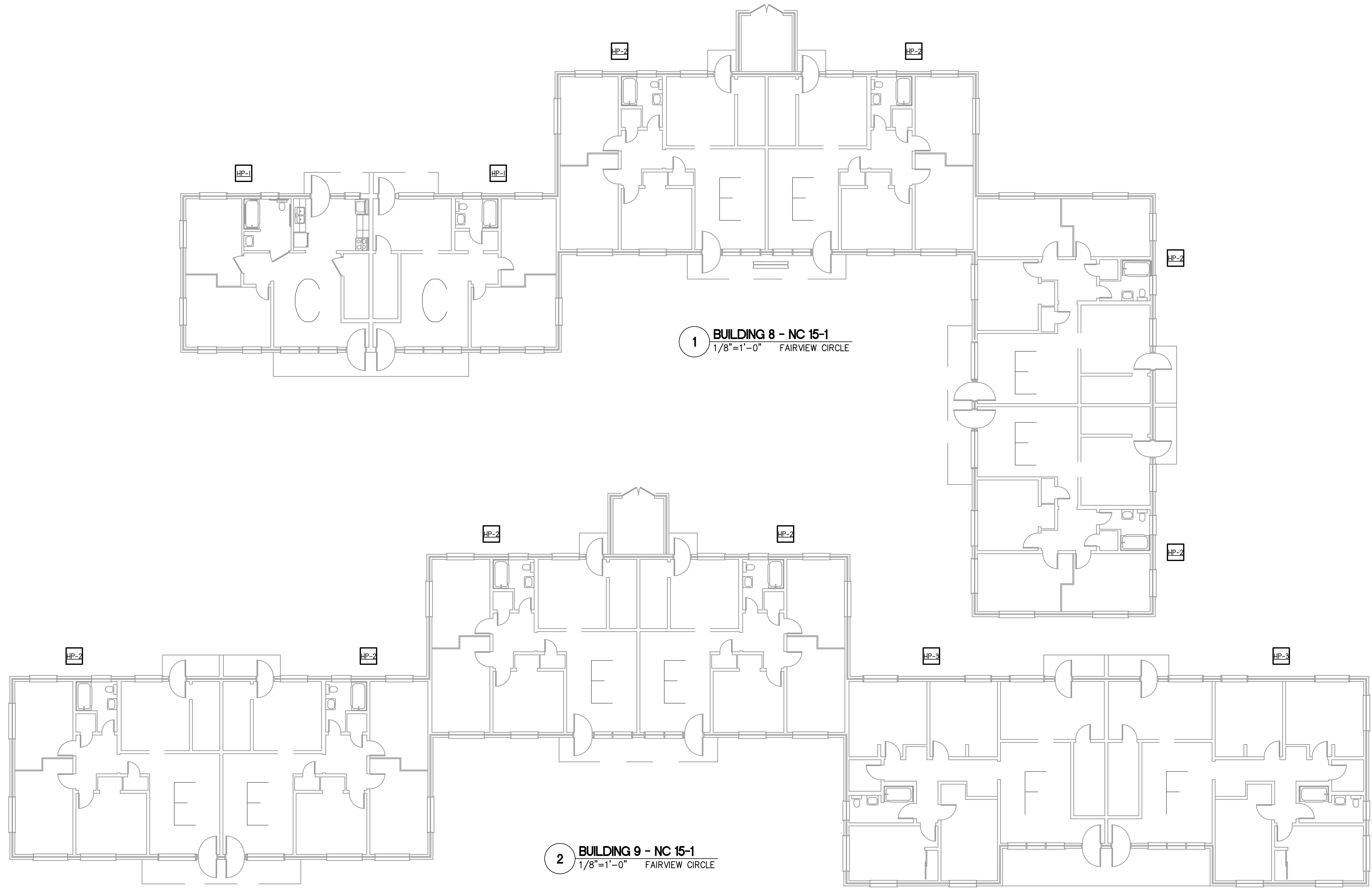
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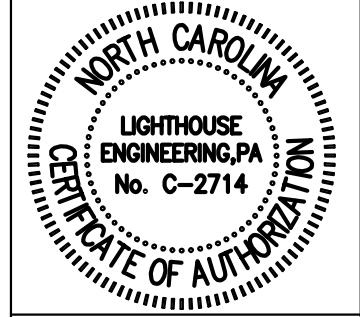
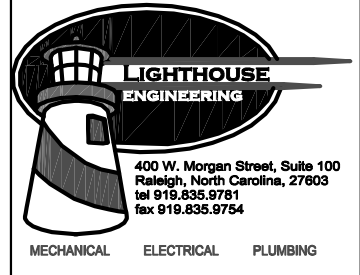
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REVISIONS



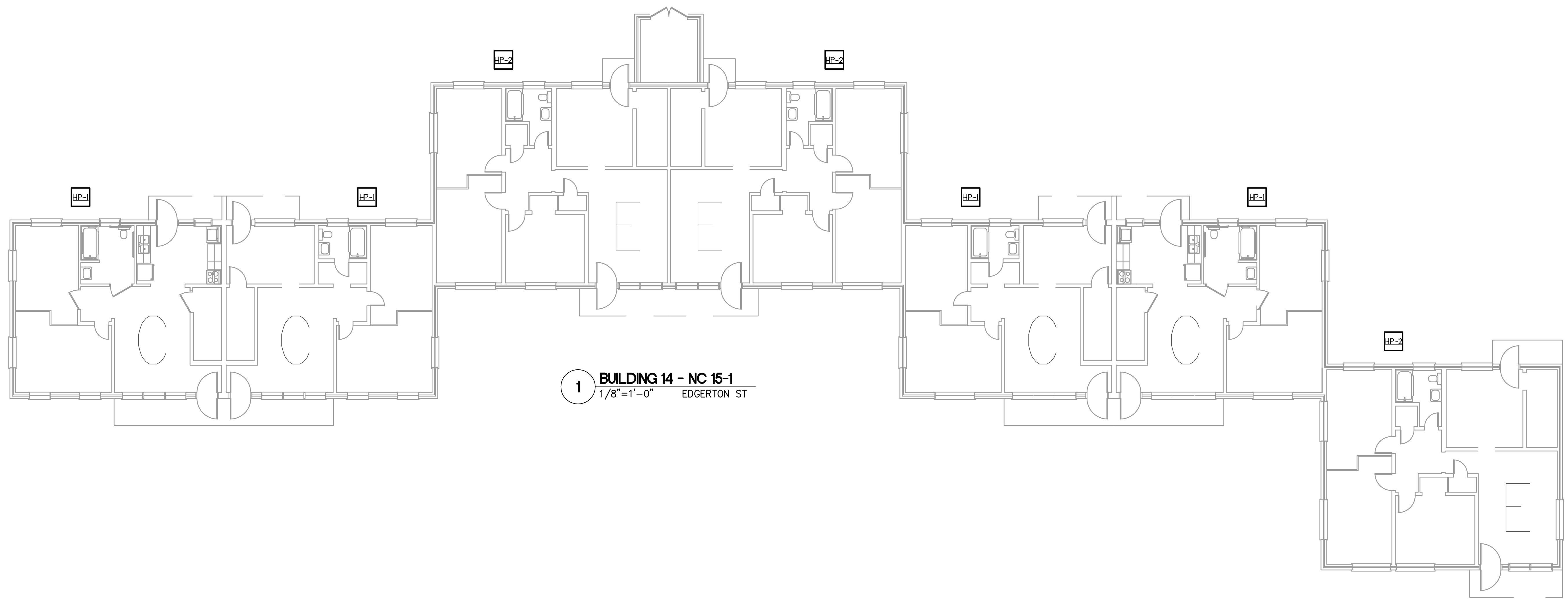
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 NC 15-1 FAIRVIEW CIRCLE  
 GOLDSBORO, NORTH CAROLINA

MECHANICAL  
 BUILDING 8 & 9 PLANS  
 NC 15-1

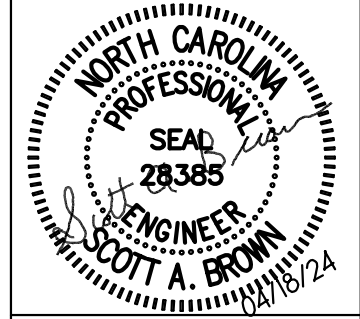
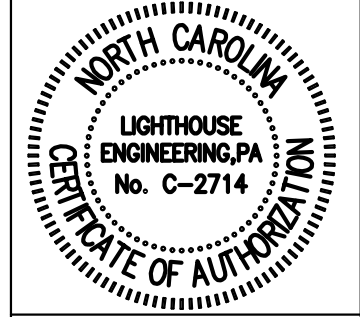
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 SHEET NO. **M14**

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20/11/2024 8:30:20



1 **BUILDING 14 - NC 15-1**  
1/8"=1'-0" EDGERTON ST

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NC 15-1, FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

MECHANICAL  
BUILDING 14 PLANS  
NC 15-1

COMM. NO.: 6041-B

DRAWN BY: WER

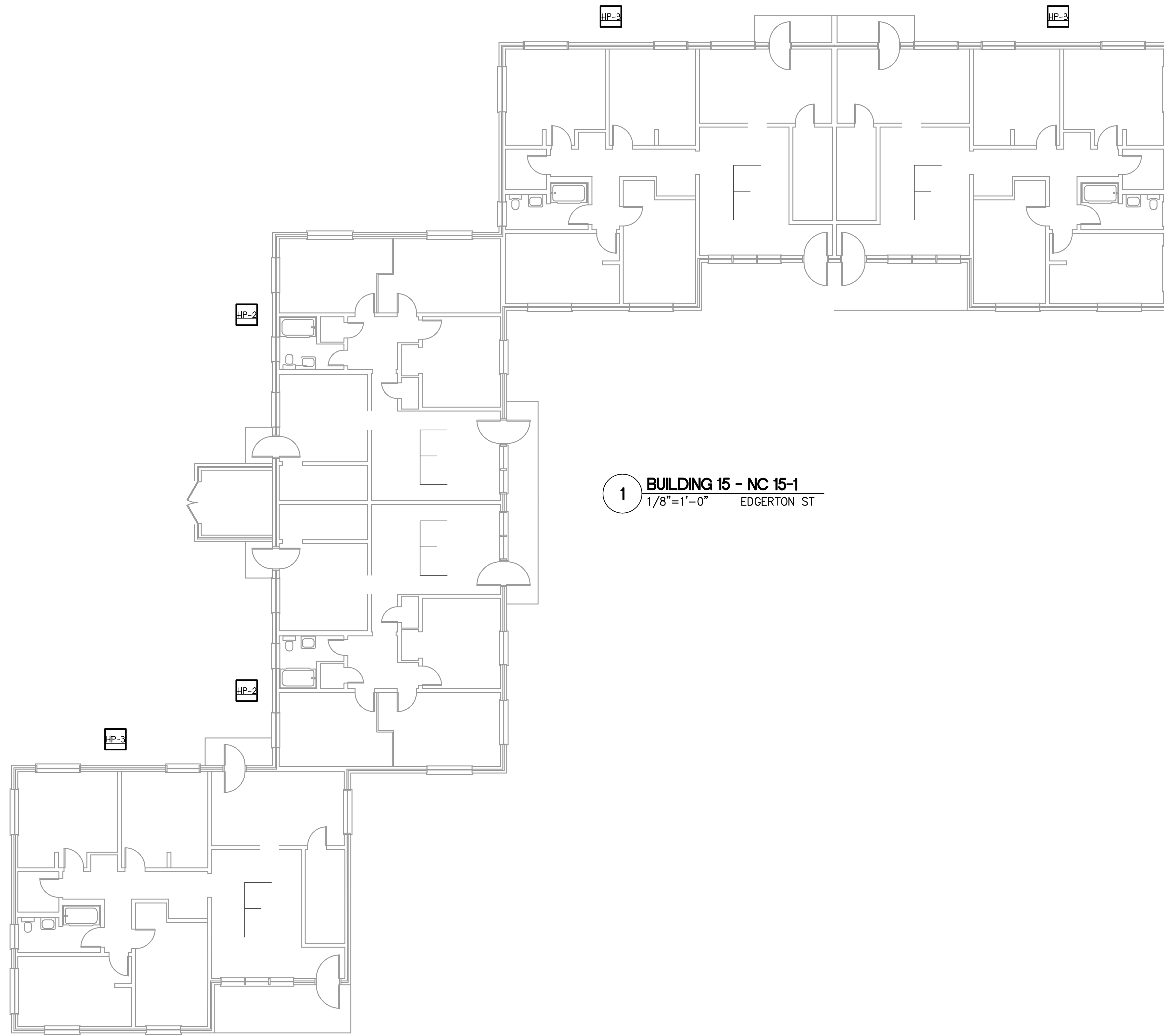
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DATE: APR. 2, 2024

SHEET NO.

M15

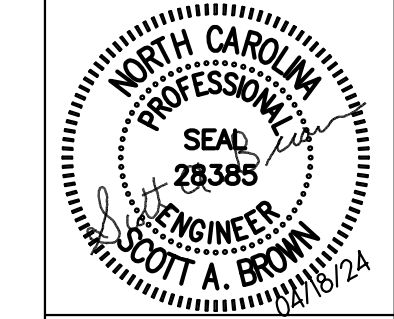
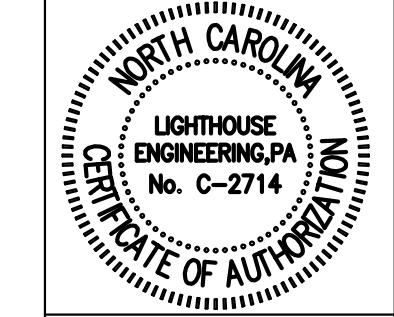
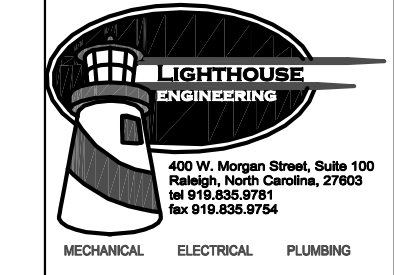




**1** BUILDING 15 - NC 15-1  
1/8"=1'-0" EDGERTON ST

6041B BID SET DRAWINGS - BUILDING 15 PLANS NC 15-1.dwg  
 04/18/2024 8:30am

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 NC 15-1, FAIRVIEW CIRCLE  
 GOLDSBORO, NORTH CAROLINA

MECHANICAL  
 BUILDING 15 PLANS  
 NC 15-1

COMM. NO.: 6041-B  
 DRAWN BY: WER  
 CHECKED BY: SAB  
 DATE: APR. 2, 2024  
 SHEET NO.

M16

**GENERAL NOTES - THIS SHEET**

- HVAC UNIT & SUPPORTS FURNISHED & INSTALLED BY MECH. CONTRACTOR. UNIT SIZE, INSTALLATION, ETC., TO BE COORDINATED WITH GC & FRAMING CONTRACTOR.
- AIR HANDLER RETURN THROUGH LOUVER ABOVE DOOR. INSTALL GRILLE ON WALL ABOVE DOOR CLOSE TO CEILING. CONFIRM WITH ARCHITECT WHICH DIRECTION BLADES ARE FACING BEFORE INSTALLATION. GRILLE MAY ALSO BE USED AS ACCESS TO DAMPER IN DUCT IF REQUIRED. GRILLE NOT TO EXCEED A VELOCITY OF 500 FPM. TYPICAL SIZING GUIDELINES ARE AS FOLLOWS BUT SHOULD BE CONFIRMED WITH MFG PERFORMANCE DATA BEFORE INSTALLATION.  
  
1.5 TON UNIT = 30x12  
2.0 TON UNIT = 30x12  
2.5 TON UNIT = 30x14
- 3/4" CONDENSATE DRAIN ROUTED TO HUB DRAIN (HD BY PC) IN MECH. CLOSET. REFER TO PLUMBING RISERS, COORDINATE W/ DUCTS, G.C., FRAMING CONTR., STRUCTURE, ETC.
- SUPPLY AIR PLENUM OFF AIR HANDLING UNIT SHALL BE MIN. 4' LONG. TYPICAL ALL UNITS.
- SUPPLY AIR DUCT TRUNK TO RUN BETWEEN JOISTS. CONFIRM DIRECTION OF JOISTS DURING CONSTRUCTION AND ROTATE TRUNK 90° IF REQUIRED.
- M.C. TO PROVIDE RECESSED BOX FOR DRYER VENT CONNECTION (BOX MUST BE APPROPRIATELY FIRE RATED IF INSTALLED IN A RATED WALL). MOUNT DRYER BOX AT 6" A.F.F FOR FLOOR MOUNTED DRYER. 4" DRYER VENT TO RUN FROM TOP OF DRYER BOX UP INTO FLOOR/CEILING ASSEMBLY ABOVE.
- DRYER VENT PIPE SHALL BE 4" SINGLE WALL RIGID SHEETMETAL PER MECH. CODE. AT ROOF TERMINATION, M.C. TO PROVIDE 4" DRYER VENT ROOF CAP WITH BACKDRAFT DAMPER & TO CAULK BEHIND CAP WITH 100% SILICONE.
- BATHROOM EXHAUST DUCT SHALL BE 4" SINGLE WALL RIGID SHEETMETAL. AT ROOF TERMINATION, M.C. TO PROVIDE 4" VENT CAP WITH BACKDRAFT DAMPER & INSECT SCREEN & TO CAULK BEHIND CAP WITH 100% SILICONE.
- ALL BATHROOM DOORS TO HAVE UNDERCUTS FOR AIR TRANSFER.
- ALL ROOMS WITH SUPPLY AIR TO HAVE 1" DOOR UNDERCUTS FOR RETURN.
- AN APPROVED RECIRCULATING RANGE HOOD IS TO BE INSTALLED ABOVE KITCHEN RANGE.
- PROVIDE TRANSFER GRILLES FOR MAKE-UP AIR TO DRYER CLOSET AS SHOWN. MIN. FREE AREA OF 120 SQIN IS REQUIRED. INSTALL GRILLES HIGH ON WALL.
- CEILINGS IN DWELLING UNITS ARE NOT RATED. LIFE SAFETY DAMPERS ARE NOT REQUIRED AT NON-RATED CEILING PENETRATIONS.

**TAGGED NOTES**

- CLOSET CEILING TO BE DROPPED TO FACILITATE RETURN AIR GRILLE AND ASSOCIATED DUCT BACK INTO CLOSET HIGH ON WALL. PROVIDE MINIMUM 20x8 DUCT OFF OF BACK OF GRILLE FOR RETURN AIR.
- PROVIDE 12x12 GRILLE TYPE 'C' WITHOUT A FILTER, FOR ACCESS TO HUB DRAIN IN WALL.
- AIR HANDLER AND WATER HEATER TO BE LOCATED AT OPPOSITE ENDS OF MECHANICAL CLOSET PER OWNER REQUEST.

**HATCH LEGEND**



**NATURAL VENTILATION CALCULATIONS**

**TWO BEDROOM UNIT - NC 15-1**  
**BUILDING TYPE 'C'**

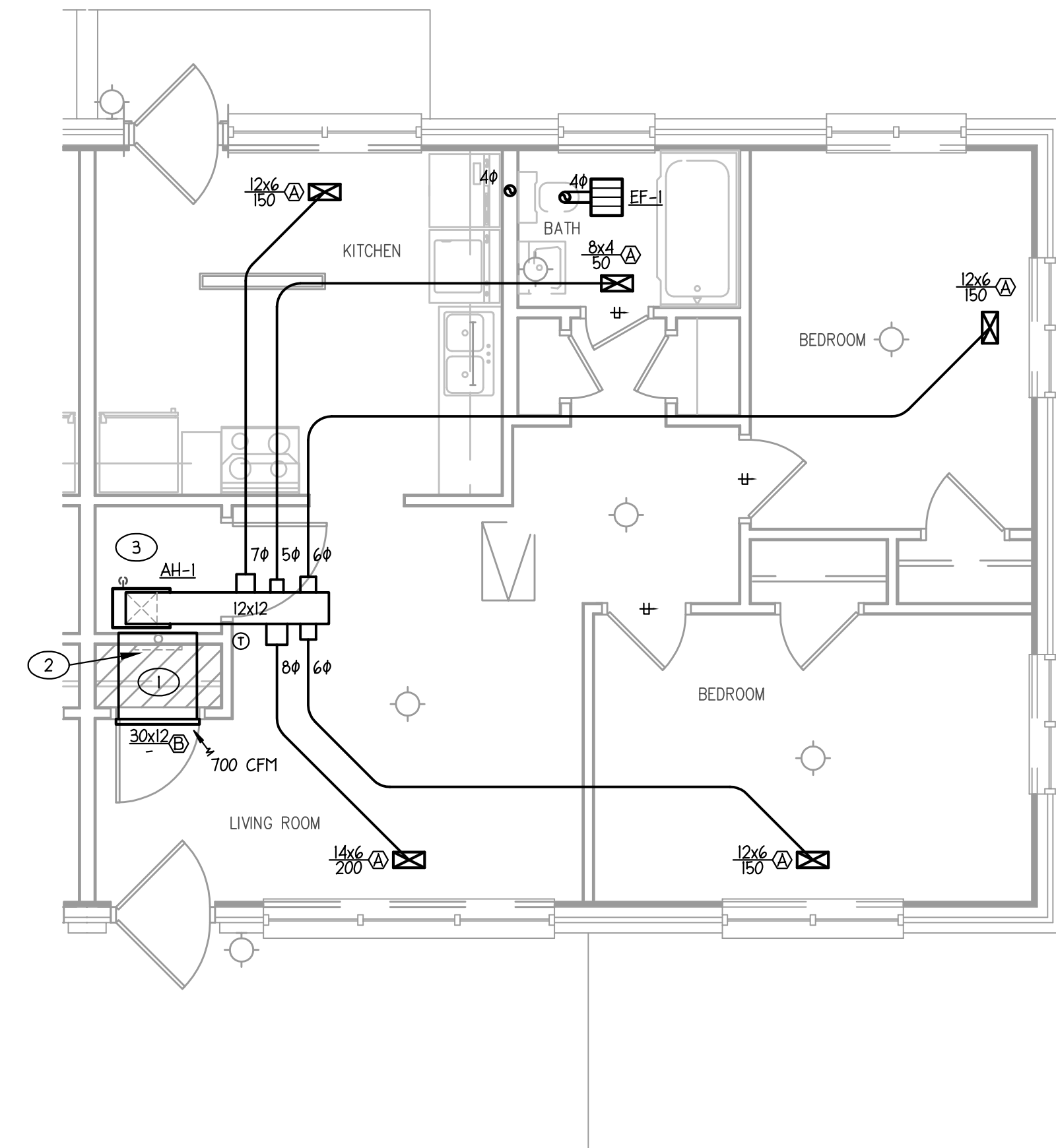
FLOOR AREA	570	SQFT
OPERABLE EXTERIOR OPENINGS	114	SQFT
OPERABLE OPENING AREA %	20.0%	>4%

**DRYER VENT CALCULATIONS**

**TWO BEDROOM UNIT - NC 15-1**  
**BUILDING TYPE 'C'**

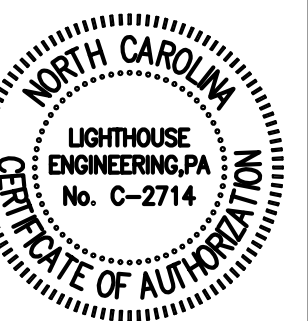
	LOWER FLOOR
Vertical Run (ft)	10
Horizontal Run (ft)	0
<b>TOTAL LINEAR LENGTH (ft)</b>	<b>10</b>
# of 90° Elbows (5ft each)	0
# of 45° Elbows (2.5ft each)	0
<b>DUCT FITTING EQUIVALENT LENGTH (ft)</b>	<b>0</b>
Equiv. Length (ft) Per 2018 NCMC 504.8.4.1	10

NOTE: M.C. IS TO PROVIDE AND INSTALL PERMANENT SIGNS WITHIN 6 FT OF EACH EXHAUST DUCT CONNECTION WHICH STATE THE LINEAR DUCT LENGTH AND NUMBER OF ELBOWS FOR THE DRYER VENT RUN AS INSTALLED.  
EQUIVALENT LENGTH CALCULATIONS ARE BASED ON 2018 NCMC SECTION 504.8.4.1 AND ARE PROVIDED FOR CODE COMPLIANCE ONLY. WHEN USING ALTERNATE COMPLIANCE OF MFG INSTRUCTIONS, CALCULATIONS SHOULD BE BASED ON MFG EQUIVALENT LENGTH CALCULATIONS AND NOT THIS TABLE.



**1 TWO BEDROOM UNIT - NC 15-1**  
1/4"=1'-0" BUILDING TYPE 'C'

REVISIONS



**Stogner Architecture, PA**  
ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
615 East Broad Avenue, Rockingham, North Carolina, 28379  
Phone 910-895-1111 Fax 910-895-6874

**Housing Authority of the City of Goldsboro**  
RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

MECHANICAL UNIT PLANS  
NC 15-1

COMM. NO.: 6041-B  
DRAWN BY: WER  
CHECKED BY: SAB  
DATE: APR. 2, 2024  
SHEET NO.

M20



**GENERAL NOTES - THIS SHEET**

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**TAGGED NOTES**

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- PROVIDE 12x12 GRILLE TYPE 'C' WITHOUT A FILTER, FOR ACCESS TO HUB DRAIN IN WALL.
- AIR HANDLER AND WATER HEATER TO BE LOCATED AT OPPOSITE ENDS OF MECHANICAL CLOSET PER OWNER REQUEST.

**HATCH LEGEND**



**NATURAL VENTILATION CALCULATIONS**

**TWO BEDROOM HC UNIT - NC 15-1**  
**BUILDING TYPE 'C'**

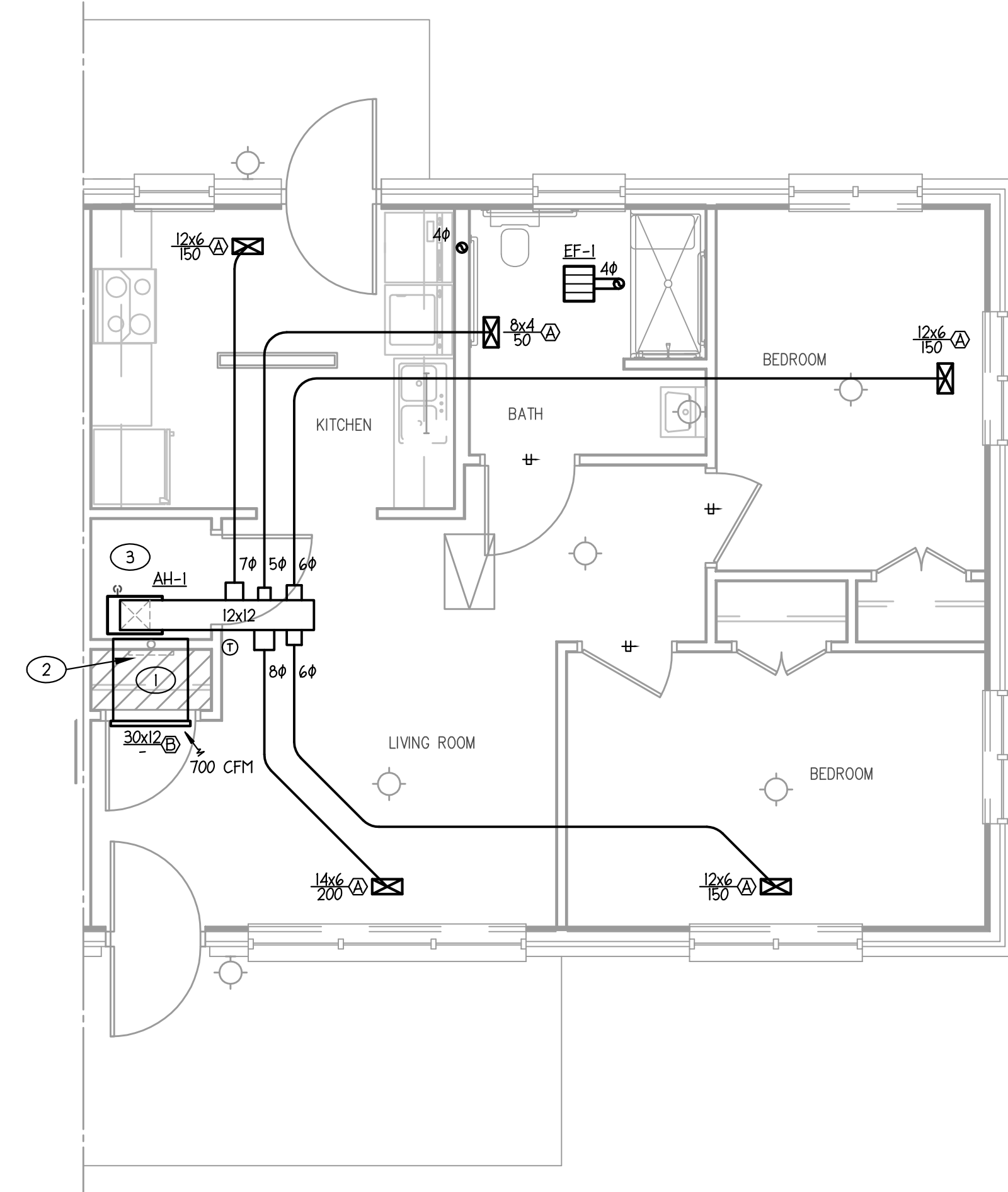
FLOOR AREA	534	SQFT
OPERABLE EXTERIOR OPENINGS	110	SQFT
OPERABLE OPENING AREA %	20.6%	> 4%

**DRYER VENT CALCULATIONS**

**TWO BEDROOM HC UNIT - NC 15-1**  
**BUILDING TYPE 'C'**

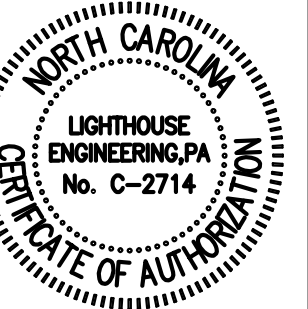
	LOWER FLOOR
Vertical Run (ft)	10
Horizontal Run (ft)	0
<b>TOTAL LINEAR LENGTH (ft)</b>	<b>10</b>
# of 90° Elbows (5ft each)	0
# of 45° Elbows (2.5ft each)	0
<b>DUCT FITTING EQUIVALENT LENGTH (ft)</b>	<b>0</b>
Equiv. Length (ft) Per 2018 NCMC 504.8.4.1	10

NOTE: M.C. IS TO PROVIDE AND INSTALL PERMANENT SIGNS WITHIN 6 FT OF EACH EXHAUST DUCT CONNECTION WHICH STATE THE LINEAR DUCT LENGTH AND NUMBER OF ELBOWS FOR THE DRYER VENT RUN AS INSTALLED.  
EQUIVALENT LENGTH CALCULATIONS ARE BASED ON 2018 NCMC SECTION 504.8.4.1 AND ARE PROVIDED FOR CODE COMPLIANCE ONLY. WHEN USING ALTERNATE COMPLIANCE OF MFG INSTRUCTIONS, CALCULATIONS SHOULD BE BASED ON MFG EQUIVALENT LENGTH CALCULATIONS AND NOT THIS TABLE.



**1 TWO BEDROOM HANDICAP UNIT - NC 15-1**  
1/4" = 1'-0" BUILDING TYPE 'C'

REVISIONS



**Stogner Architecture, PA**  
ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
615 East Broad Avenue, Rockingham, North Carolina, 28379  
Phone 910-895-6874 Fax 910-895-1111

**Housing Authority of the City of Goldsboro**  
RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

MECHANICAL UNIT PLANS  
NC 15-1

COMM. NO.: 6041-B  
DRAWN BY: WER  
CHECKED BY: SAB  
DATE: APR. 2, 2024  
SHEET NO.

M2.1

**GENERAL NOTES - THIS SHEET**

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- AIR HANDLER RETURN THROUGH LOUVER ABOVE DOOR. INSTALL GRILLE ON WALL ABOVE DOOR CLOSE TO CEILING. CONFIRM WITH ARCHITECT WHICH DIRECTION BLADES ARE FACING BEFORE INSTALLATION. GRILLE MAY ALSO BE USED AS ACCESS TO DAMPER IN DUCT IF REQUIRED. GRILLE NOT TO EXCEED A VELOCITY OF 500 FPM. TYPICAL SIZING GUIDELINES ARE AS FOLLOWS BUT SHOULD BE CONFIRMED WITH MFG PERFORMANCE DATA BEFORE INSTALLATION.  
  
1.5 TON UNIT = 30x12  
2.0 TON UNIT = 30x12  
2.5 TON UNIT = 30x14
- 3/4" CONDENSATE DRAIN ROUTED TO HUB DRAIN (HD BY PC) IN MECH. CLOSET. REFER TO PLUMBING RISERS, COORDINATE W/ DUCTS, G.C., FRAMING CONTR., STRUCTURE, ETC.
- SUPPLY AIR PLENUM OFF AIR HANDLING UNIT SHALL BE MIN. 4' LONG. TYPICAL ALL UNITS.
- SUPPLY AIR DUCT TRUNK TO RUN BETWEEN JOISTS. CONFIRM DIRECTION OF JOISTS DURING CONSTRUCTION AND ROTATE TRUNK 90° IF REQUIRED.
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- PROVIDE TRANSFER GRILLES FOR MAKE-UP AIR TO DRYER CLOSET AS SHOWN. MIN. FREE AREA OF 120 SQIN IS REQUIRED. INSTALL GRILLES HIGH ON WALL.
- CEILING IN DWELLING UNITS ARE NOT RATED. LIFE SAFETY DAMPERS ARE NOT REQUIRED AT NON-RATED CEILING PENETRATIONS.

**TAGGED NOTES**

- PROVIDE 12x12 GRILLE TYPE 'C' WITHOUT A FILTER, FOR ACCESS TO HUB DRAIN IN WALL.
- AIR HANDLER AND WATER HEATER TO BE LOCATED AT OPPOSITE ENDS OF MECHANICAL CLOSET PER OWNER REQUEST.

**NATURAL VENTILATION CALCULATIONS**

**THREE BEDROOM UNIT - NC 15-1**  
**BUILDING TYPE 'E'**

FLOOR AREA	725	SQFT
OPERABLE EXTERIOR OPENINGS	105	SQFT
OPERABLE OPENING AREA %	14.5%	> 4%

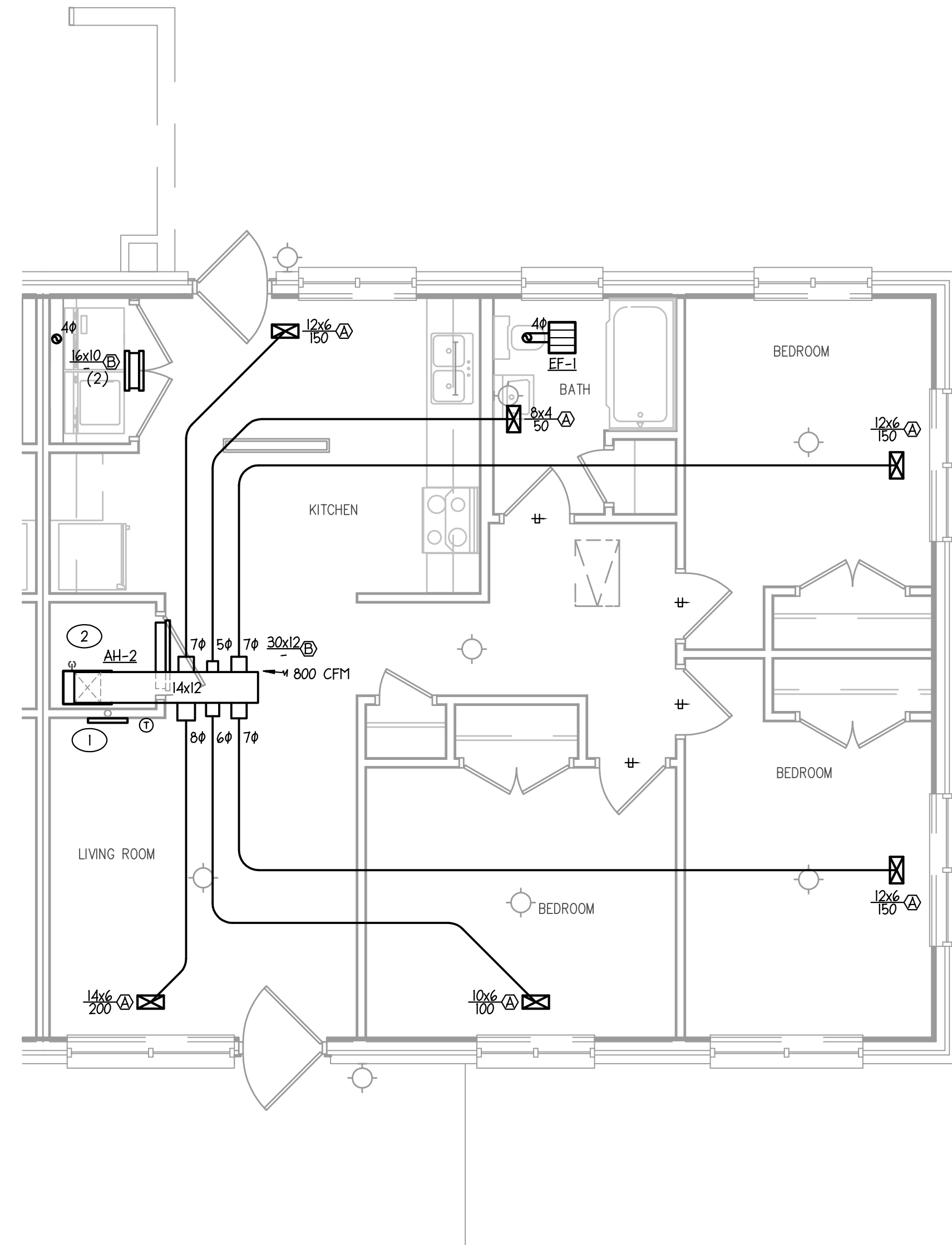
**DRYER VENT CALCULATIONS**

**THREE BEDROOM UNIT - NC 15-1**  
**BUILDING TYPE 'E'**

	LOWER FLOOR
Vertical Run (ft)	10
Horizontal Run (ft)	0
<b>TOTAL LINEAR LENGTH (ft)</b>	<b>10</b>
# of 90° Elbows (5ft each)	0
# of 45° Elbows (2.5ft each)	0
<b>DUCT FITTING EQUIVALENT LENGTH (ft)</b>	<b>0</b>
Equiv. Length (ft) Per 2018 NCMC 504.8.4.1	10

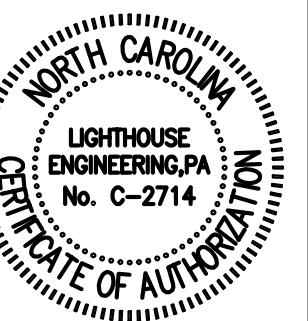
NOTE: M.C. IS TO PROVIDE AND INSTALL PERMANENT SIGNS WITHIN 6 FT OF EACH EXHAUST DUCT CONNECTION WHICH STATE THE LINEAR DUCT LENGTH AND NUMBER OF ELBOWS FOR THE DRYER VENT RUN AS INSTALLED.

EQUIVALENT LENGTH CALCULATIONS ARE BASED ON 2018 NCMC SECTION 504.8.4.1 AND ARE PROVIDED FOR CODE COMPLIANCE ONLY. WHEN USING ALTERNATE COMPLIANCE OF MFG INSTRUCTIONS, CALCULATIONS SHOULD BE BASED ON MFG EQUIVALENT LENGTH CALCULATIONS AND NOT THIS TABLE.



**1 THREE BEDROOM UNIT - NC 15-1**  
1/4" = 1'-0" BUILDING TYPE 'E'

REVISIONS



**Stogner Architecture, PA**  
ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
615 East Broad Avenue, Rockingham, North Carolina, 28379  
Phone 910-895-6874 Fax 910-895-1111

**Housing Authority of the City of Goldsboro**  
RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

MECHANICAL UNIT PLANS  
NC 15-1

COMM. NO.: 6041-B  
DRAWN BY: WER  
CHECKED BY: SAB  
DATE: APR. 2, 2024  
SHEET NO.

M30





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1.5 TON UNIT = 30x12  
2.0 TON UNIT = 30x12  
2.5 TON UNIT = 30x14
- 3/4" CONDENSATE DRAIN ROUTED TO HUB DRAIN (HD BY PC) IN MECH. CLOSET. REFER TO PLUMBING RISERS, COORDINATE W/ DUCTS, G.C., FRAMING CONTR., STRUCTURE, ETC.
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**TAGGED NOTES**

- PROVIDE 12x12 GRILLE TYPE 'C' WITHOUT A FILTER, FOR ACCESS TO HUB DRAIN IN WALL.
- AIR HANDLER AND WATER HEATER TO BE LOCATED AT OPPOSITE ENDS OF MECHANICAL CLOSET PER OWNER REQUEST.

**NATURAL VENTILATION CALCULATIONS**

**FOUR BEDROOM UNIT - NC 15-1**  
**BUILDING TYPE 'F'**

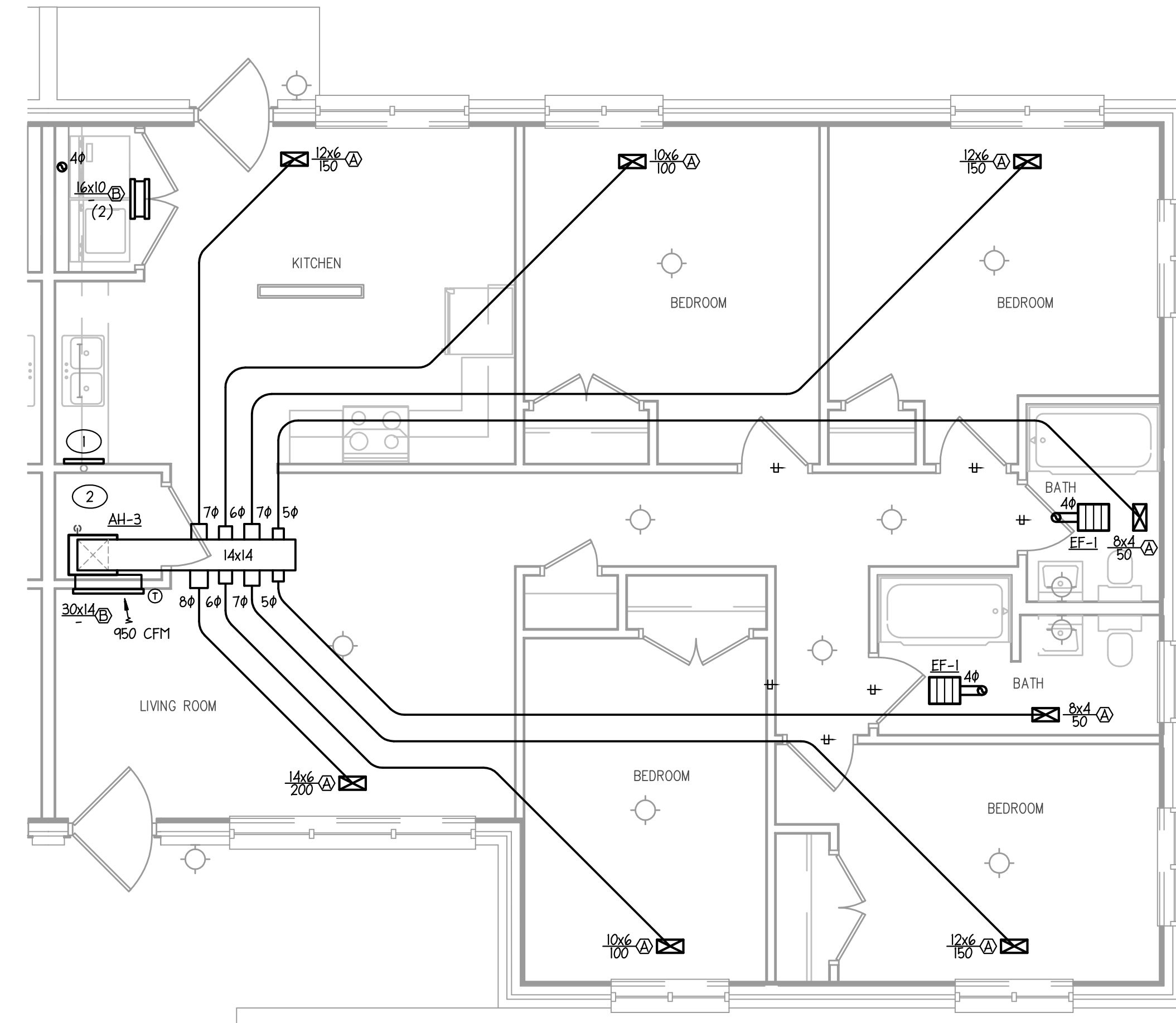
FLOOR AREA	960	SQFT
OPERABLE EXTERIOR OPENINGS	112	SQFT
OPERABLE OPENING AREA %	11.7%	> 4%

**DRYER VENT CALCULATIONS**

**FOUR BEDROOM UNIT - NC 15-1**  
**BUILDING TYPE 'F'**

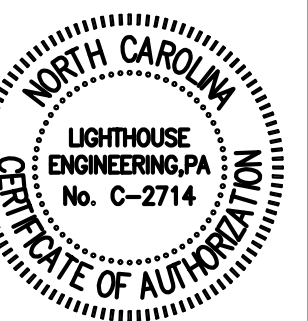
	LOWER FLOOR
Vertical Run (ft)	10
Horizontal Run (ft)	0
<b>TOTAL LINEAR LENGTH (ft)</b>	<b>10</b>
# of 90° Elbows (Sft each)	0
# of 45° Elbows (2.5ft each)	0
<b>DUCT FITTING EQUIVALENT LENGTH (ft)</b>	<b>0</b>
<b>Equiv. Length (ft) Per 2018 NCMC 504.8.4.1</b>	<b>10</b>

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**1 FOUR BEDROOM UNIT - NC 15-1**  
1/4"=1'-0" BUILDING TYPE 'F'

REVISIONS



**Stogner Architecture, PA**  
ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
615 East Broad Avenue, Rockingham, North Carolina, 28379  
Phone 910-895-6874 Fax 910-895-1111

Housing Authority of the  
City of Goldsboro  
RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

MECHANICAL  
UNIT PLANS  
NC 15-1

COMM. NO.: 6041-B  
DRAWN BY: WER  
CHECKED BY: SAB  
DATE: APR. 2, 2024  
SHEET NO.

M40



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**TAGGED NOTES**

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**NATURAL VENTILATION CALCULATIONS**

**FOUR BEDROOM UNIT - NC 15-1**

**BUILDING TYPE 'F-1'**

FLOOR AREA	955	SQFT
OPERABLE EXTERIOR OPENINGS	118	SQFT
OPERABLE OPENING AREA %	12.4%	> 4%

**DRYER VENT CALCULATIONS**

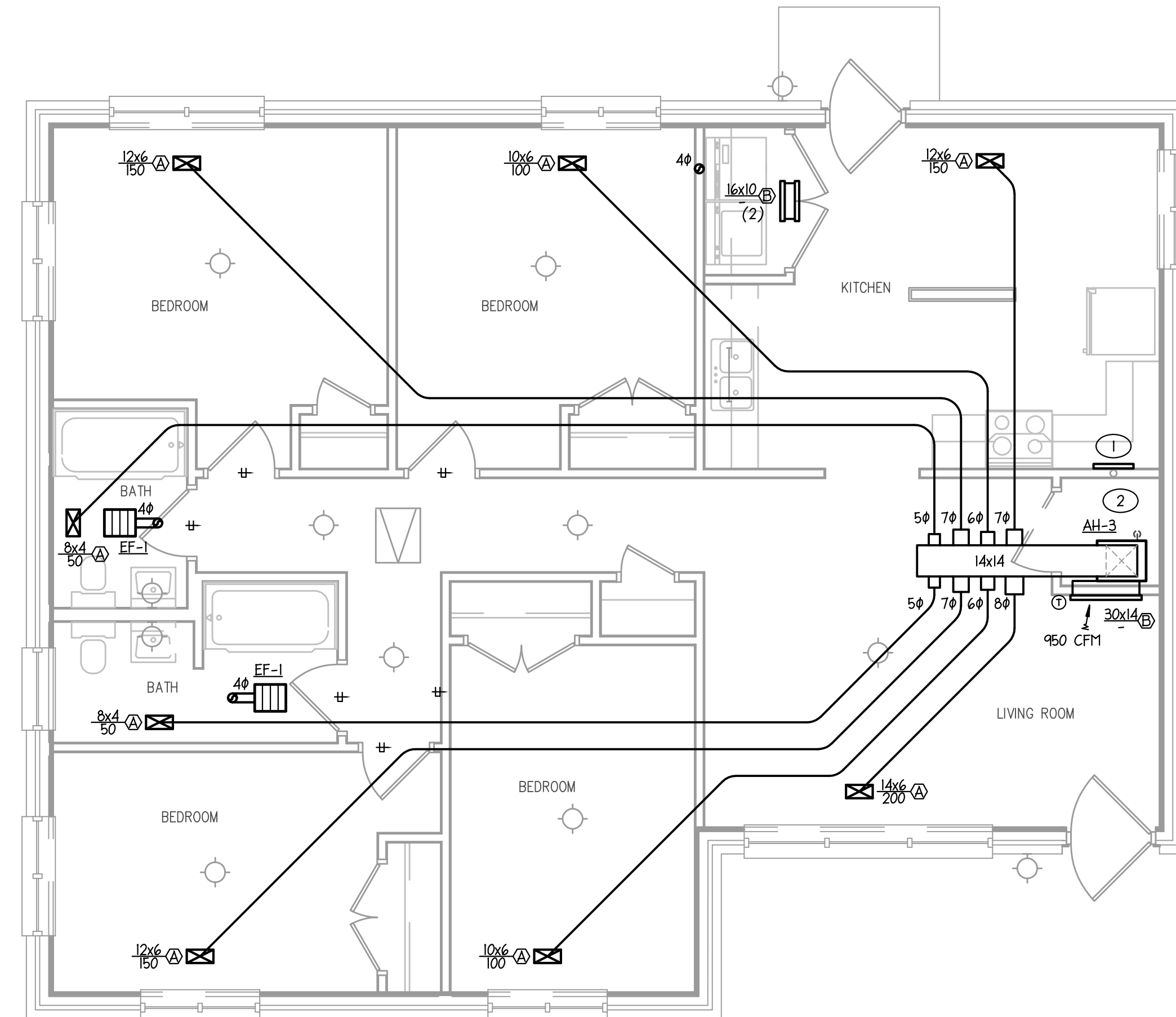
**FOUR BEDROOM UNIT - NC 15-1**

**BUILDING TYPE 'F-1'**

	LOWER FLOOR
Vertical Run (ft)	10
Horizontal Run (ft)	0
<b>TOTAL LINEAR LENGTH (ft)</b>	<b>10</b>
# of 90° Elbows (5ft each)	0
# of 45° Elbows (2.5ft each)	0
<b>DUCT FITTING EQUIVALENT LENGTH (ft)</b>	<b>0</b>
Equiv. Length (ft) Per 2018 NCMC 504.8.4.1	10

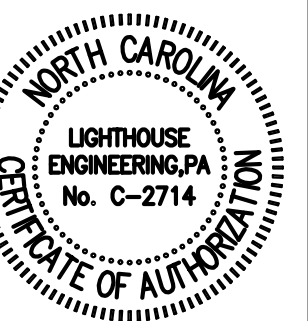
NOTE: M.C. IS TO PROVIDE AND INSTALL PERMANENT SIGNS WITHIN 6 FT OF EACH EXHAUST DUCT CONNECTION WHICH STATE THE LINEAR DUCT LENGTH AND NUMBER OF ELBOWS FOR THE DRYER VENT RUN AS INSTALLED.

EQUIVALENT LENGTH CALCULATIONS ARE BASED ON 2018 NCMC SECTION 504.8.4.1 AND ARE PROVIDED FOR CODE COMPLIANCE ONLY. WHEN USING ALTERNATE COMPLIANCE OF MFG INSTRUCTIONS, CALCULATIONS SHOULD BE BASED ON MFG EQUIVALENT LENGTH CALCULATIONS AND NOT THIS TABLE.



**1 FOUR BEDROOM UNIT - NC 15-1**  
1/4"=1'-0" BUILDING TYPE 'F-1'

REVISIONS



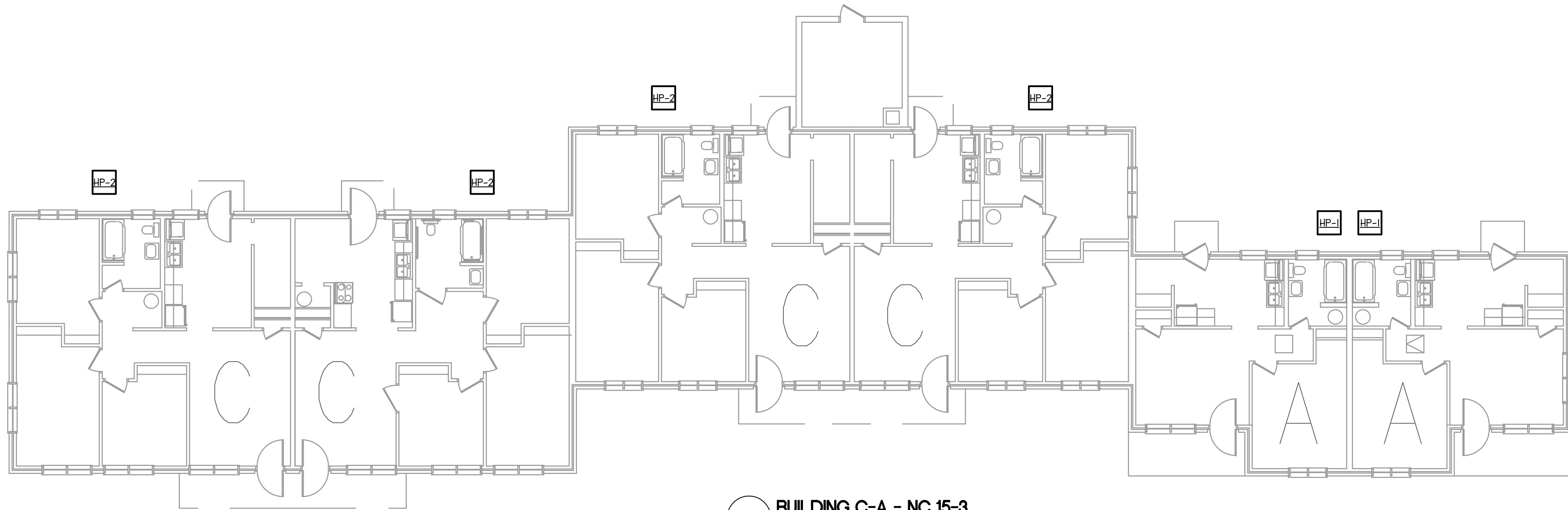
**Stogner Architecture, PA**  
ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
615 East Broad Avenue, Rockingham, North Carolina, 28379  
Phone 910-895-6874 Fax 910-895-1111

Housing Authority of the  
City of Goldsboro  
RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

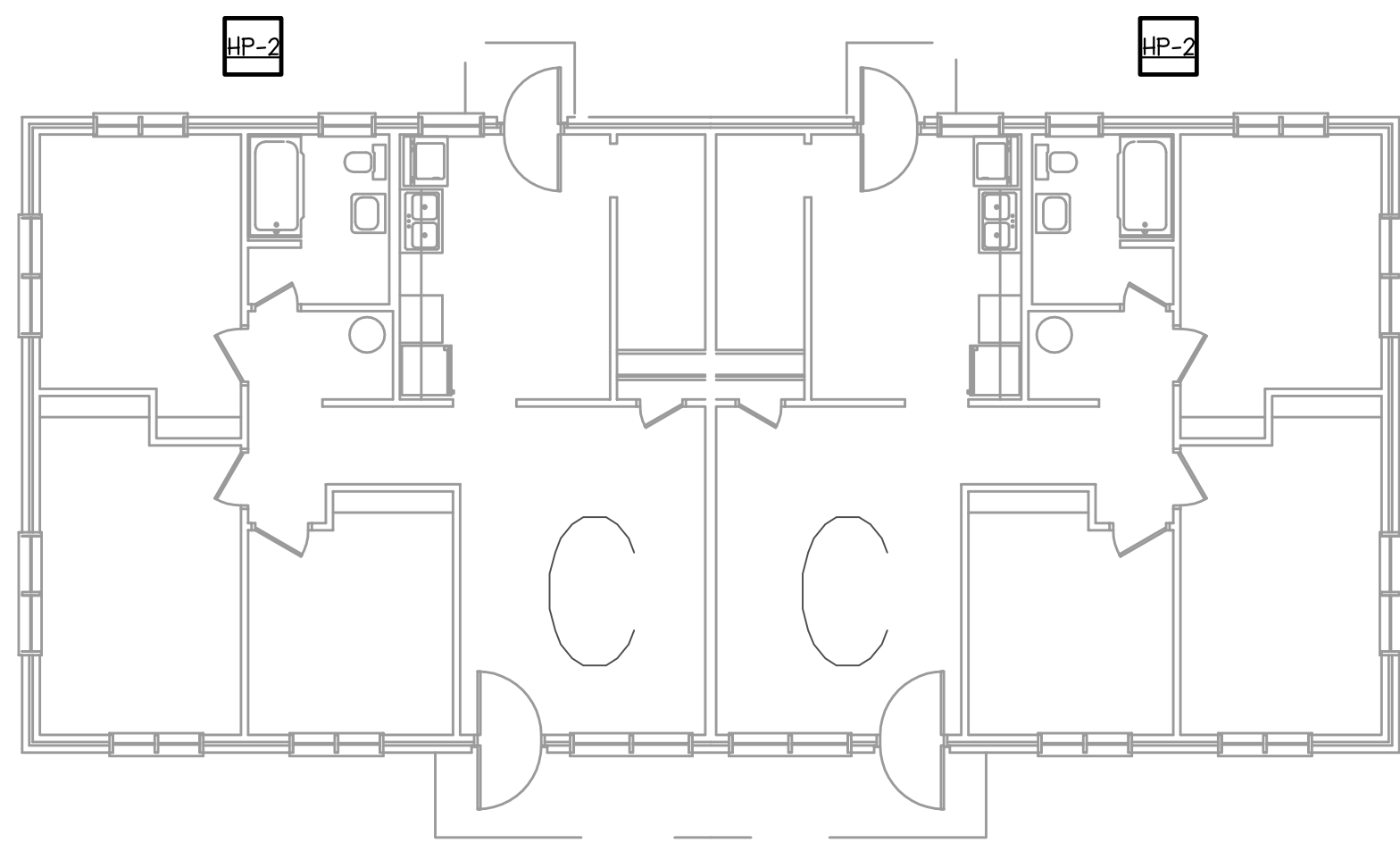
MECHANICAL  
UNIT PLANS  
NC 15-1

COMM. NO.: 6041-B  
DRAWN BY: WER  
CHECKED BY: SAB  
DATE: APR. 2, 2024  
SHEET NO.

M4.1



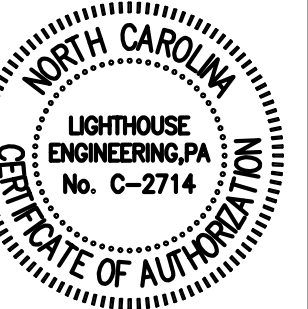
**2** BUILDING C-A - NC 15-3  
1/8"=1'-0" EDGERTON ST



**1** BUILDING C - NC 15-3  
1/8"=1'-0" EDGERTON ST

P:\2024\15-3\15-3\DWG\MECH\BUILDING C-C-A-PLAN-NC-15-3.dwg  
 Apr 18, 2024 8:37am

REVISIONS



**Stogner Architecture, PA**  
 ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
 615 East Broad Avenue, Rockingham, North Carolina, 28379  
 Phone 910-895-6874 Fax 910-895-1111

**Housing Authority of the City of Goldsboro**  
 RENOVATIONS - FAIRVIEW APARTMENTS  
 NC 15-1 FAIRVIEW CIRCLE  
 GOLDSBORO, NORTH CAROLINA

MECHANICAL  
 BUILDING C & C-A  
 PLANS NC 15-1

COMM. NO.: 6041-B

DRAWN BY: WER

CHECKED BY: SAB

DATE: APR. 2, 2024

SHEET NO.

M10.0



**GENERAL NOTES - THIS SHEET**

- HVAC UNIT & SUPPORTS FURNISHED & INSTALLED BY MECH. CONTRACTOR. UNIT SIZE, INSTALLATION, ETC., TO BE COORDINATED WITH GC & FRAMING CONTRACTOR.
- AIR HANDLER RETURN THROUGH LOUVER ABOVE DOOR. INSTALL GRILLE ON WALL ABOVE DOOR CLOSE TO CEILING. CONFIRM WITH ARCHITECT WHICH DIRECTION BLADES ARE FACING BEFORE INSTALLATION. GRILLE MAY ALSO BE USED AS ACCESS TO DAMPER IN DUCT IF REQUIRED. GRILLE NOT TO EXCEED A VELOCITY OF 500 FPM. TYPICAL SIZING GUIDELINES ARE AS FOLLOWS BUT SHOULD BE CONFIRMED WITH MFG PERFORMANCE DATA BEFORE INSTALLATION.  
  
1.5 TON UNIT = 30x12  
2.0 TON UNIT = 30x12  
2.5 TON UNIT = 30x14
- 3/4" CONDENSATE DRAIN ROUTED TO HUB DRAIN (HD BY PC) IN MECH. CLOSET. REFER TO PLUMBING RISERS, COORDINATE W/ DUCTS, G.C., FRAMING CONTR., STRUCTURE, ETC.
- SUPPLY AIR PLENUM OFF AIR HANDLING UNIT SHALL BE MIN. 4' LONG. TYPICAL ALL UNITS.
- SUPPLY AIR DUCT TRUNK TO RUN BETWEEN JOISTS. CONFIRM DIRECTION OF JOISTS DURING CONSTRUCTION AND ROTATE TRUNK 90° IF REQUIRED.
- M.C. TO PROVIDE RECESSED BOX FOR DRYER VENT CONNECTION (BOX MUST BE APPROPRIATELY FIRE RATED IF INSTALLED IN A RATED WALL). MOUNT DRYER BOX AT 6" A.F.F FOR FLOOR MOUNTED DRYER. 4" DRYER VENT TO RUN FROM TOP OF DRYER BOX UP INTO FLOOR/CEILING ASSEMBLY ABOVE.
- DRYER VENT PIPE SHALL BE 4" SINGLE WALL RIGID SHEETMETAL PER MECH. CODE. AT ROOF TERMINATION, M.C. TO PROVIDE 4" DRYER VENT ROOF CAP WITH BACKDRAFT DAMPER & TO CAULK BEHIND CAP WITH 100% SILICONE.
- BATHROOM EXHAUST DUCT SHALL BE 4" SINGLE WALL RIGID SHEETMETAL. AT ROOF TERMINATION, M.C. TO PROVIDE 4" VENT CAP WITH BACKDRAFT DAMPER & INSECT SCREEN & TO CAULK BEHIND CAP WITH 100% SILICONE.
- ALL BATHROOM DOORS TO HAVE UNDERCUTS FOR AIR TRANSFER.
- ALL ROOMS WITH SUPPLY AIR TO HAVE 1" DOOR UNDERCUTS FOR RETURN.
- AN APPROVED RECIRCULATING RANGE HOOD IS TO BE INSTALLED ABOVE KITCHEN RANGE.
- PROVIDE TRANSFER GRILLES FOR MAKE-UP AIR TO DRYER CLOSET AS SHOWN. MIN. FREE AREA OF 120 SQIN IS REQUIRED. INSTALL GRILLES HIGH ON WALL.
- CEILINGS IN DWELLING UNITS ARE NOT RATED. LIFE SAFETY DAMPERS ARE NOT REQUIRED AT NON-RATED CEILING PENETRATIONS.

**TAGGED NOTES**

- 1 DRYER VENT TO STUB IN WALL AT A MAX OF 12" A.F.F.
- 2 PROVIDE 12x12 GRILLE TYPE 'C' WITHOUT A FILTER, FOR ACCESS TO HUB DRAIN IN WALL.
- 3 AIR HANDLER AND WATER HEATER TO BE LOCATED AT OPPOSITE ENDS OF MECHANICAL CLOSET PER OWNER REQUEST.

**NATURAL VENTILATION CALCULATIONS**

**ONE BEDROOM UNIT - NC 15-3**

**BUILDING TYPE 'A'**

FLOOR AREA	360	SQFT
OPERABLE EXTERIOR OPENINGS	79	SQFT
OPERABLE OPENING AREA %	21.9%	> 4%

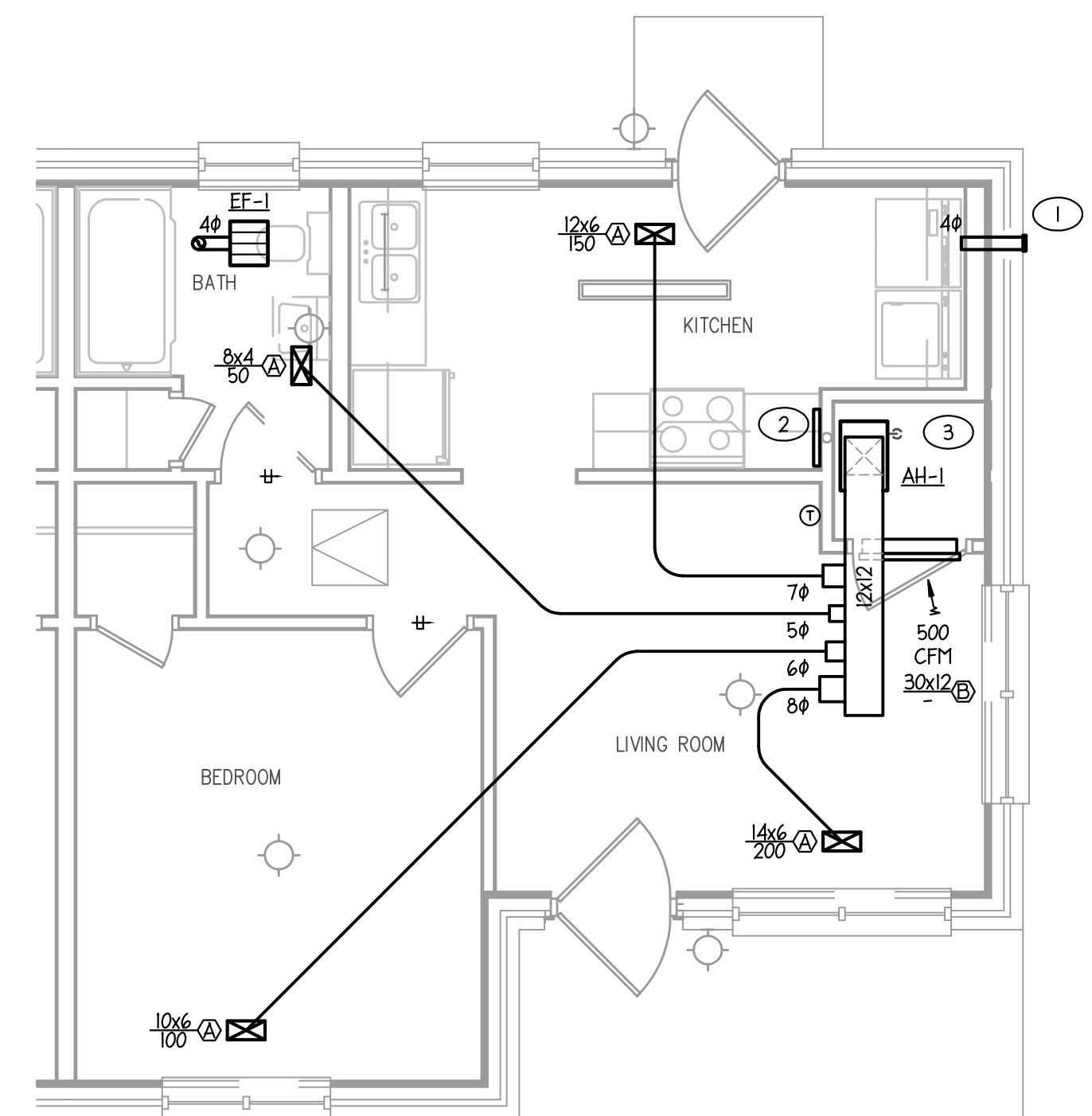
**DRYER VENT CALCULATIONS**

**ONE BEDROOM UNIT - NC 15-3**

**BUILDING TYPE 'A'**

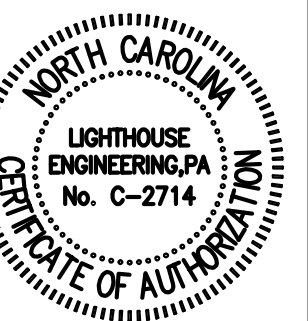
	LOWER FLOOR
Vertical Run (ft)	0
Horizontal Run (ft)	1
<b>TOTAL LINEAR LENGTH (ft)</b>	<b>1</b>
# of 90° Elbows (Sift each)	0
# of 45° Elbows (2 Sift each)	0
<b>DUCT FITTING EQUIVALENT LENGTH (ft)</b>	<b>0</b>
Equiv. Length (ft) Per 2018 NCMC 504.8.4.1	1

NOTE: M.C. IS TO PROVIDE AND INSTALL PERMANENT SIGNS WITHIN 6 FT OF EACH EXHAUST DUCT CONNECTION WHICH STATE THE LINEAR DUCT LENGTH AND NUMBER OF ELBOWS FOR THE DRYER VENT RUN AS INSTALLED.  
EQUIVALENT LENGTH CALCULATIONS ARE BASED ON 2018 NCMC SECTION 504.8.4.1 AND ARE PROVIDED FOR CODE COMPLIANCE ONLY. WHEN USING ALTERNATE COMPLIANCE OF MFG INSTRUCTIONS, CALCULATIONS SHOULD BE BASED ON MFG EQUIVALENT LENGTH CALCULATIONS AND NOT THIS TABLE.



**1 ONE BEDROOM UNIT - NC 15-3**  
1/4" = 1'-0" BUILDING TYPE 'A'

REVISIONS



**Stogner Architecture, PA**  
ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
615 East Broad Avenue, Rockingham, North Carolina, 28379  
Phone 910-895-1111 Fax 910-895-6874

**Housing Authority of the City of Goldsboro**  
RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

MECHANICAL UNIT PLANS  
NC 15-3

COMM. NO.: 6041-B  
DRAWN BY: WER  
CHECKED BY: SAB  
DATE: APR. 2, 2024  
SHEET NO.

M11.0

**GENERAL NOTES - THIS SHEET**

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2.0 TON UNIT = 30x12  
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- PROVIDE TRANSFER GRILLES FOR MAKE-UP AIR TO DRYER CLOSET AS SHOWN. MIN. FREE AREA OF 120 SQIN IS REQUIRED. INSTALL GRILLES HIGH ON WALL.
- CEILINGS IN DWELLING UNITS ARE NOT RATED. LIFE SAFETY DAMPERS ARE NOT REQUIRED AT NON-RATED CEILING PENETRATIONS.

**TAGGED NOTES**

- PROVIDE 12x12 GRILLE TYPE 'C' WITHOUT A FILTER, FOR ACCESS TO HUB DRAIN IN WALL.
- AIR HANDLER AND WATER HEATER TO BE LOCATED AT OPPOSITE ENDS OF MECHANICAL CLOSET PER OWNER REQUEST.

**NATURAL VENTILATION CALCULATIONS**

**THREE BEDROOM UNIT - NC 15-3**  
**BUILDING TYPE 'C'**

FLOOR AREA	650	SQFT
OPERABLE EXTERIOR OPENINGS	108	SQFT
OPERABLE OPENING AREA %	16.6%	> 4%

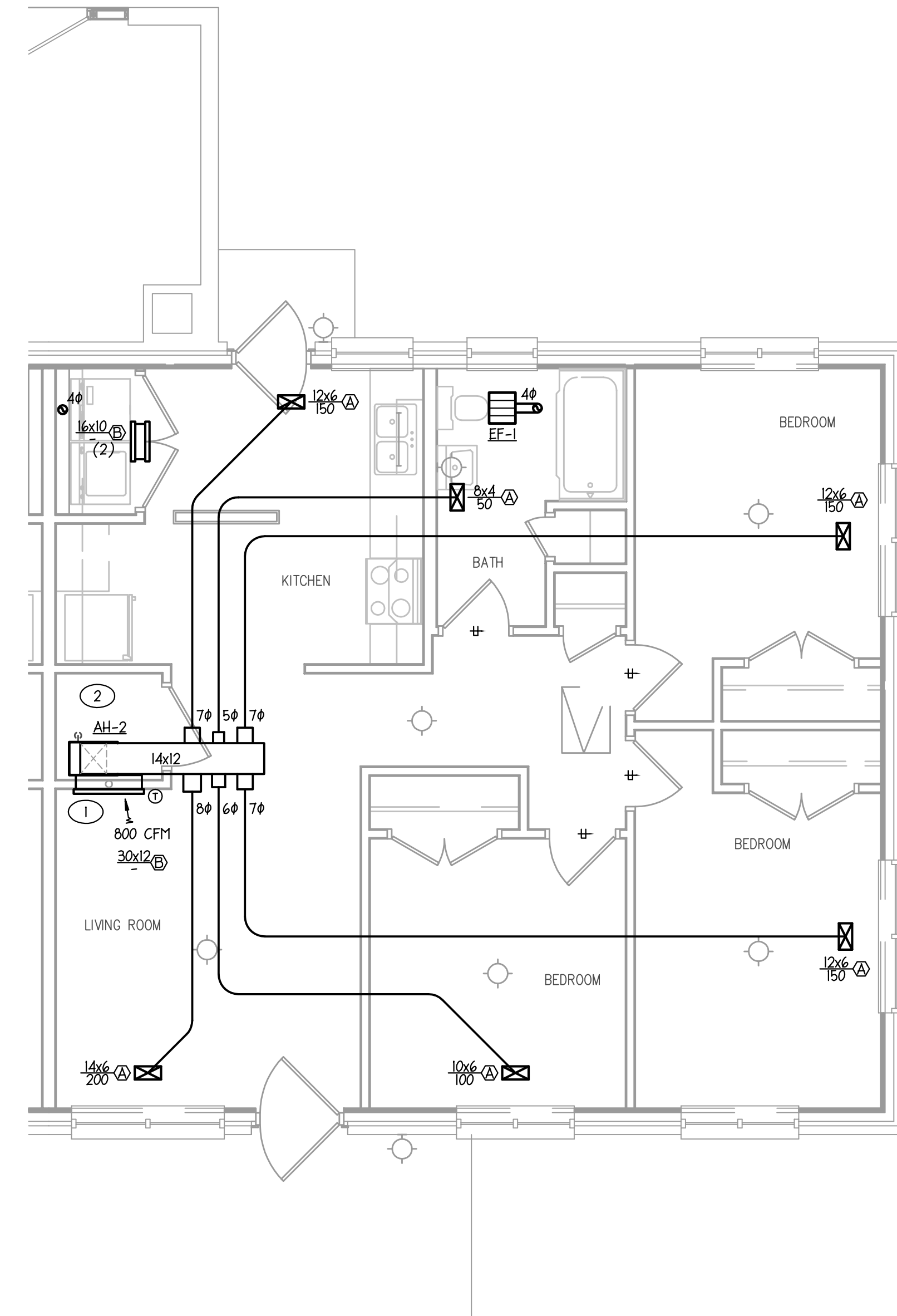
**DRYER VENT CALCULATIONS**

**THREE BEDROOM UNIT - NC 15-3**  
**BUILDING TYPE 'C'**

	LOWER FLOOR	
Vertical Run (ft)	10	
Horizontal Run (ft)	0	
<b>TOTAL LINEAR LENGTH (ft)</b>		<b>10</b>
# of 90° Elbows (5ft each)	0	
# of 45° Elbows (2.5ft each)	0	
<b>DUCT FITTING EQUIVALENT LENGTH (ft)</b>		<b>0</b>
Equiv. Length (ft) Per 2018 NCMC 504.8.4.1		<b>10</b>

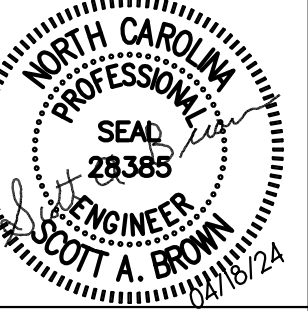
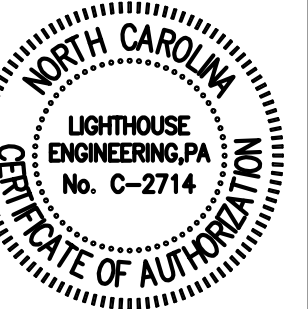
NOTE: M.C. IS TO PROVIDE AND INSTALL PERMANENT SIGNS WITHIN 6 FT OF EACH EXHAUST DUCT CONNECTION WHICH STATE THE LINEAR DUCT LENGTH AND NUMBER OF ELBOWS FOR THE DRYER VENT RUN AS INSTALLED.

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**1** **THREE BEDROOM UNIT - NC 15-3**  
1/4" = 1'-0" **BUILDING TYPE 'C'**

REVISIONS



**Stogner Architecture, PA**  
ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
615 East Broad Avenue, Rockingham, North Carolina, 28379  
Phone 910-895-6874 Fax 910-895-1111

**Housing Authority of the City of Goldsboro**  
RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

MECHANICAL UNIT PLANS  
NC 15-3

COMM. NO.: 6041-B  
DRAWN BY: WER  
CHECKED BY: SAB  
DATE: APR. 2, 2024  
SHEET NO.

M12.0

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Apr 18, 2024 5:30:00



**GENERAL NOTES - THIS SHEET**

- HVAC UNIT & SUPPORTS FURNISHED & INSTALLED BY MECH. CONTRACTOR. UNIT SIZE, INSTALLATION, ETC., TO BE COORDINATED WITH GC & FRAMING CONTRACTOR.
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2.0 TON UNIT = 30x12  
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- 3/4" CONDENSATE DRAIN ROUTED TO HUB DRAIN (HD BY PC) IN MECH. CLOSET. REFER TO PLUMBING RISERS, COORDINATE W/ DUCTS, G.C., FRAMING CONTR., STRUCTURE, ETC.
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- CEILINGS IN DWELLING UNITS ARE NOT RATED. LIFE SAFETY DAMPERS ARE NOT REQUIRED AT NON-RATED CEILING PENETRATIONS.

**TAGGED NOTES**

- PROVIDE 12x12 GRILLE TYPE 'C' WITHOUT A FILTER, FOR ACCESS TO HUB DRAIN IN WALL.
- AIR HANDLER AND WATER HEATER TO BE LOCATED AT OPPOSITE ENDS OF MECHANICAL CLOSET PER OWNER REQUEST.

**NATURAL VENTILATION CALCULATIONS**

**THREE BEDROOM HC UNIT - NC 15-3**  
**BUILDING TYPE 'C'**

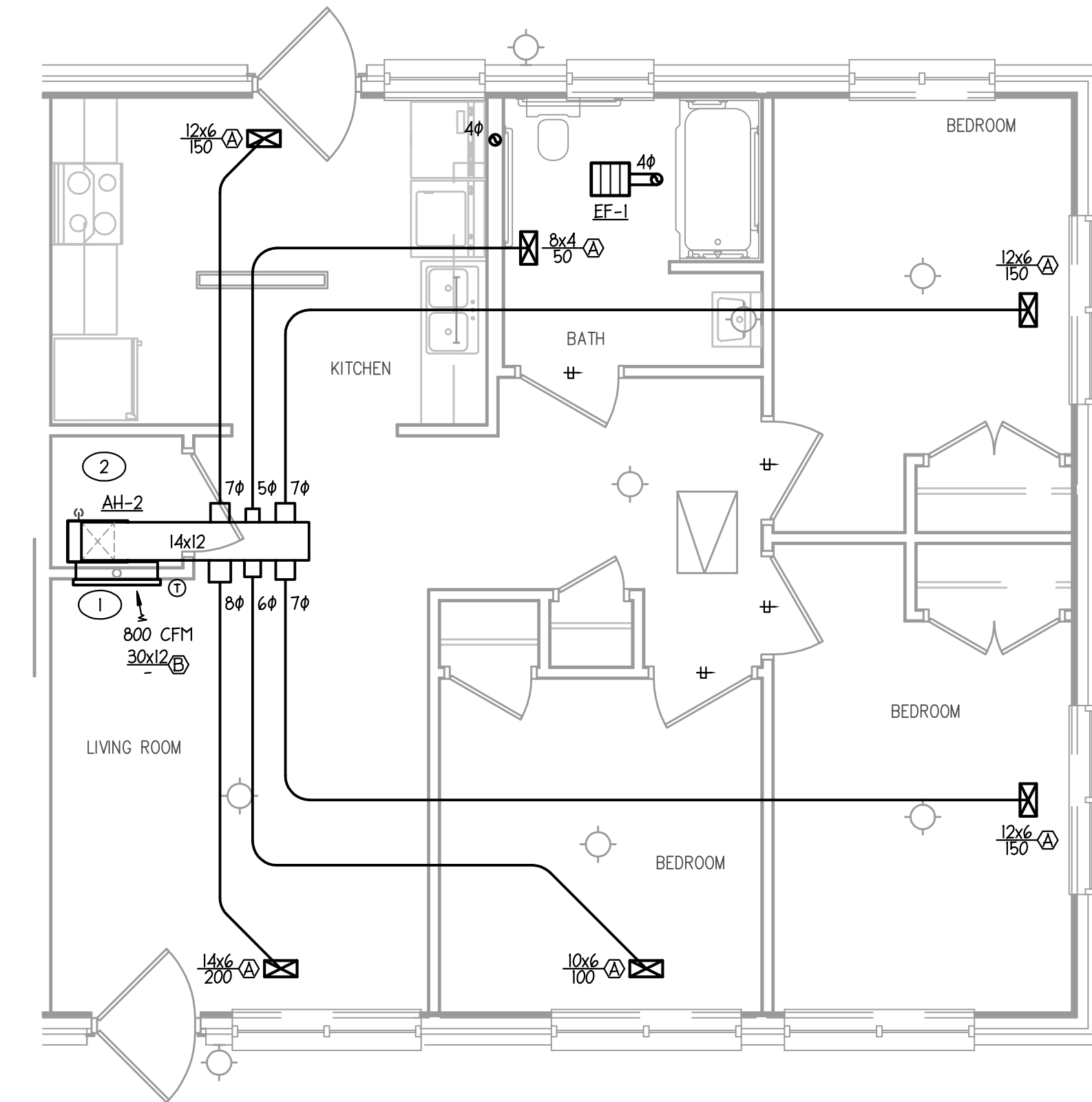
FLOOR AREA	675	SQFT
OPERABLE EXTERIOR OPENINGS	112	SQFT
OPERABLE OPENING AREA %	16.6%	> 4%

**DRYER VENT CALCULATIONS**

**THREE BEDROOM HC UNIT - NC 15-3**  
**BUILDING TYPE 'C'**

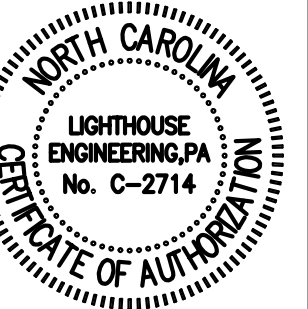
LOWER FLOOR	
Vertical Run (ft)	10
Horizontal Run (ft)	0
<b>TOTAL LINEAR LENGTH (ft)</b>	<b>10</b>
# of 90° Elbows (5ft each)	0
# of 45° Elbows (2.5ft each)	0
<b>DUCT FITTING EQUIVALENT LENGTH (ft)</b>	<b>0</b>
Equiv. Length (ft) Per 2018 NCMC 504.8.4.1	<b>10</b>

NOTE: M.C. IS TO PROVIDE AND INSTALL PERMANENT SIGNS WITHIN 6 FT OF EACH EXHAUST DUCT CONNECTION WHICH STATE THE LINEAR DUCT LENGTH AND NUMBER OF ELBOWS FOR THE DRYER VENT RUN AS INSTALLED.  
EQUIVALENT LENGTH CALCULATIONS ARE BASED ON 2018 NCMC SECTION 504.8.4.1 AND ARE PROVIDED FOR CODE COMPLIANCE ONLY. WHEN USING ALTERNATE COMPLIANCE OF MFG INSTRUCTIONS, CALCULATIONS SHOULD BE BASED ON MFG EQUIVALENT LENGTH CALCULATIONS AND NOT THIS TABLE.



**1 THREE BEDROOM HANDICAP UNIT - NC 15-3**  
1/4" = 1'-0" BUILDING TYPE 'C'

REVISIONS



**Stogner Architecture, PA**  
ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
615 East Broad Avenue, Rockingham, North Carolina, 28379  
Phone 910-895-6874 Fax 910-895-1111

**Housing Authority of the City of Goldsboro**  
RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

MECHANICAL UNIT PLANS  
NC 15-3

COMM. NO.: 6041-B  
DRAWN BY: WER  
CHECKED BY: SAB  
DATE: APR. 2, 2024  
SHEET NO.

M12.1

UNIT FIXTURE SCHEDULE										
MARK	MANUF.	CATALOG NUMBER	LAMP DATA		VOLTS	BALLAST DATA		INPUT WATTS	MOUNTING	DESCRIPTION
			NO.	TYPE		NO.	TYPE			
<b>UNIT FIXTURES</b>										
UA	VERSALED LIGHTING	FCMPI9 - 18"	-	LED 18W	120	-	-	18	SURFACE	LIVING/BEDROOM - 18" FLUSH MOUNT CEILING FIXTURE.
UAI	VERSALED LIGHTING	FCMPI9 - 14"	-	LED 11W	120	-	-	11	SURFACE	HALL - 14" FLUSH MOUNT CEILING FIXTURE.
UD	ADDRESS-0-LITE	54833-BPA	1	LED 5.5W	120	-	-	5.5	WALL	EXTERIOR - ADDRESS LIGHT W/ PHOTOCELL CONTROL. NO SWITCH.
UL	JUNO LIGHTING	UCES 24IN	-	LED 11W	120	-	-	11	SURFACE	KITCHEN - 24" UNDERCOUNTER LED STRIP LIGHT.
UQ	LITHONIA LIGHTING	F1MLWL 48	-	LED 40W	120	-	-	40	SURFACE	KITCHEN - 48" LED STRIP CEILING FIXTURE W/ WRAPAROUND ACRYLIC LENS.
UV	SEASONS	326957	-	LED 17W	120	-	-	17	WALL	BATHROOM - 24" LED VANITY FIXTURE.
INVI	INVERTER	DUAL-LITE LG2505	-	-	-	-	-	-	WALL	250 WATT EMERGENCY POWER SOURCE BACKUP INVERTER.
NOTES: 1. CATALOG NUMBERS AND MANUFACTURERS ARE TO INDICATE TYPE AND QUALITY OF FIXTURE DESIRED. SUBMIT CUTSHEETS OF THESE AND ALTERNATE MANUFACTURERS FOR ARCHITECT AND OWNER APPROVAL PRIOR TO PURCHASE OF ANY FIXTURES. 2. COLOR TEMPERATURES OF LED BULBS AND LED LAMPS SHALL BE CONFIRMED WITH THE ARCHITECT.										
<b>LIGHTING SYSTEMS</b>										
<b>ENERGY CONSERVATION CODE SECTION 405</b>										
THIS PROJECT IS CLASSIFIED AS - <input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL (SEE BELOW)										
<b>LIGHTING POWER DENSITY CALCULATION COMPLIANCE</b> INTERIOR LIGHTING POWER DENSITY CALCULATION PER TABLE 405.4.2. SEE LIGHTING FIXTURE SCHEDULE FOR FIXTURE INFORMATION. INTERIOR WATTAGE SPECIFIED VS. ALLOWED <u>NA</u> VS. <u>NA</u> EXTERIOR LIGHTING POWER DENSITY CALCULATION PER TABLE 405.6.2. SEE LIGHTING FIXTURE SCHEDULE FOR FIXTURE INFORMATION. TRADABLE EXTERIOR WATTAGE SPECIFIED VS. ALLOWED <u>NA</u> VS. <u>NA</u> NONTRADABLE EXTERIOR WATTAGE SPECIFIED VS. ALLOWED <u>NA</u> VS. <u>NA</u>					<b>DESIGNER STATEMENT:</b> TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DESIGN OF THIS BUILDING COMPLIES WITH THE LIGHTING SYSTEMS REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE, SECTION 505 AND ANY LOCAL AMENDMENTS THEREOF. SIGNED: <u>Paul Scott</u> NAME: <u>PAUL SCOTT, PE</u> TITLE: <u>ELECTRICAL ENGINEER</u>					
SECTION 406 COMPLIANCE - <input checked="" type="checkbox"/> N/A <input type="checkbox"/> 406.11 <input type="checkbox"/> 406.12 <input type="checkbox"/> 406.13 <input type="checkbox"/> 406.14 <input type="checkbox"/> 406.15 <input type="checkbox"/> 406.16										

**CONFIRM MANUFACTURER, TYPE AND FINISH OF ALL LIGHTING FIXTURES AND ACCESSORIES WITH ARCHITECT AND OWNER PRIOR TO PURCHASE AND INSTALLATION.**

### GENERAL ELECTRICAL NOTES

- ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2020 EDITION OF THE NATIONAL ELECTRICAL CODE AND ALL LOCAL AND STATE CODES.
- ALL MATERIAL, DEVICES, APPLIANCES, AND EQUIPMENT SHALL BE NEW AND SHALL CONFORM TO THE STANDARDS OF THE UNDERWRITERS LABORATORIES, INC., AND THE NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION.
- ALL ELECTRICAL PERMITS AND INSPECTION FEES SHALL BE OBTAINED AND PAID FOR BY THE ELECTRICAL CONTRACTOR. DRAWINGS ARE DIAGRAMMATIC ONLY AND INDICATE ONLY THE GENERAL ARRANGEMENT.
- ELECTRICAL CONTRACTOR SHALL GUARANTEE ALL WORK AND MATERIALS FOR ONE YEAR EFFECTIVE THE DAY THE PROJECT IS ACCEPTED BY THE OWNER.
- ALL CUTTING AND PATCHING OF WALLS AND FLOORS FOR ELECTRICAL EQUIPMENT AS WELL AS SHELVING IN CLOSET AND LAUNDRY SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR OR CONTRACTOR QUALIFIED WITH THE TRADE TO BE PERFORMED.
- CONDUCTORS #8 AND SMALLER SHALL BE COPPER RATED AT NOT LESS THAN 600 VOLTS. CONDUCTORS #6 AND LARGER MAY BE ALUMINUM RATED AT NOT LESS THAN 600 VOLTS. MINIMUM SIZE SHALL BE #14 AWG WITHIN RESIDENTIAL UNITS AND #12 ELSEWHERE. ALL WIRE #8 AWG AND LARGER SHALL BE STRANDED. ALL CONDUCTORS #10 AND SMALLER SHALL BE SOLID, UNLESS OTHERWISE NOTED. BRANCH CIRCUIT CONDUCTORS SHALL BE TYPE THHN OR THWN AS REQUIRED.
- PROVIDE A TYPED DIRECTORY IN ALL PANELBOARDS CLEARLY DESCRIBING THE LOCATION OF AND TYPE OF LOAD BEING SERVED FOR ALL CIRCUITS. PROVIDE ENGRAVED PHENOLIC NAMEPLATES FOR ALL PANELBOARDS AND DISCONNECT SWITCHES, WHITE LETTERS ON BLACK BACKGROUND.
- FUSES 0 - 600 AMPS SHALL BE UL CLASS "RK-1" LOW PEAK DUAL ELEMENT TIME DELAY WITH 200,000 AMPERE INTERRUPTING RATING AS MANUFACTURED BY BUSSMANN, UNLESS NOTED OTHERWISE.
- ALL TERMINALS/LUGS SHALL BE 60/75" RATED. ALL TERMINALS, SPLICING CONNECTORS, LUGS, ETC SHALL BE IDENTIFIED FOR USE WITH THE MATERIAL (CU/AL) OF THE CONDUCTOR AND SHALL BE PROPERLY INSTALLED.
- VERIFY ALL REQUIREMENTS AND COORDINATE EXACT LOCATION OF INCOMING ELECTRICAL SERVICE WITH LOCAL POWER COMPANY PRIOR TO PROJECT START-UP. NOTIFY ENGINEER OF ANY CHANGES AS MAY BE REQUIRED.
- E.C. TO VERIFY DEVICE PLATE COLOR AND MATERIAL WITH ARCHITECT PRIOR TO PURCHASE.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL ELECTRICAL EQUIPMENT FROM FOREIGN MATERIAL DURING CONSTRUCTION (PAINT, SPACKLE, ETC.).
- IN REQUIRED FIRE RATED WALLS AND PARTITIONS, OPENINGS FOR INSTALLATION OF BOXES THAT ARE GREATER THAN 16 SQUARE INCHES SHALL BE PROTECTED AS REQUIRED BY U.L. COORDINATE CLOSELY WITH THE GENERAL CONTRACTOR TO INSURE THAT THE INTEGRITY OF THE U.L. RATING IS MAINTAINED.
- WHERE A HOME RUN IS SHOWN THE CIRCUIT SHALL NOT BE COMBINED WITH OTHER CIRCUITS. WHERE A CIRCUIT HOMERUN IS NOT SHOWN, THE CONTRACTOR SHALL COMBINE CIRCUITS AS FOLLOWS: A MAXIMUM OF THREE 20A BRANCH CIRCUITS MAY BE COMBINED IN A COMMON HOMERUN WITH SEPARATE NEUTRALS FOR A MAXIMUM TOTAL OF SIX CURRENT CARRYING CONDUCTORS. ALL BRANCH CIRCUITS LARGER THAN 20A SHALL BE SEPARATELY HOMERUN TO THE PANEL.
- ALL 15A/20A 120V RECEPTACLES IN RESIDENTIAL UNITS SHALL BE TAMPER PROOF, EQUAL TO COOPER TR SERIES; GROUND FAULT RECEPTACLES SHALL BE EQUAL TO COOPER VGF SERIES. AUDIBLE TYPE TO BE USED BEHIND REFRIGERATOR.  
  
ALL RECEPTACLE REPLACEMENT SHALL COMPLY WITH NEC 406.4 AND 406.5.  
  
LIGHTING SWITCHES SHALL BE SPECIFICATION GRADE EQUAL TO HUBBELL 1200 SERIES.  
  
ENSURE DEVICES ARE INSTALLED IN COMPLIANCE WITH ANSI A117.1 FOR ADA REQUIREMENTS.
- ALL EXTERIOR FIXTURES AND DEVICES SHALL BE RATED FOR OPERATION AT 0° F AND SHALL BE DAMP OR WET LABELED AS REQUIRED.
- ALL QUESTIONS MUST BE SUBMITTED IN RFI FORMAT TO THE ARCHITECT AND MUST BE ADDRESSED BY THE APPROPRIATE DESIGNER OF RECORD PRIOR TO BECOMING A PROPOSED CHANGE ORDER.

### ELECTRICAL ABBREVIATIONS

18"	DIMENSION INDICATES HEIGHT ABOVE FINISHED FLOOR AT WHICH CENTER OF DEVICE IS TO BE MOUNTED.
AFF	ABOVE FINISHED FLOOR.
AFG	ABOVE FINISHED GRADE.
E.C.	ELECTRICAL CONTRACTOR.
FPN	FUSE PER EQUIPMENT NAMEPLATE REQUIREMENTS.
G.C.	GENERAL CONTRACTOR.
M.C.	MECHANICAL CONTRACTOR.
P.C.	PLUMBING CONTRACTOR.
WP	INDICATES DEVICE TO HAVE WEATHERPROOF COVER.
UON	UNLESS OTHERWISE NOTED.

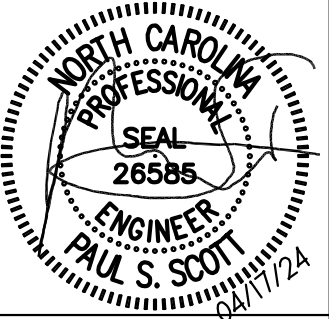
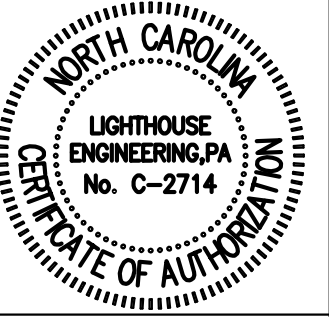
### ELECTRICAL SYMBOL LEGEND

	CIRCUIT CONDUCTORS CONCEALED IN FLOOR, WALL OR CEILING.
	ARROWHEAD INDICATES HOMERUN TO PANEL NOTED.
	INDICATES HOT LEG OF CIRCUIT TO BE CARRIED OVER TO NEXT DEVICE. SEE PLANS FOR CONTROL SCHEME.
	JUNCTION BOX CEILING MOUNTED.
	JUNCTION BOX WALL MOUNTED AT HEIGHT INDICATED ON DRAWINGS.
	SINGLE POLE SWITCH, 20A, 120/277 VOLT. "3" INDICATES 3-WAY SWITCH.
	DUPLEX RECEPTACLE, 15 AMP, 120 VOLT. "GFI" INDICATES GROUND FAULT CIRCUIT INTERRUPTER TYPE. "WP" INDICATES WEATHERPROOF.
	DUPLEX RECEPTACLE, AS ABOVE, MOUNTED 6" ABOVE COUNTER TOP OR 4" ABOVE BACKSPASH, AS APPROPRIATE, OR AT HEIGHT INDICATED.
	DUPLEX RECEPTACLE, AS ABOVE, MOUNTED 6" ABOVE COUNTER TOP OR 4" ABOVE BACKSPASH, AS APPROPRIATE, OR AT HEIGHT INDICATED.
	240V RECEPTACLE, SEE PLANS FOR NEMA CONFIGURATION.
	HEAVY DUTY FUSIBLE/NON-FUSIBLE DISCONNECT SWITCH, NUMBERS INDICATE FRAME SIZE, NUMBER OF POLES AND FUSING. PROVIDE NEMA 1 ENCLOSURE INSIDE. PROVIDE NEMA 3 ENCLOSURE, WITH INTEGRATED OUTLET, (EQUAL TO MIDWEST U06SNA101) FOR ALL SWITCHES LOCATED OUTSIDE. "FPN" INDICATES FUSE PER EQUIPMENT NAMEPLATE
	240/120V PANEL, RECESS MOUNTED, SEE SCHEDULE FOR DETAILS.
	EXHAUST FAN/LIGHT, PROVIDED AND INSTALLED BY MECHANICAL CONTRACTOR, WIRED BY ELECTRICAL CONTRACTOR. PROVIDE DISCONNECTING MEANS AS REQUIRED. NUTONE A605SL FAN EQUIPPED WITH 13W A19 5000K LED BULB. WIRE TO VANITY LIGHT ON TIMER SWITCH.
	ELECTRIC WATER HEATER.
	CEILING MOUNTED LIGHT.
	WALL MOUNTED LIGHT.
	CONNECTION FOR RANGE HOOD/FAN.
	TELEPHONE OUTLET.
	CABLE TV OUTLET.
	DOOR BELL, AT 80" AFF, WITH AUDIBLE AND VISUAL NOTIFICATION AND 120V TRANSFORMER. CONNECT TO NEAREST 120V CIRCUIT; EDWARDS SIGNALING 6536-G5. AMBER/YELLOW COLOR.
	LOW VOLTAGE DOOR BELL BUTTON, IN METAL PUSH BUTTON HOUSING (EQUAL TO EDWARDS SIGNALING 147-10), CONNECTED TO DOOR BELL(S); EDWARDS SIGNALING 620-L. MOUNTED AT 48" AFF MAX.
	ATTENDANT CALL PULL STATION, 46" AFF TO CENTER W/ PULL STRING; PROVIDE WITH EMERGENCY POWER SOURCE BACKUP; EDWARDS SIGNALING 6538-G5. PULL STRING TO BE WITHIN 4" OF THE FLOOR.
	ATTENDANT CALL MINI-HORN AND STROBE COMBINATION UNIT, 80" AFF; PROVIDE WITH EMERGENCY POWER SOURCE BACKUP; EDWARDS SIGNALING HG4MN-HVMC.
	ALARM INDICATING DEVICE, REMOTE STROBE. 80" A.F.F.; BRK SLED177. WHITE IN COLOR.
	120V COMBINATION SMOKE ALARM / CARBON MONOXIDE DETECTOR / STROBE WITH BATTERY BACK-UP; CONNECT TO NEAREST 120V CIRCUIT AND INSTALL PER MANUFACTURERS RECOMMENDATIONS; BRK 7030BSL.
	120V COMBINATION SMOKE ALARM / CARBON MONOXIDE DETECTOR WITH 10 YEAR BATTERY BACK-UP; CONNECT TO NEAREST 120V CIRCUIT AND INSTALL PER MANUFACTURERS RECOMMENDATIONS; BRK SC9120LBL.
	120V MULTI-STATION SMOKE ALARM WITH EMERGENCY POWER SOURCE BACK-UP; CONNECT TO 120V CIRCUIT AS INDICATED. EQUAL TO BRK 7020BSL. "ADA" - DEVICE SHALL PROVIDE SIGNAL TO REMOTE STROBE.

### Drawing Sheet List

#	Title
E0.0	ELECTRICAL LEGEND, NOTES, AND SCHEDULES
E0.1	ELECTRICAL DETAILS
E1.0	ELECTRICAL BUILDING 1 PLANS NC 15-1
E1.1	ELECTRICAL BUILDING 2 & 3 PLANS NC 15-1
E1.2	ELECTRICAL BUILDING 4 & 5 PLANS NC 15-1
E1.3	ELECTRICAL BUILDING 6 & 7 PLANS NC 15-1
E1.4	ELECTRICAL BUILDING 8 & 9 PLANS NC 15-1
E1.5	ELECTRICAL BUILDING 14 PLANS NC 15-1
E1.6	ELECTRICAL BUILDING 15 PLANS NC 15-1
E2.0	ELECTRICAL UNIT PLANS NC 15-1
E2.1	ELECTRICAL UNIT PLANS NC 15-1
E3.0	ELECTRICAL UNIT PLANS NC 15-1
E3.1	ELECTRICAL UNIT PLANS NC 15-1
E4.0	ELECTRICAL UNIT PLANS NC 15-1
E4.1	ELECTRICAL UNIT PLANS NC 15-1
E10.0	ELECTRICAL BUILDING C & C-A PLANS NC 15-3
E11.0	ELECTRICAL UNIT PLANS NC 15-3
E12.0	ELECTRICAL UNIT PLANS NC 15-3
E12.1	ELECTRICAL UNIT PLANS NC 15-3
E13.0	ELECTRICAL UNIT PANEL SCHEDULES
E14.0	ELECTRICAL BUILDING RISER DIAGRAMS
E14.1	ELECTRICAL BUILDING RISER DIAGRAMS
E14.2	ELECTRICAL BUILDING RISER DIAGRAMS
E14.3	ELECTRICAL BUILDING RISER DIAGRAMS

REVISIONS



**Stogner Architecture, PA**  
 ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
 615 East Broad Avenue, Rockingham, North Carolina, 28379  
 Phone 910-895-6874 Fax 910-895-1111

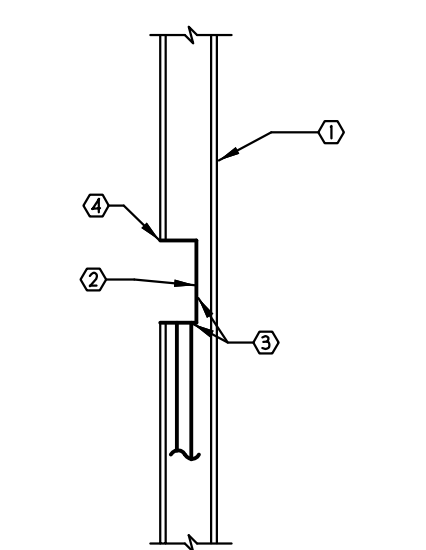
**Housing Authority of the City of Goldsboro**  
 RENOVATIONS - FAIRVIEW APARTMENTS  
 NC 15-1 FAIRVIEW CIRCLE  
 GOLDSBORO, NORTH CAROLINA

ELECTRICAL LEGEND, NOTES, AND SCHEDULES

COMM. NO.: 6041-B  
 DRAWN BY: TGW  
 CHECKED BY: PSS  
 DATE: APR. 2, 2024

SHEET NO. **E0.0**

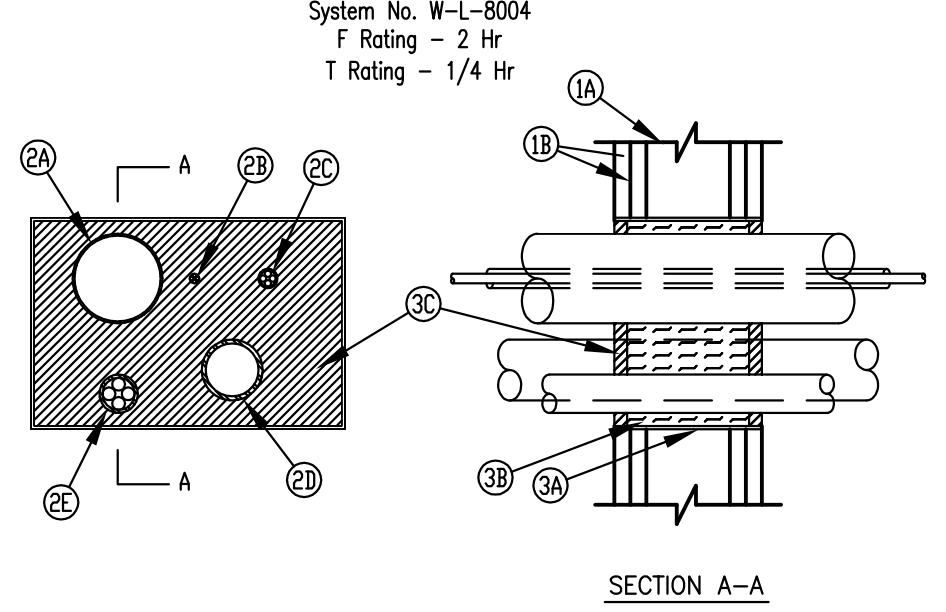




NOTE: THIS DETAIL APPLIES TO 1 AND 2 HOUR WALL ASSEMBLIES WITH MAXIMUM 4"x4" FLUSH ELECTRICAL BOXES ON OPPOSITE SIDES OF WALLS THAT HAVE LESS THAN 24" SEPARATION BETWEEN THEM AND ALL STAGGERED STUD WALLS. BOXES NOT PERMITTED BACK-TO-BACK.

- 1 OR 2 HOUR WALL ASSEMBLY EQUIVALENT TO UL300 OR UL400 SERIES.
- ELECTRICAL OUTLET BOX, NOT MORE THAN 100 SQUARE INCHES PER 100 SQUARE FEET WALL AREA.
- HOLDABLE PUTTY PADS ARE TO BE INSTALLED TO COMPLETELY COVER THE EXTERIOR SURFACES OF THE BOX WITHIN THE STUD CAVITY WITH A BALL OF THE PUTTY MATERIAL USED TO PLUG THE END OF EACH ELECTRICAL METALLIC TUBE OR CONDUIT AT ITS CONNECTION TO THE BOX.
- PUTTY PAD EQUIVALENT TO 3M #PPP-4S, 1/8" THICK PADS REQUIRED FOR 1 HOUR WALLS 1/4" THICK PADS REQUIRED FOR 2 HOUR WALLS A MAXIMUM 1/8" GAP BETWEEN BOX AND WALLBOARD.

**7 PENETRATION DETAIL**  
NTS



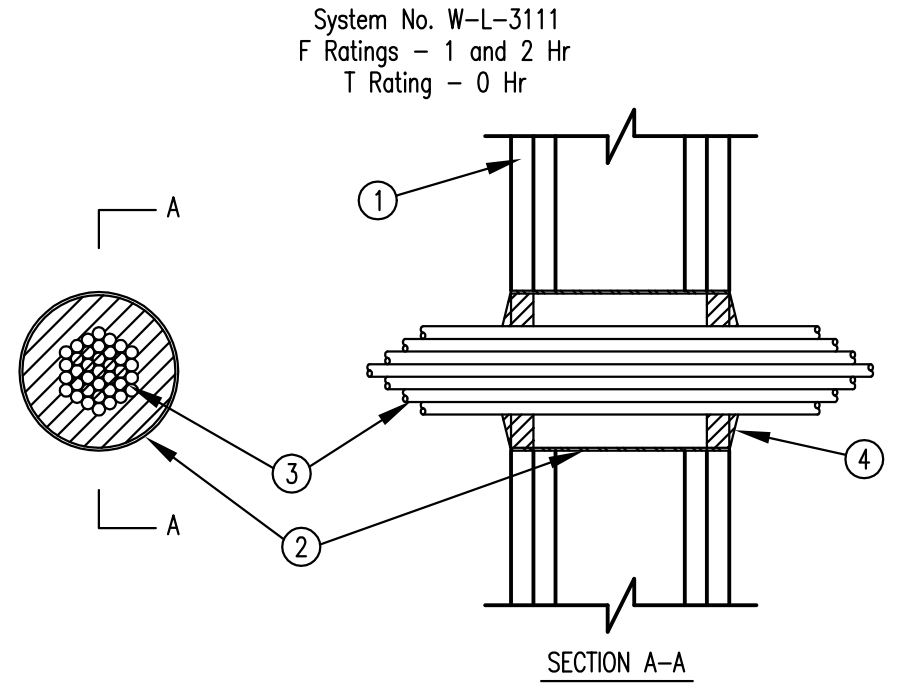
**1. Wall Assembly** The fire-rated gypsum wallboard/stud wall assembly shall be constructed of the materials and in the manner specified in the individual U300 or U400 Series Wall and Partition Designs in the UL Fire Resistance Directory and shall include the following construction features:  
**A. Stud** Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nom 2 by 4 in. lumber spaced 16 in. OC. Steel studs to be min 2-1/2 in. wide and spaced max 24 in. OC. Additional framing (not shown) may be installed around the perimeter of the opening in lieu of the steel wire mesh (Item No. 3A).  
**B. Gypsum Board\*** Two layers of nom 5/8 in. thick gypsum wallboard, as specified in the individual Wall and Partition Designs. Max area of opening is 96 sq in. with max dimension of 12 in. Max width of opening in wood studs is limited to 12 in.

**2. Through Penetrants** The following types and sizes of pipes, conduits, tubing or cables may be used:  
**A.** Nom 3 in. diam (or smaller) electrical metallic tubing (EMT).  
**B.** Max 25 pair - No. 24 AWG (or smaller) telephone cable with polyvinyl chloride (PVC) insulation and jacket.  
**C.** Max 3/4 with ground - No. 10 AWG (or smaller) Type NM cable with PVC insulation and jacket.  
**D.** Nom 2 in. diam (or smaller) Schedule 40 PVC pipe for use in closed (process or supply) piping systems only.  
**E.** Max 300 kcmil (or smaller) power cable with PVC insulation and PVC/nylon jacket. The through penetrating items to be rigidly supported on both sides of wall assembly and located as shown in the table below:

Item No.	Max Distance Adjacent Pen. Item In.	Min Distance Adjacent Pen. Item In.	Max Distance From Opening In.	Min Distance From Through Opening In.
2A	7-7/16	1-11/16	7-7/16	1/2
2B	7-7/16	1-11/16	7-7/16	1/2
2C	7-7/16	1-11/16	7-7/16	1/2
2D	7-7/16	1-11/16	7-7/16	1/2
2E	7-7/16	1-11/16	7-7/16	1-1/2

**3. Firestop System** The firestop system shall consist of the following:  
**A. Steel Wire Mesh** No. 8 steel wire mesh having a min 1 in. top along the longitudinal seam. Length of steel wire mesh to be 4-3/4 in., centered and formed to fit periphery of through opening. Steel wire mesh is not required when additional framing members (Item No. 1A) are used.  
**B. Packing Material** Min 4.0 in. thickness of min 1.5 pcf mineral wool batt insulation firmly packed into opening as a permanent form. Packing material to be recessed from both surfaces of wall as required to accommodate the required thickness of fill material.  
**C. Fill Void or Condy Material\*** - Sealant Min 1/2 in. thickness of fill material applied within the annulus, flush with both surfaces of wall.  
**HILL CONSTRUCTION CHEMICALS, DIV OF HILL INC - FS-One Sealant**  
\*Bearing the UL Classification Marking

**6 PENETRATION DETAIL**  
NTS



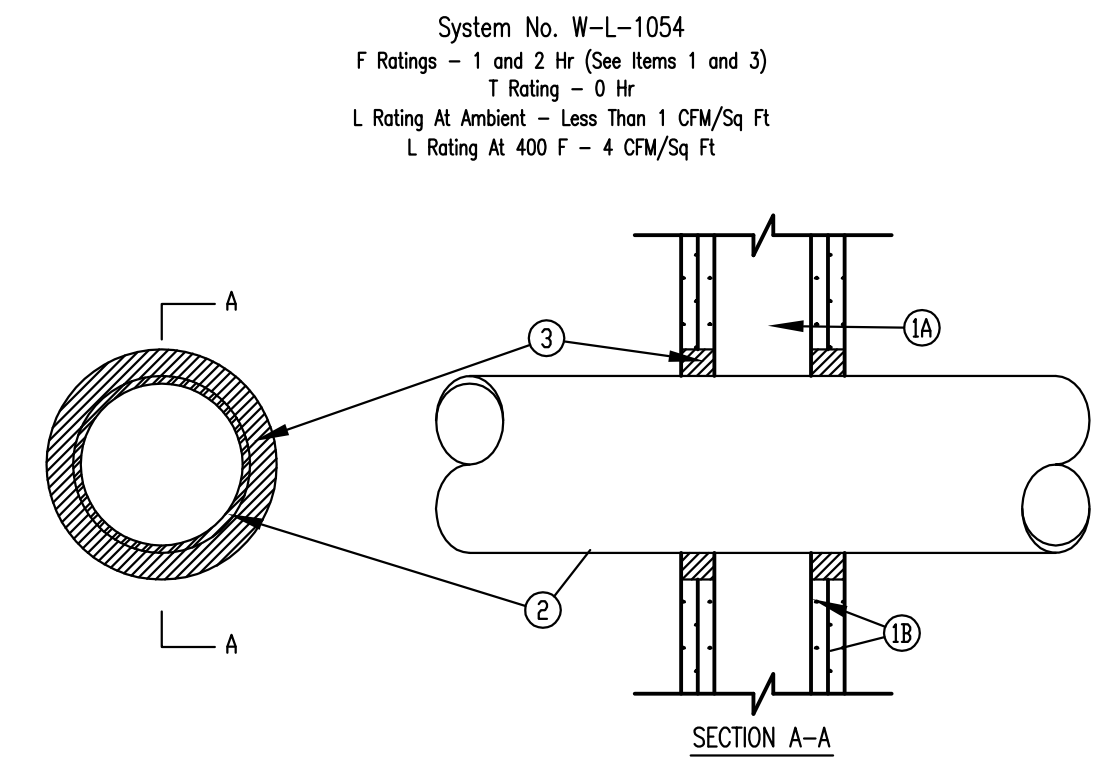
**1. Wall Assembly** The fire-rated gypsum wallboard/stud wall assembly shall be constructed of the materials and in the manner specified in the individual U300 or U400 Series Wall and Partition Designs in the UL Fire Resistance Directory and shall include the following construction features:  
**A. Stud** Wall framing shall consist of either wood studs or channel shaped steel studs. Wood studs to consist of 2 by 4 in. lumber spaced 16 in. OC. Steel studs to be min 2-1/2 in. wide, fabricated from min 25 MSL galvanized steel, spaced max 24 in. OC.  
**B. Gypsum Board\*** 5/8 in. thick, 4 ft wide with square or tapered edges. The gypsum wallboard type, thickness, number of layers and sheet orientation shall be as specified in the individual U300 or U400 Series Designs in the UL Fire Resistance Directory. Max. diam. of opening is 4 in.

**2. Metallic Sleeve - Optional** The nominal 4 in. diam steel electrical metallic tubing (EMT) or Schedule 5 steel pipe friction fit into wall assembly and installed flush with wall surfaces.

**3. Cables** Aggregate cross-sectional area of cables in cable tray to be max 25 percent of the cross-sectional area of the opening. The annular space between the cable bundle and the periphery of the opening to be min 1/8 in. to max 3/4 in. Cables to be rigidly supported on both sides of the wall assembly. Any combination of the following types and sizes of cables may be used:  
**A.** 6 pair - No. 24 AWG telephone cable with polyvinyl chloride (PVC) insulation and PVC jacket.  
**B.** 24 fiber optic cable with polyvinyl chloride (PVC) outer and subunit jacket.  
**C.** Type RGU/59 coaxial cable with polyethylene (PE) insulation and polyvinyl (PVC) jacket.  
**D.** The 2/C No. 10 AWG cable with ground with polyvinyl (PVC) insulation and jacket.  
**E.** 3/C No. 12 AWG cable with polyvinyl chloride (PVC) insulation in a nominal 1/2 in. flexible metal conduit.

**4. Fill Void or Condy Material\*** Putty - Min 5/8 in. thickness of fill material applied within annulus flush with both surfaces of wall. Fill material to be forced into interstices of cable bundle to the max extent possible on both surfaces of wall.  
 Additional fill material to be installed such that a min 1/4 in. crown is formed around the cable bundle and lapped over the steel sleeve.  
**HILL CONSTRUCTION CHEMICALS, DIV OF HILL INC - CP618 Firestop Putty Stick**  
\*Bearing the UL Classification Marking

**5 PENETRATION DETAIL**  
NTS

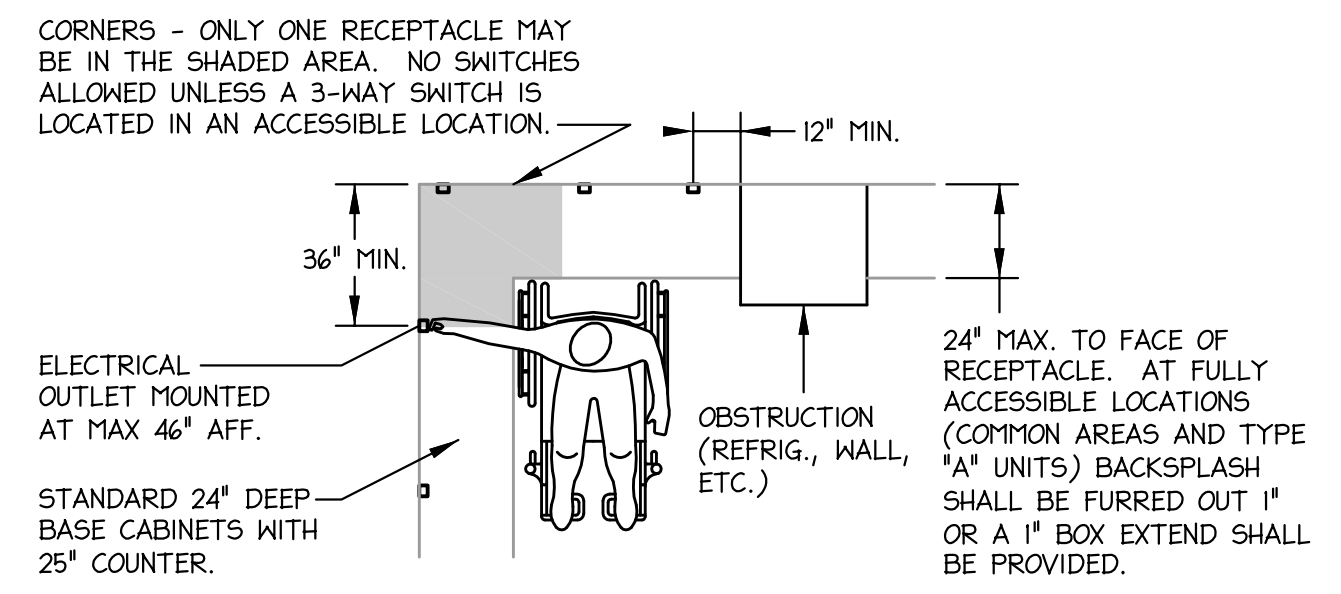


**1. Wall Assembly** The 1 or 2 hr fire-rated gypsum wallboard/stud wall assembly shall be constructed of the materials and in the manner specified in the individual U300 or U400 Series Wall and Partition Designs in the UL Fire Resistance Directory and shall include the following construction features:  
**A. Stud** Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nom 2 by 4 in. lumber spaced 16 in. OC. Steel studs to be min 2-1/2 in. wide and spaced max 24 in. OC. When steel studs are used and the diam. of opening exceeds the width of stud cavity, the opening shall be framed on all sides using lengths of steel stud installed between the vertical studs and screw-attached to the steel studs at each end. The framed opening in the wall shall be 4 to 6 in. wider and 4 to 6 in. higher than the diam. of the penetrating item such that, when the penetrating item is installed in the opening, a 2 to 3 in. clearance is present between the penetrating item and the framing on all four sides.  
**B. Gypsum Board\*** 5/8 in. thick, 4 ft wide with square or tapered edges. The gypsum wallboard type, thickness, number of layers, fastener type and sheet orientation shall be as specified in the individual U300 or U400 Series Design in the UL Fire Resistance Directory. Max. diam. of opening is 32-1/4 in. for steel stud walls. Max. diam. of opening is 14-1/2 in. for wood stud walls.  
**The F Rating of the firestop system is equal to the fire rating of the wall assembly.**

**2. Through-Penetrants** One metallic pipe, conduit or tubing to be installed either concentrically or eccentrically within the firestop system. An annular space of min 0 in. to max 2-1/4 in. is required within firestop system. Pipe, conduit or tubing to be rigidly supported on both sides of wall assembly. The following types and sizes of metallic pipes, conduits or tubing may be used:  
**A. Steel Pipe** Nom. 30 in. diam. (or smaller) schedule 10 (or heavier) steel pipe.  
**B. Iron Pipe** Nom. 30 in. diam. (or smaller) cast or ductile iron pipe.  
**C. Conduit** Nom. 4 in. diam. (or smaller) steel electrical metallic tubing or 6 in. diam. steel conduit.  
**D. Copper Tubing** Nom. 6 in. diam. (or smaller) Type L (or heavier) copper tubing.  
**E. Copper Pipe** Nom. 6 in. diam. (or smaller) regular (or heavier) copper pipe.

**3. Fill Void or Condy Material\*** - Sealant Min 5/8 in. or 1-1/4 in. thickness of fill material applied within the annulus, flush with both surfaces of wall for 1 or 2 hr walls, respectively. At the point contact location between pipe and wall, a min 1/2 in. diam. bead of fill material shall be applied at the pipe covering/wall interface on both surfaces of wall.  
**HILL CONSTRUCTION CHEMICALS, DIV OF HILL INC - FS-One Sealant**  
\*Bearing the UL Classification Mark

**4 PENETRATION DETAIL**  
NTS



CORNERS - ONLY ONE RECEPTACLE MAY BE IN THE SHADED AREA. NO SWITCHES ALLOWED UNLESS A 3-WAY SWITCH IS LOCATED IN AN ACCESSIBLE LOCATION.

36" MIN.

12" MIN.

24" MAX. TO FACE OF RECEPTACLE. AT FULLY ACCESSIBLE LOCATIONS (COMMON AREAS AND TYPE "A" UNITS) BACKSPASH SHALL BE FURRED OUT 1" OR A 1" BOX EXTEND SHALL BE PROVIDED.

OBSTRUCTION (REFRIG., WALL, ETC.)

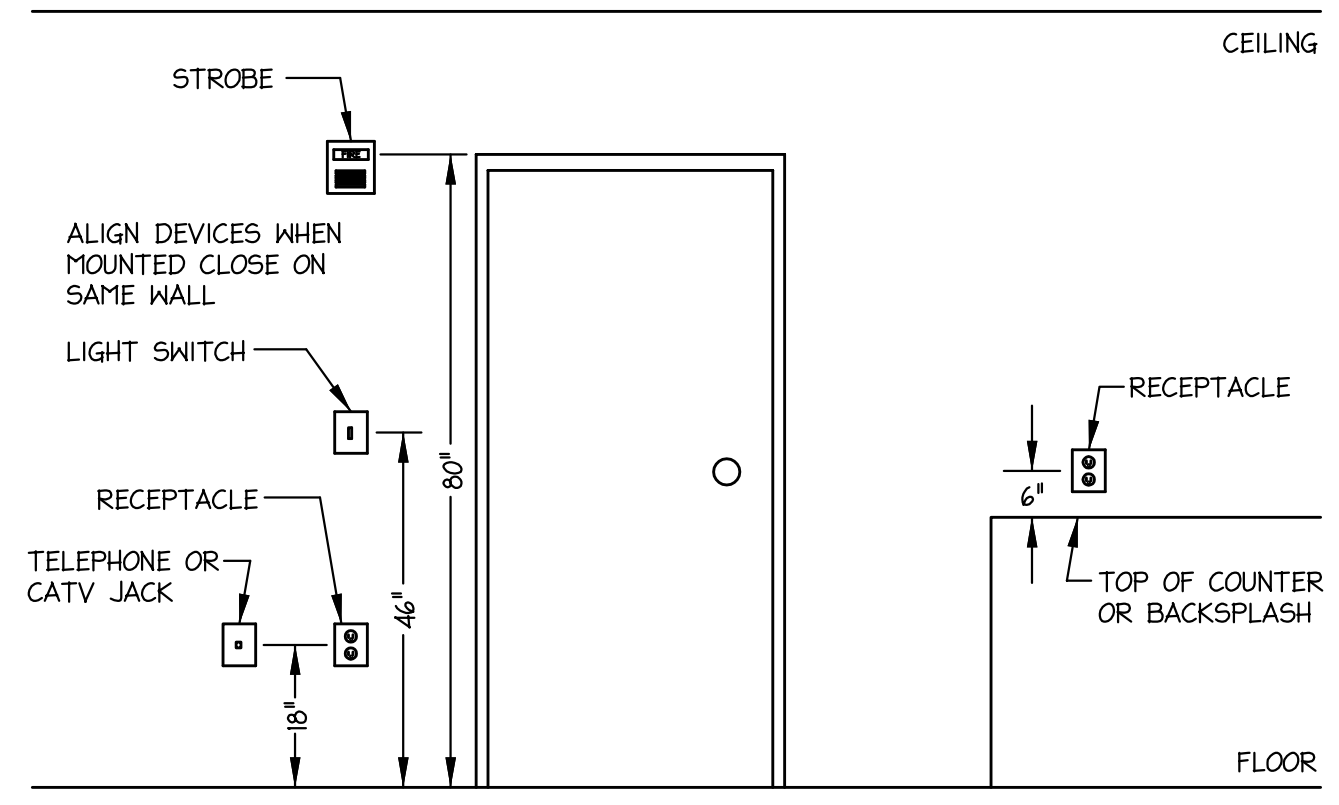
ELECTRICAL OUTLET MOUNTED AT MAX 46" AFF.

STANDARD 24" DEEP BASE CABINETS WITH 25" COUNTER.

**3 ACCESSIBLE SWITCH AND OUTLET LOCATIONS**  
NTS

NOTES:  
 THESE REQUIREMENTS APPLY TO ALL RESIDENTIAL UNITS THAT ARE REQUIRED TO BE ACCESSIBLE AND/OR CONVERTABLE TO BEING ACCESSIBLE.  
 1. PROVIDE SWITCHES/CONTROLS IN AN ACCESSIBLE LOCATION FOR CONTROL OF RANGE HOODS AND OTHER BUILT-IN APPLIANCES.  
 2. AT BATHROOM VANITIES RECEPTACLES LOCATED ON THE SIDE WALL SHALL BE NO MORE THAN 12" FROM THE FRONT EDGE OF THE VANITY.

**3 ACCESSIBLE SWITCH AND OUTLET LOCATIONS**  
NTS



CEILING

STROBE

ALIGN DEVICES WHEN MOUNTED CLOSE ON SAME WALL

LIGHT SWITCH

RECEPTACLE

TELEPHONE OR CATV JACK

RECEPTACLE

6"

36"

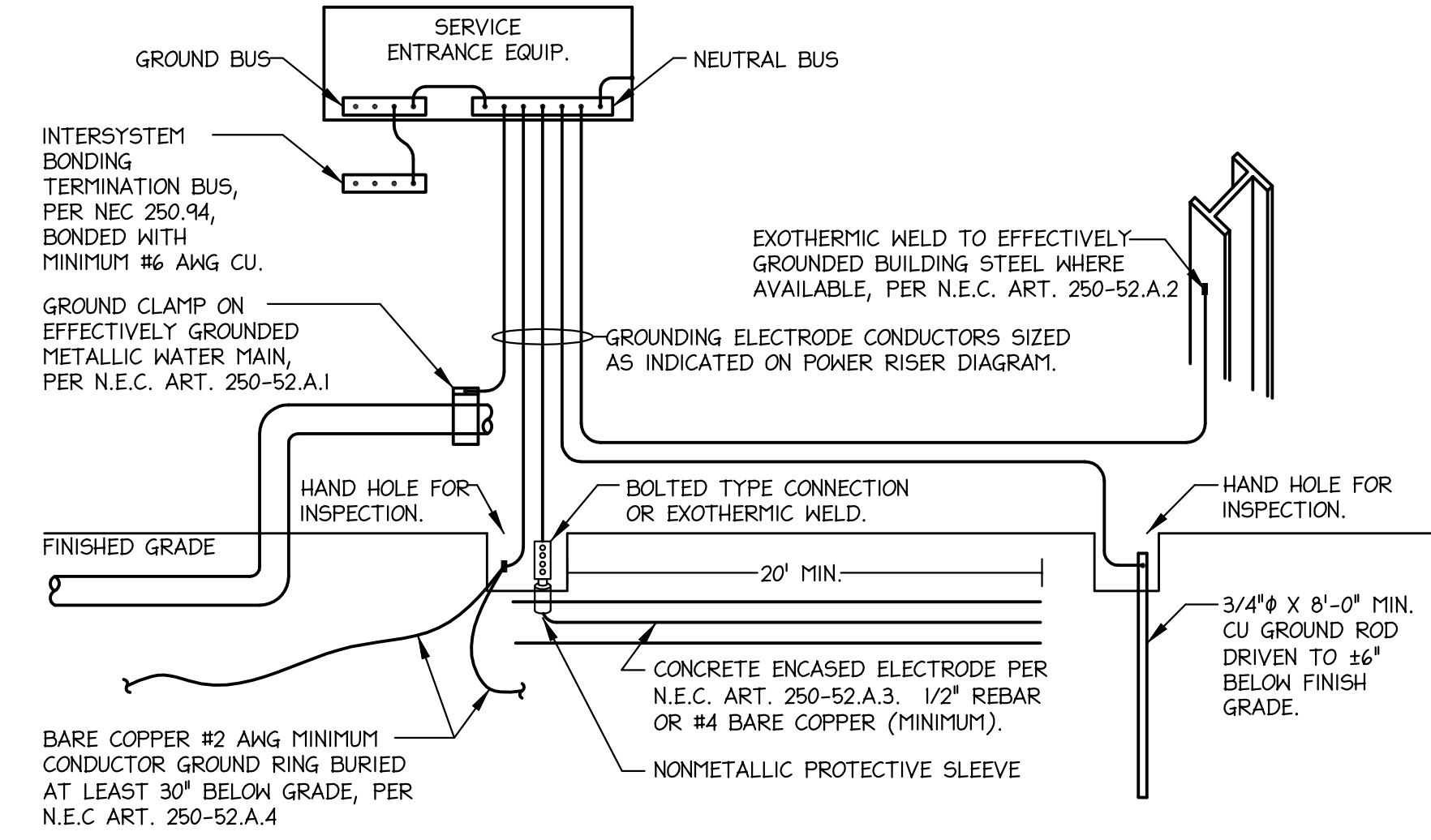
80"

TOP OF COUNTER OR BACKSPASH

FLOOR

**2 TYPICAL DEVICE MOUNTING HEIGHTS**  
NTS

**2 TYPICAL DEVICE MOUNTING HEIGHTS**  
NTS



GROUND BUS

SERVICE ENTRANCE EQUIP.

NEUTRAL BUS

INTERSYSTEM BONDING TERMINATION BUS, PER NEC 250.94, BONDED WITH MINIMUM #6 AWG CU.

GROUND CLAMP ON EFFECTIVELY GROUNDED METALLIC WATER MAIN, PER N.E.C. ART. 250-52.A.1

EXOTHERMIC WELD TO EFFECTIVELY GROUNDED BUILDING STEEL WHERE AVAILABLE, PER N.E.C. ART. 250-52.A.2

GROUNDING ELECTRODE CONDUCTORS SIZED AS INDICATED ON POWER RISER DIAGRAM.

HAND HOLE FOR INSPECTION.

BOLTED TYPE CONNECTION OR EXOTHERMIC WELD.

20' MIN.

CONCRETE ENCASED ELECTRODE PER N.E.C. ART. 250-52.A.3, 1/2" REBAR OR #4 BARE COPPER (MINIMUM).

NONMETALLIC PROTECTIVE SLEEVE

FINISHED GRADE

BARE COPPER #2 AWG MINIMUM CONDUCTOR GROUND RING BURIED AT LEAST 30" BELOW GRADE, PER N.E.C. ART. 250-52.A.4

HAND HOLE FOR INSPECTION.

3/4" X 8'-0" MIN. CU GROUND ROD DRIVEN TO ±6" BELOW FINISH GRADE.

**1 GROUNDING DETAIL**  
NTS

GROUNDING ELECTRODES SHALL BE PROVIDED IN ACCORDANCE WITH NEC SECTION 250. ALL GROUNDING ELECTRODE CONDUCTORS SIZED AS INDICATED ON POWER GRINDING DIAGRAM. ALL METHODS OF CREATING THE GROUNDING SYSTEM MAY NOT BE REQUIRED OR AVAILABLE.

**1 GROUNDING DETAIL**  
NTS

REVISIONS

Stogner Architecture, PA  
 ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
 615 East Broad Avenue, Rockingham, North Carolina, 28379  
 Phone 910-895-6874 Fax 910-895-1111

Housing Authority of the City of Goldsboro  
 RENOVATIONS - FAIRVIEW APARTMENTS  
 NC 15-1 FAIRVIEW CIRCLE  
 GOLDSBORO, NORTH CAROLINA

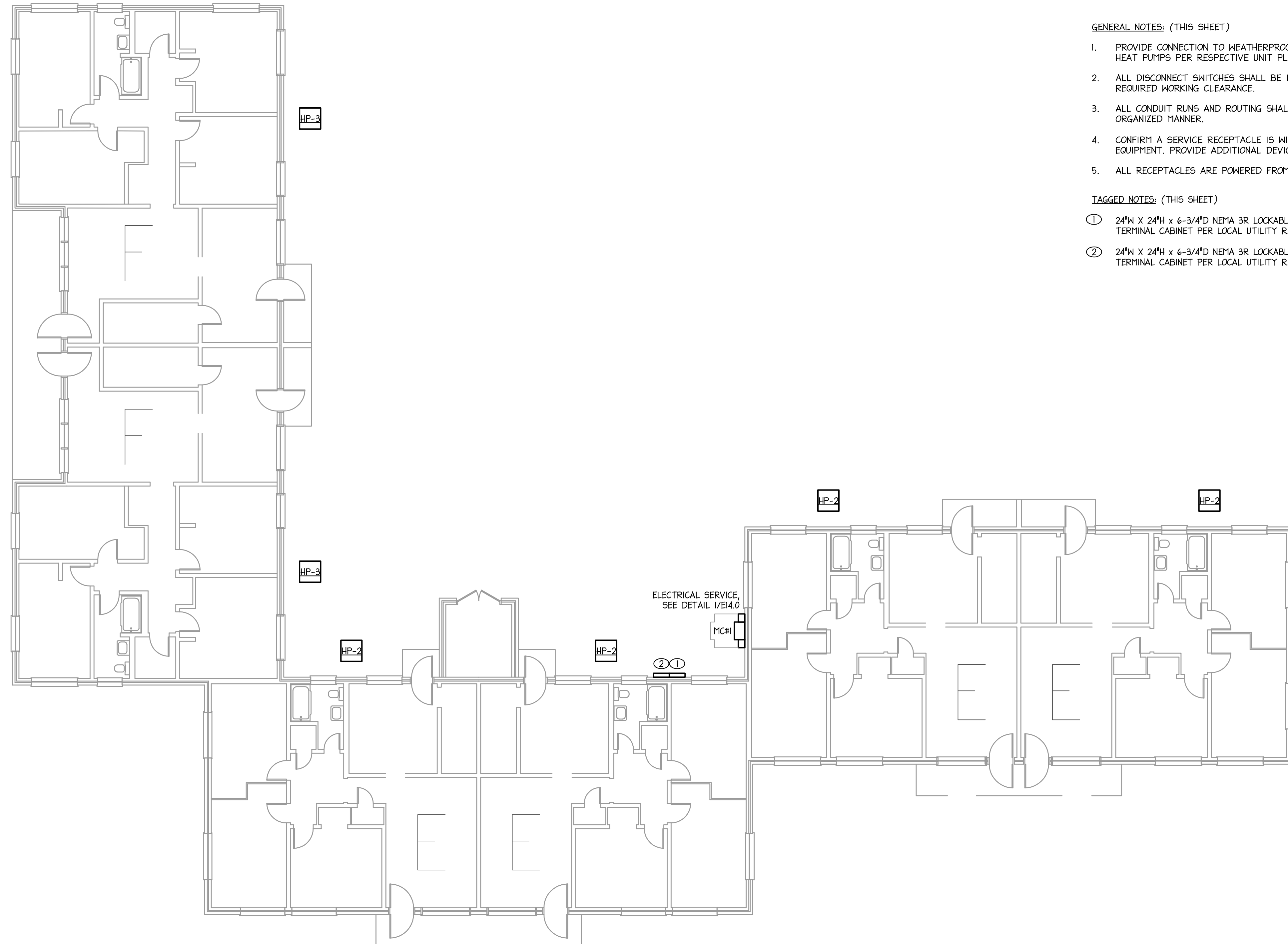
ELECTRICAL DETAILS

COMM. NO.: 6041-B  
 DRAWN BY: TGW  
 CHECKED BY: PSS  
 DATE: APR. 2, 2024  
 SHEET NO. E0.1

03/04/24 09:58:30 AM C:\PROJECTS\BUILDING 1\DRAWING\15-1.DWG  
REVISED: 03/04/24 09:58:30 AM

A  
B  
C  
D

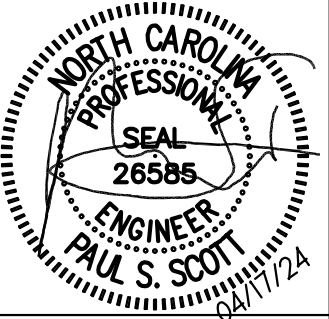
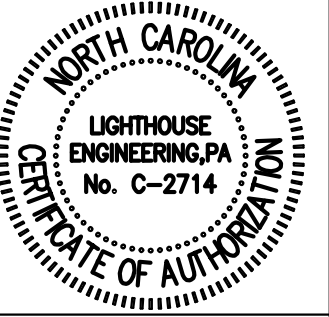
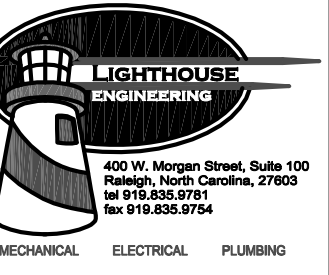
1 2 3 4



- GENERAL NOTES: (THIS SHEET)**
1. PROVIDE CONNECTION TO WEATHERPROOF DISCONNECT FOR UNIT HEAT PUMPS PER RESPECTIVE UNIT PLAN AND PANEL SCHEDULE.
  2. ALL DISCONNECT SWITCHES SHALL BE INSTALLED TO PERMIT REQUIRED WORKING CLEARANCE.
  3. ALL CONDUIT RUNS AND ROUTING SHALL BE LAID OUT IN AN ORGANIZED MANNER.
  4. CONFIRM A SERVICE RECEPTACLE IS WITHIN 25'-0" OF ALL HVAC EQUIPMENT. PROVIDE ADDITIONAL DEVICES AS NEEDED.
  5. ALL RECEPTACLES ARE POWERED FROM THEIR RESPECTIVE UNIT.
- TAGGED NOTES: (THIS SHEET)**
- ① 24" X 24" X 6-3/4" D NEMA 3R LOCKABLE, HINGED TELEPHONE TERMINAL CABINET PER LOCAL UTILITY REQUIREMENTS.
  - ② 24" X 24" X 6-3/4" D NEMA 3R LOCKABLE, HINGED CABLE TV TERMINAL CABINET PER LOCAL UTILITY REQUIREMENTS.

**1 BUILDING 1 - NC 15-1**  
1/8"=1'-0" FAIRVIEW CIRCLE

REVISIONS



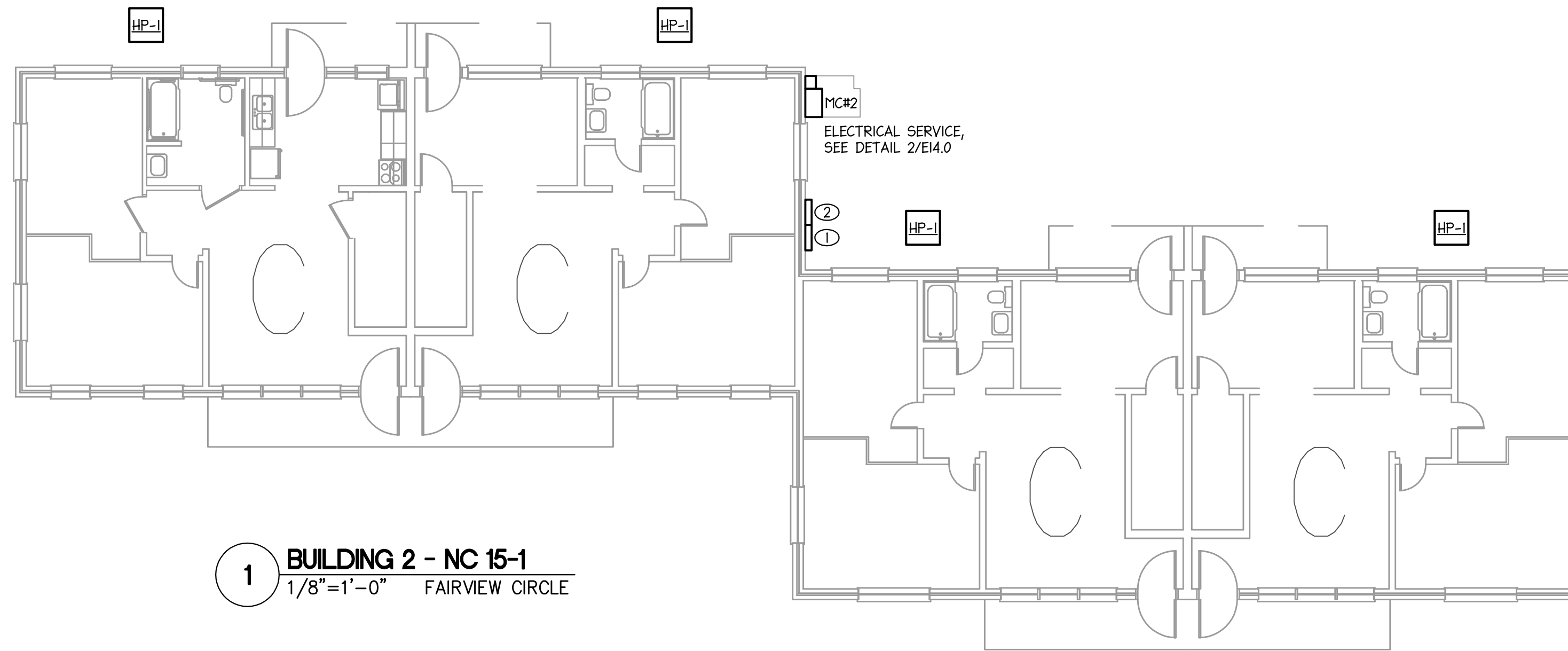
**Stogner Architecture, PA**  
ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
615 East Broad Avenue, Rockingham, North Carolina, 28379  
Phone 910-895-6874 Fax 910-895-1111

**Housing Authority of the City of Goldsboro**  
RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

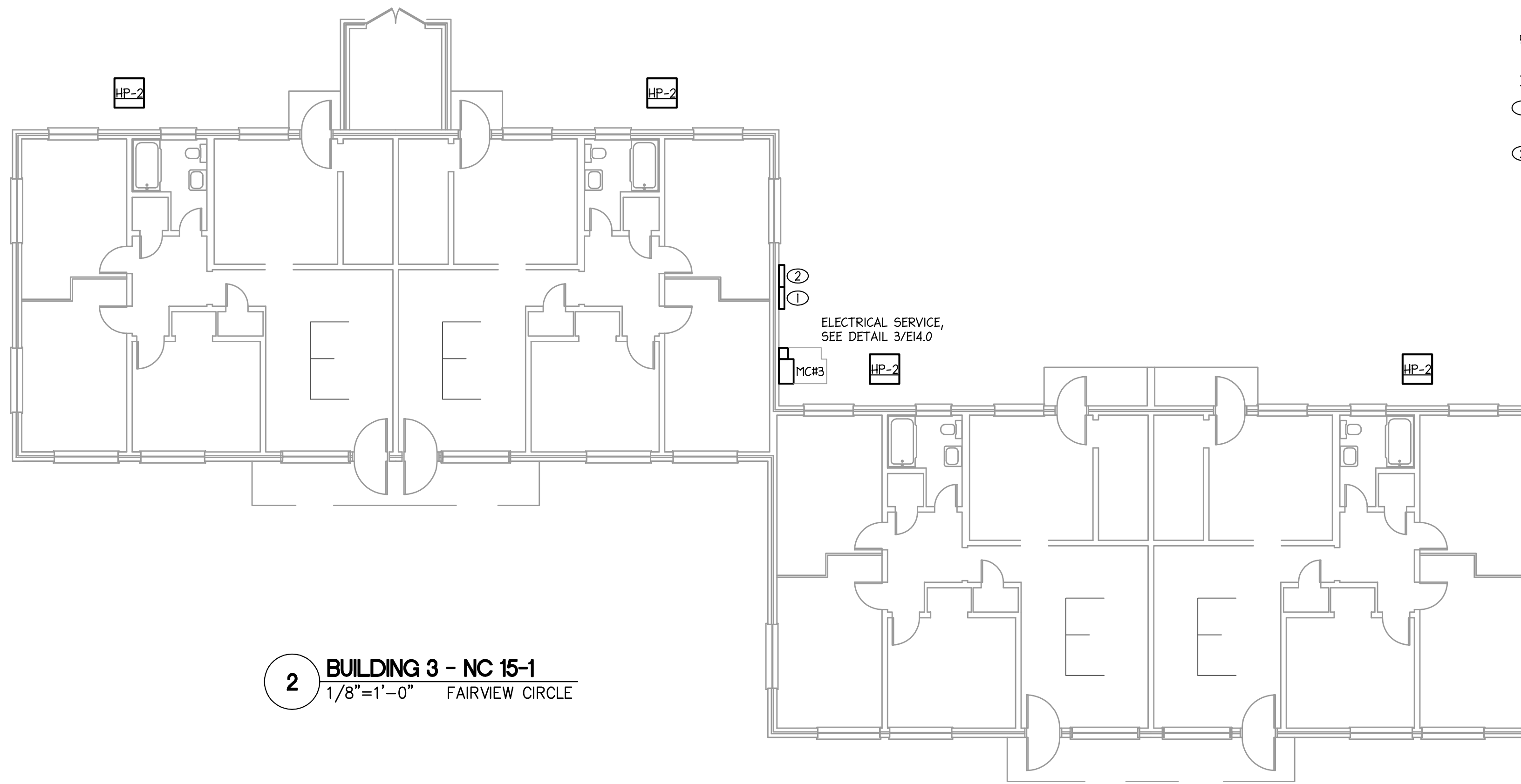
ELECTRICAL  
BUILDING 1 PLANS  
NC 15-1

COMM. NO.: 6041-B  
DRAWN BY: TGW  
CHECKED BY: PSS  
DATE: APR. 2, 2024  
SHEET NO.  
**E1.0**





**1** BUILDING 2 - NC 15-1  
1/8"=1'-0" FAIRVIEW CIRCLE



**2** BUILDING 3 - NC 15-1  
1/8"=1'-0" FAIRVIEW CIRCLE

**GENERAL NOTES: (THIS SHEET)**

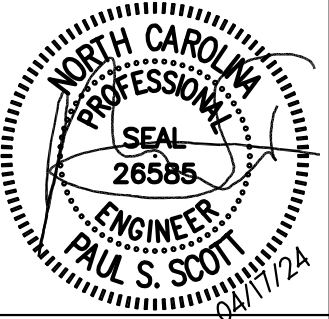
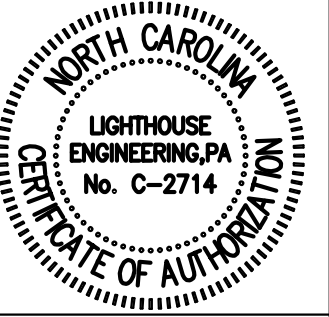
1. PROVIDE CONNECTION TO WEATHERPROOF DISCONNECT FOR UNIT HEAT PUMPS PER RESPECTIVE UNIT PLAN AND PANEL SCHEDULE.
2. ALL DISCONNECT SWITCHES SHALL BE INSTALLED TO PERMIT REQUIRED WORKING CLEARANCE.
3. ALL CONDUIT RUNS AND ROUTING SHALL BE LAID OUT IN AN ORGANIZED MANNER.
4. CONFIRM A SERVICE RECEPTACLE IS WITHIN 25'-0" OF ALL HVAC EQUIPMENT. PROVIDE ADDITIONAL DEVICES AS NEEDED.
5. ALL RECEPTACLES ARE POWERED FROM THEIR RESPECTIVE UNIT.

**TAGGED NOTES: (THIS SHEET)**

- ① 24" X 24" H X 6-3/4" D NEMA 3R LOCKABLE, HINGED TELEPHONE TERMINAL CABINET PER LOCAL UTILITY REQUIREMENTS.
- ② 24" X 24" H X 6-3/4" D NEMA 3R LOCKABLE, HINGED CABLE TV TERMINAL CABINET PER LOCAL UTILITY REQUIREMENTS.

PROJECT: ELECTRICAL BUILDING 2 & 3 FAIRVIEW CIRCLE NC 15-1.dwg  
 DATE: 11/20/24 10:30am

REVISIONS



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Housing Authority of the  
 City of Goldsboro  
 RENOVATIONS - FAIRVIEW APARTMENTS  
 NC 15-1 FAIRVIEW CIRCLE  
 GOLDSBORO, NORTH CAROLINA

ELECTRICAL  
 BUILDING 2 & 3 PLANS  
 NC 15-1

COMM. NO.: 6041-B

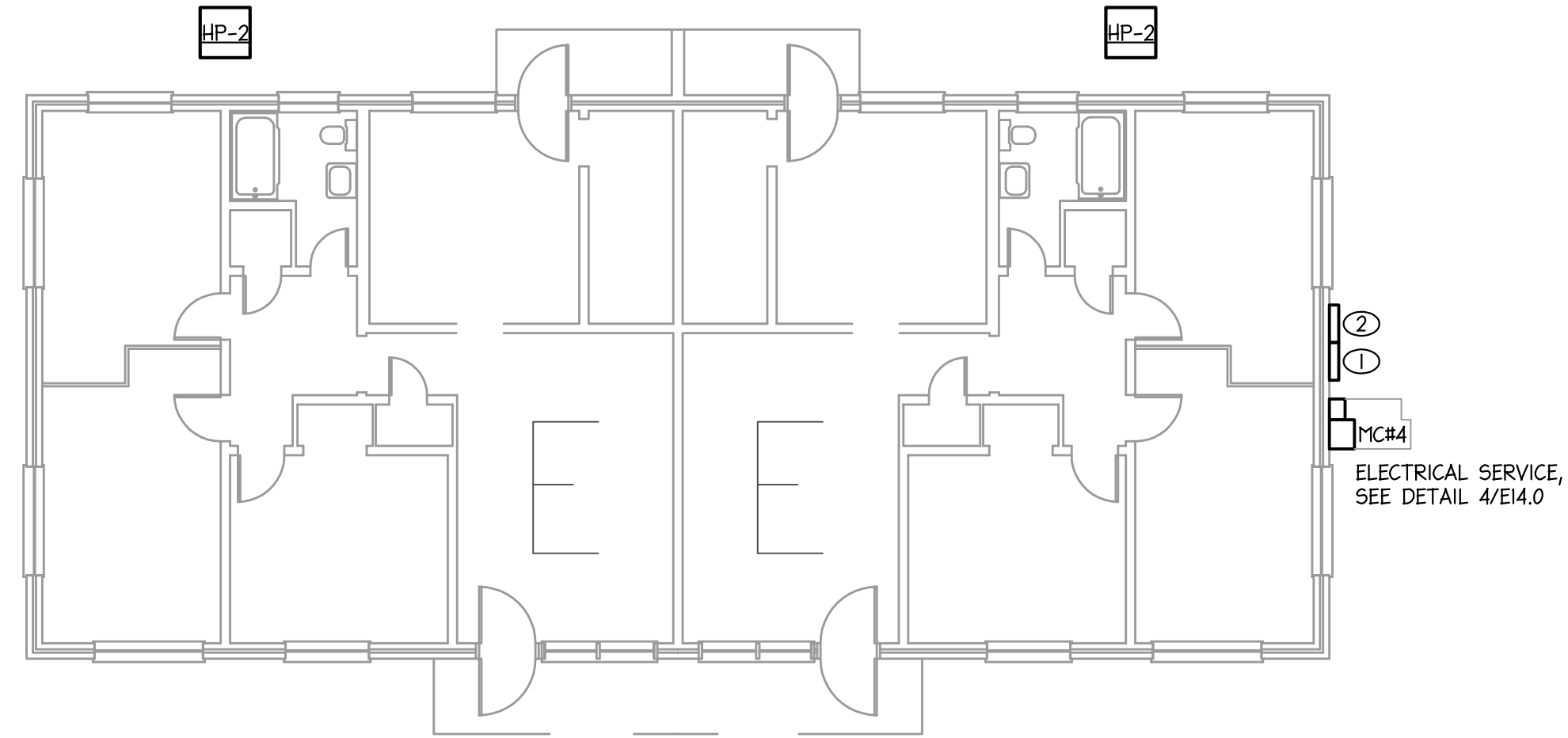
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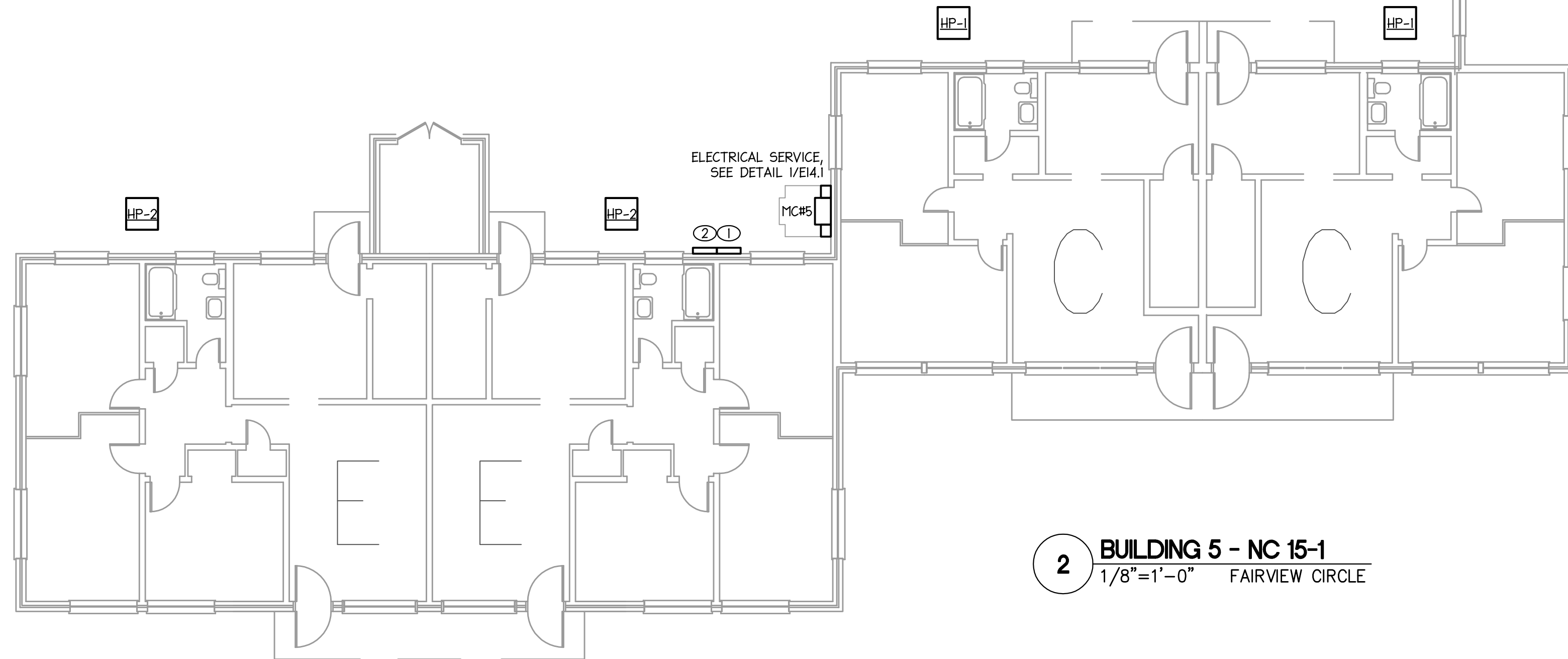
DATE: APR. 2, 2024

SHEET NO.

E11



**1 BUILDING 4 - NC 15-1**  
1/8"=1'-0" FAIRVIEW CIRCLE



**2 BUILDING 5 - NC 15-1**  
1/8"=1'-0" FAIRVIEW CIRCLE

**GENERAL NOTES: (THIS SHEET)**

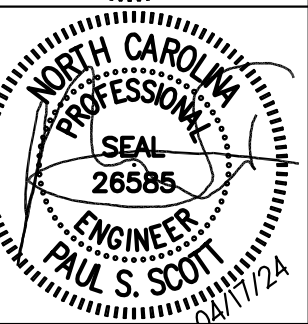
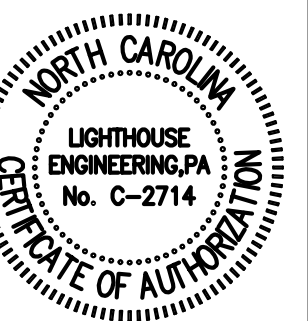
1. PROVIDE CONNECTION TO WEATHERPROOF DISCONNECT FOR UNIT HEAT PUMPS PER RESPECTIVE UNIT PLAN AND PANEL SCHEDULE.
2. ALL DISCONNECT SWITCHES SHALL BE INSTALLED TO PERMIT REQUIRED WORKING CLEARANCE.
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**TAGGED NOTES: (THIS SHEET)**

- ① 24" X 24" H x 6-3/4" D NEMA 3R LOCKABLE, HINGED TELEPHONE TERMINAL CABINET PER LOCAL UTILITY REQUIREMENTS.
- ② 24" X 24" H x 6-3/4" D NEMA 3R LOCKABLE, HINGED CABLE TV TERMINAL CABINET PER LOCAL UTILITY REQUIREMENTS.

03/04/2024 11:58 AM ELECTRICAL BUILDINGS 4 & 5 FAIRVIEW NC 15-1.dwg  
 Apr 17, 2024 5:33:39pm

REVISIONS



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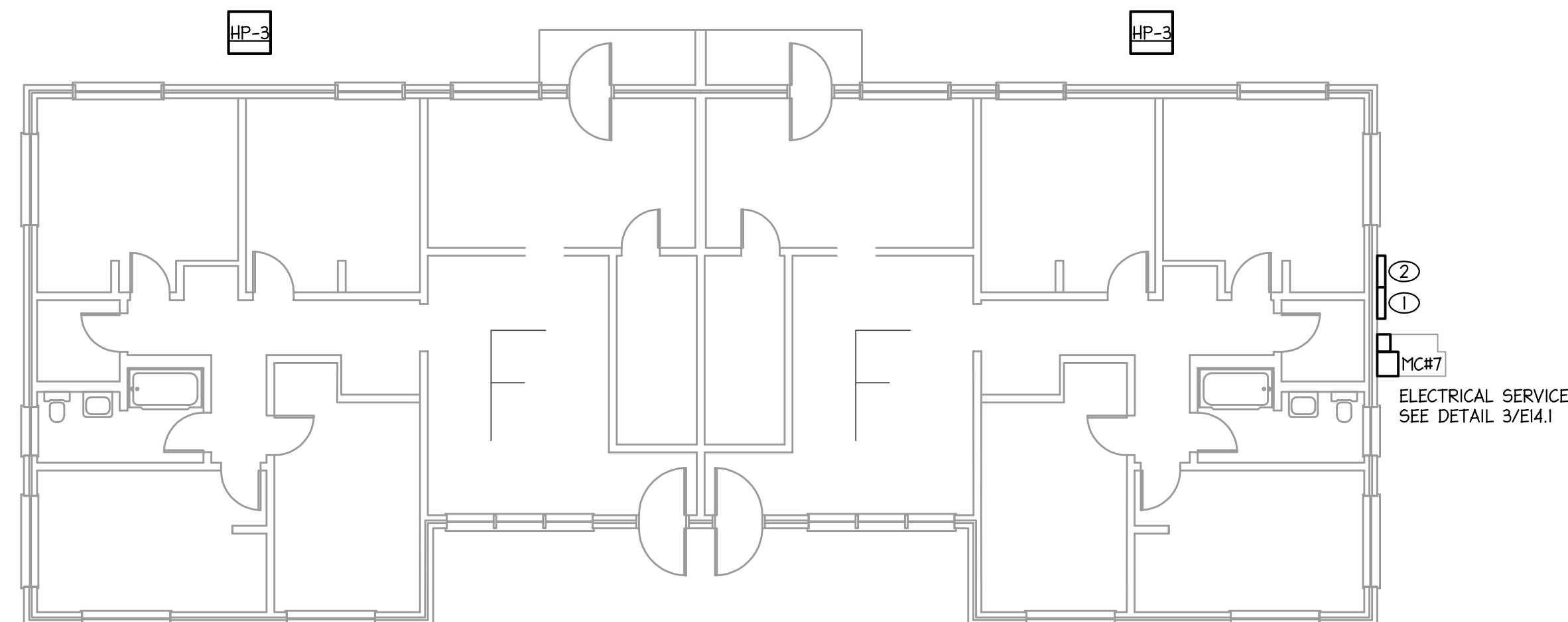
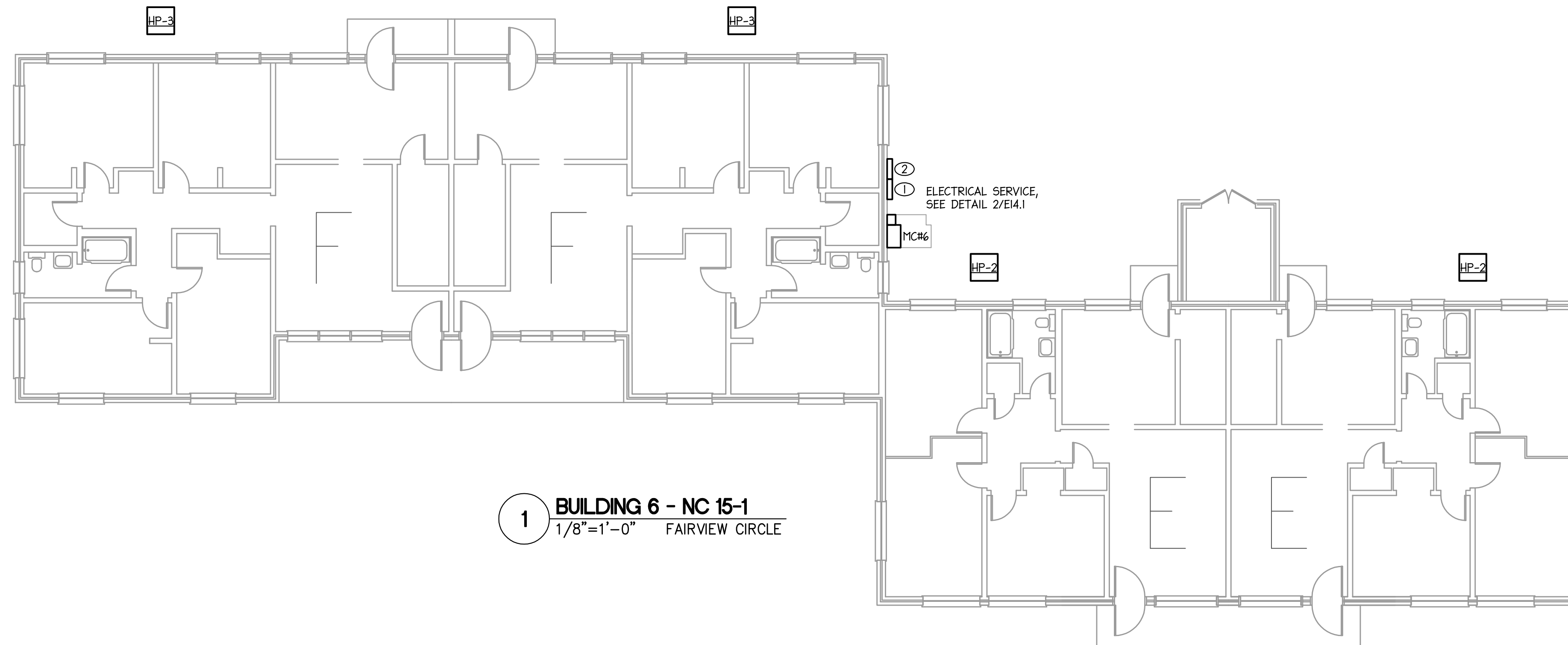
**Housing Authority of the City of Goldsboro**  
 RENOVATIONS - FAIRVIEW APARTMENTS  
 NC 15-1 FAIRVIEW CIRCLE  
 GOLDSBORO, NORTH CAROLINA

ELECTRICAL  
 BUILDING 4 & 5 PLANS  
 NC 15-1

COMM. NO.: 6041-B  
 DRAWN BY: TGW  
 CHECKED BY: PSS  
 DATE: APR. 2, 2024  
 SHEET NO.

E1.2





- GENERAL NOTES: (THIS SHEET)**
1. PROVIDE CONNECTION TO WEATHERPROOF DISCONNECT FOR UNIT HEAT PUMPS PER RESPECTIVE UNIT PLAN AND PANEL SCHEDULE.
  2. ALL DISCONNECT SWITCHES SHALL BE INSTALLED TO PERMIT REQUIRED WORKING CLEARANCE.
  3. ALL CONDUIT RUNS AND ROUTING SHALL BE LAID OUT IN AN ORGANIZED MANNER.
  4. CONFIRM A SERVICE RECEPTACLE IS WITHIN 25'-0" OF ALL HVAC EQUIPMENT. PROVIDE ADDITIONAL DEVICES AS NEEDED.
  5. ALL RECEPTACLES ARE POWERED FROM THEIR RESPECTIVE UNIT.
- TAGGED NOTES: (THIS SHEET)**
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  - ② 24" X 24" H X 6-3/4" D NEMA 3R LOCKABLE, HINGED CABLE TV TERMINAL CABINET PER LOCAL UTILITY REQUIREMENTS.

**LIGHTHOUSE ENGINEERING**  
400 W. Morgan Street, Suite 100  
Wilmington, North Carolina, 27803  
Tel: 919.833.9793  
Fax: 919.833.9744

**NORTH CAROLINA ENGINEERING, PA**  
No. C-2714  
STATE OF AUTHORIZATION

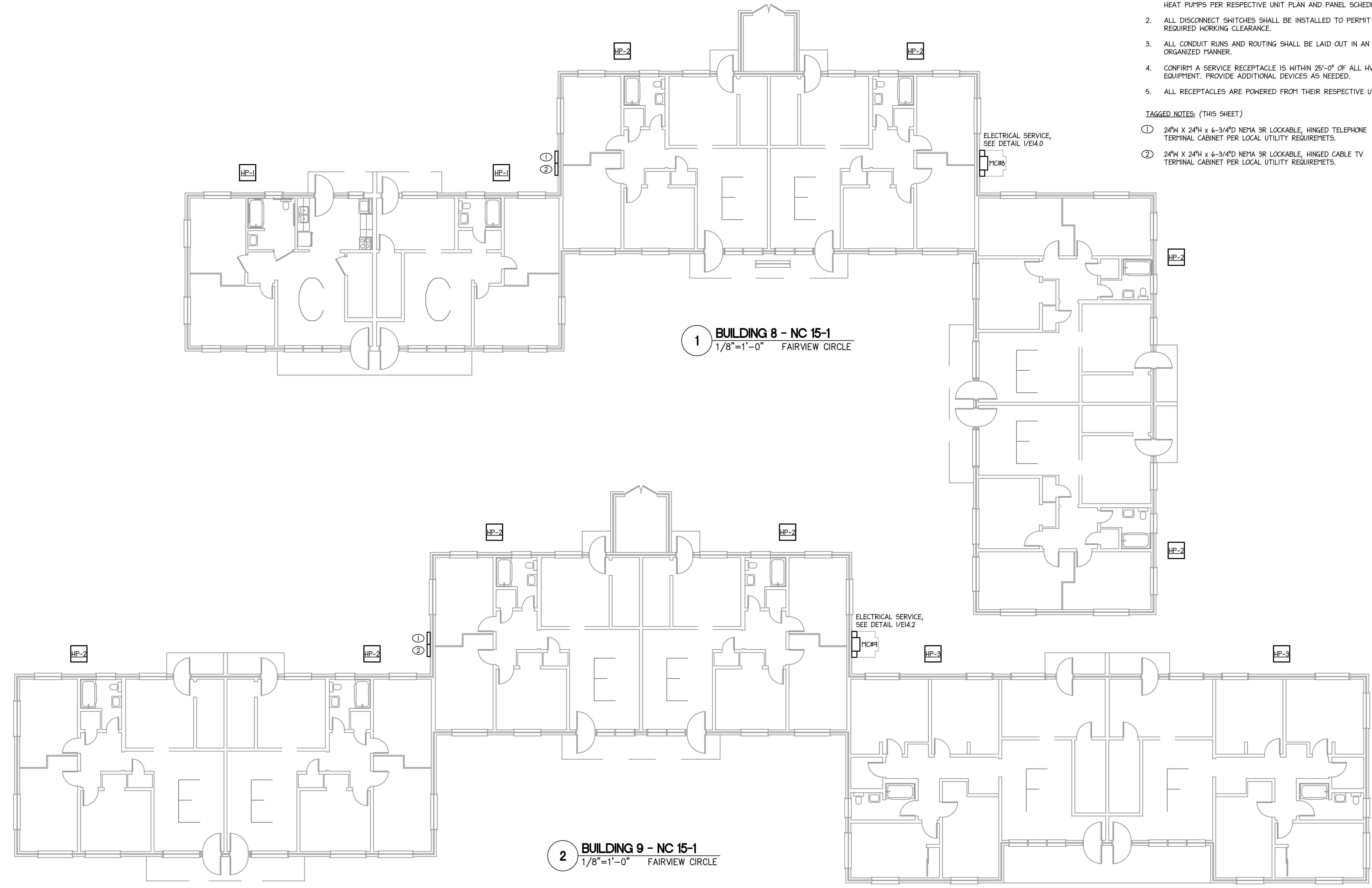
**NORTH CAROLINA PROFESSIONAL SEAL**  
26586  
ENGINEER  
PAUL S. SCOTT  
04/17/24

**Stogner Architecture, PA**  
ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
615 East Broad Avenue, Rockingham, North Carolina, 28379  
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**Housing Authority of the City of Goldsboro**  
RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

ELECTRICAL  
BUILDING 6 & 7 PLANS  
NC 15-1

COMM. NO.: 6041-B  
DRAWN BY: TGW  
CHECKED BY: PSS  
DATE: APR. 2, 2024  
SHEET NO.  
E13

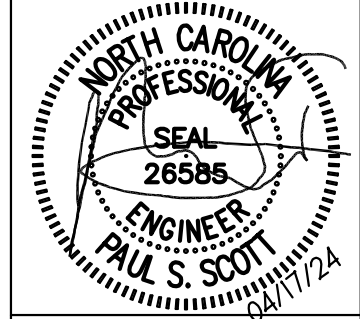
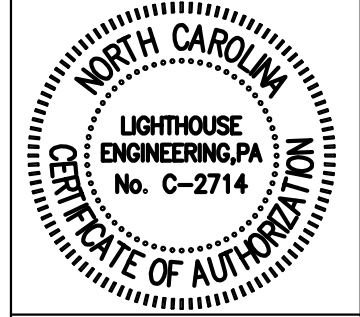


1 **BUILDING 8 - NC 15-1**  
1/8"=1'-0" FAIRVIEW CIRCLE

2 **BUILDING 9 - NC 15-1**  
1/8"=1'-0" FAIRVIEW CIRCLE

- GENERAL NOTES: (THIS SHEET)**
1. PROVIDE CONNECTION TO WEATHERPROOF DISCONNECT FOR UNIT HEAT PUMPS PER RESPECTIVE UNIT PLAN AND PANEL SCHEDULE.
  2. ALL DISCONNECT SWITCHES SHALL BE INSTALLED TO PERMIT REQUIRED WORKING CLEARANCE.
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- TAGGED NOTES: (THIS SHEET)**
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  - ② 24" X 24" X 6-3/4" D NEMA 3R LOCKABLE, HINGED CABLE TV TERMINAL CABINET PER LOCAL UTILITY REQUIREMENTS.

REVISIONS



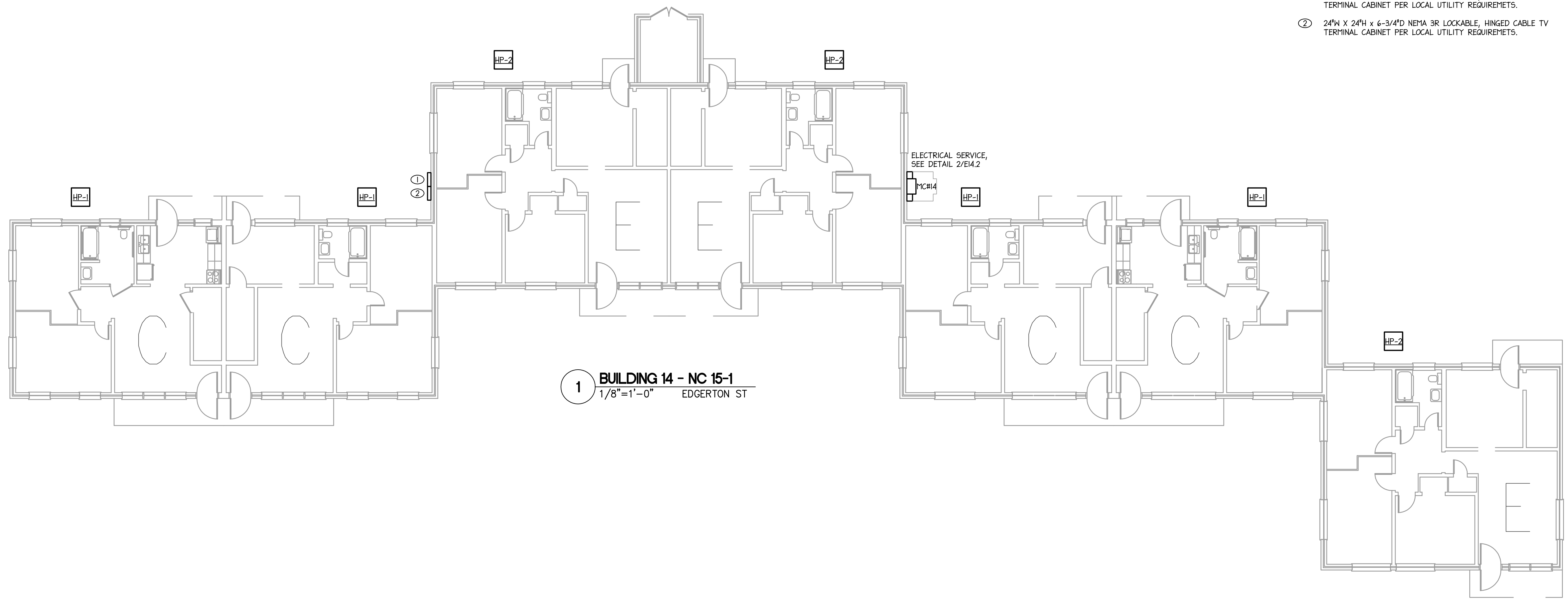
**Stogner Architecture, PA**  
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615 East Broad Avenue, Rockingham, North Carolina, 28379  
Phone 910-895-6874 Fax 910-895-1111

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RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

ELECTRICAL  
BUILDING 8 & 9 PLANS  
NC 15-1

COMM. NO.: 6041-B  
DRAWN BY: TGW  
CHECKED BY: PSS  
DATE: APR. 2, 2024  
SHEET NO. **E14**





1 **BUILDING 14 - NC 15-1**  
1/8"=1'-0" EDGERTON ST

- GENERAL NOTES: (THIS SHEET)**
1. PROVIDE CONNECTION TO WEATHERPROOF DISCONNECT FOR UNIT HEAT PUMPS PER RESPECTIVE UNIT PLAN AND PANEL SCHEDULE.
  2. ALL DISCONNECT SWITCHES SHALL BE INSTALLED TO PERMIT REQUIRED WORKING CLEARANCE.
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- TAGGED NOTES: (THIS SHEET)**
- ① 24" W X 24" H X 6-3/4" D NEMA 3R LOCKABLE, HINGED TELEPHONE TERMINAL CABINET PER LOCAL UTILITY REQUIREMENTS.
  - ② 24" W X 24" H X 6-3/4" D NEMA 3R LOCKABLE, HINGED CABLE TV TERMINAL CABINET PER LOCAL UTILITY REQUIREMENTS.

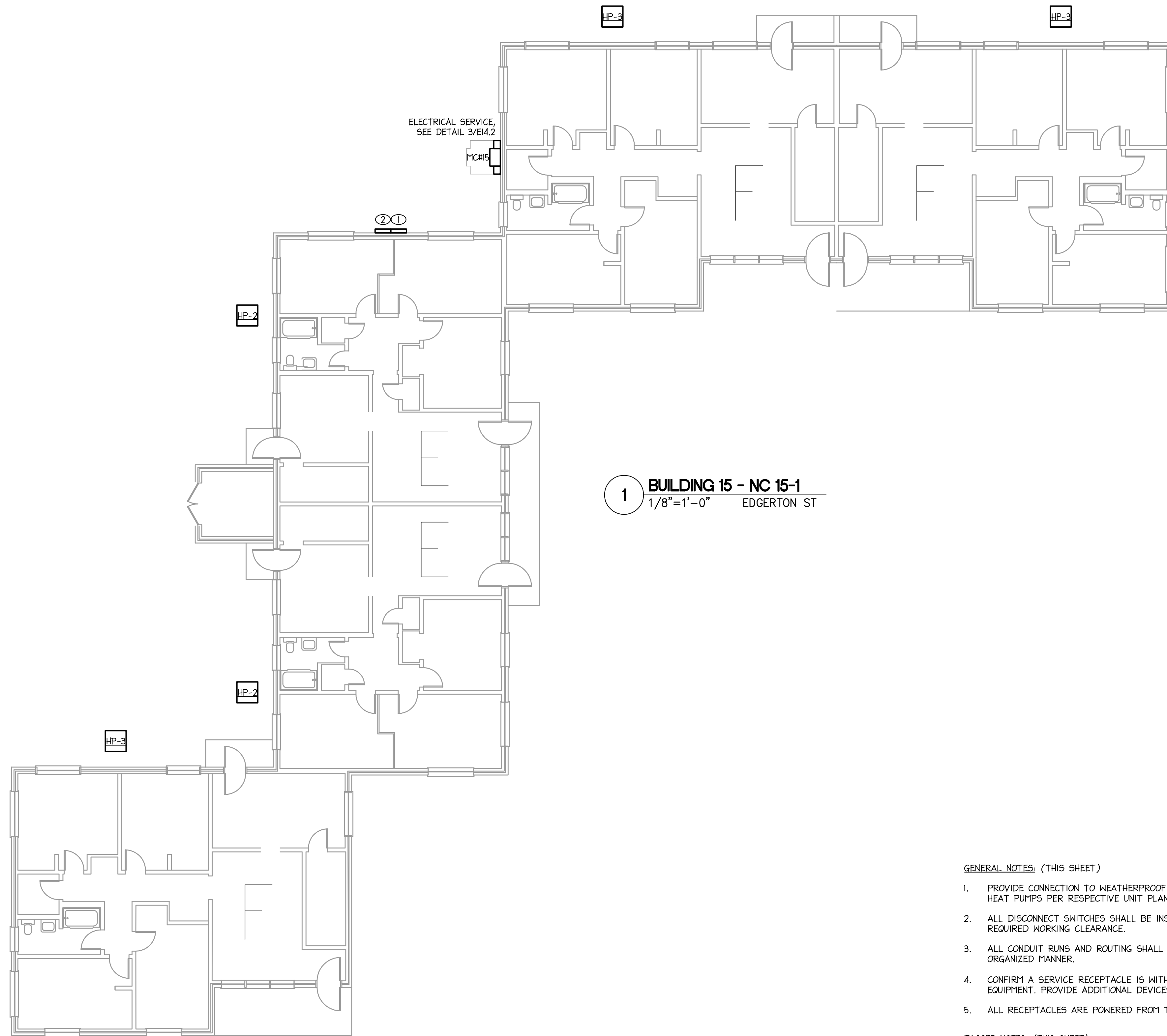
**REVISIONS**

**Stogner Architecture, PA**  
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615 East Broad Avenue, Rockingham, North Carolina, 28379  
Phone 910-895-6874 Fax 910-895-1111

**Housing Authority of the City of Goldsboro**  
RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1, FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

ELECTRICAL  
BUILDING 14 PLANS  
NC 15-1

COMM. NO.: 6041-B  
DRAWN BY: TGW  
CHECKED BY: PSS  
DATE: APR. 2, 2024  
SHEET NO. **E15**



ELECTRICAL SERVICE,  
SEE DETAIL 3/EI4.2

- GENERAL NOTES: (THIS SHEET)**
1. PROVIDE CONNECTION TO WEATHERPROOF DISCONNECT FOR UNIT HEAT PUMPS PER RESPECTIVE UNIT PLAN AND PANEL SCHEDULE.
  2. ALL DISCONNECT SWITCHES SHALL BE INSTALLED TO PERMIT REQUIRED WORKING CLEARANCE.
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- ① 24" X 24" H X 6-3/4" D NEMA 3R LOCKABLE, HINGED TELEPHONE TERMINAL CABINET PER LOCAL UTILITY REQUIREMENTS.
  - ② 24" X 24" H X 6-3/4" D NEMA 3R LOCKABLE, HINGED CABLE TV TERMINAL CABINET PER LOCAL UTILITY REQUIREMENTS.

REVISIONS

400 W. Morgan Street, Suite 100  
Wilmington, North Carolina, 27803  
Tel: 919.833.9793  
Fax: 919.833.9744

MECHANICAL ELECTRICAL PLUMBING

**NORTH CAROLINA**  
Lighthouse  
ENGINEERING, PA  
No. C-2714

**NORTH CAROLINA**  
PROFESSIONAL  
SEAL  
26586  
ENGINEER  
PAUL S. SCOTT  
04/17/24

**Stogner Architecture, PA**  
ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
615 East Broad Avenue, Rockingham, North Carolina, 28379  
Phone 910-895-6874 Fax 910-895-1111

**Housing Authority of the City of Goldsboro**  
RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

ELECTRICAL  
BUILDING 15 PLANS  
NC 15-1

COMM. NO.: 6041-B  
DRAWN BY: TGW  
CHECKED BY: PSS  
DATE: APR. 2, 2024  
SHEET NO.  
**E16**



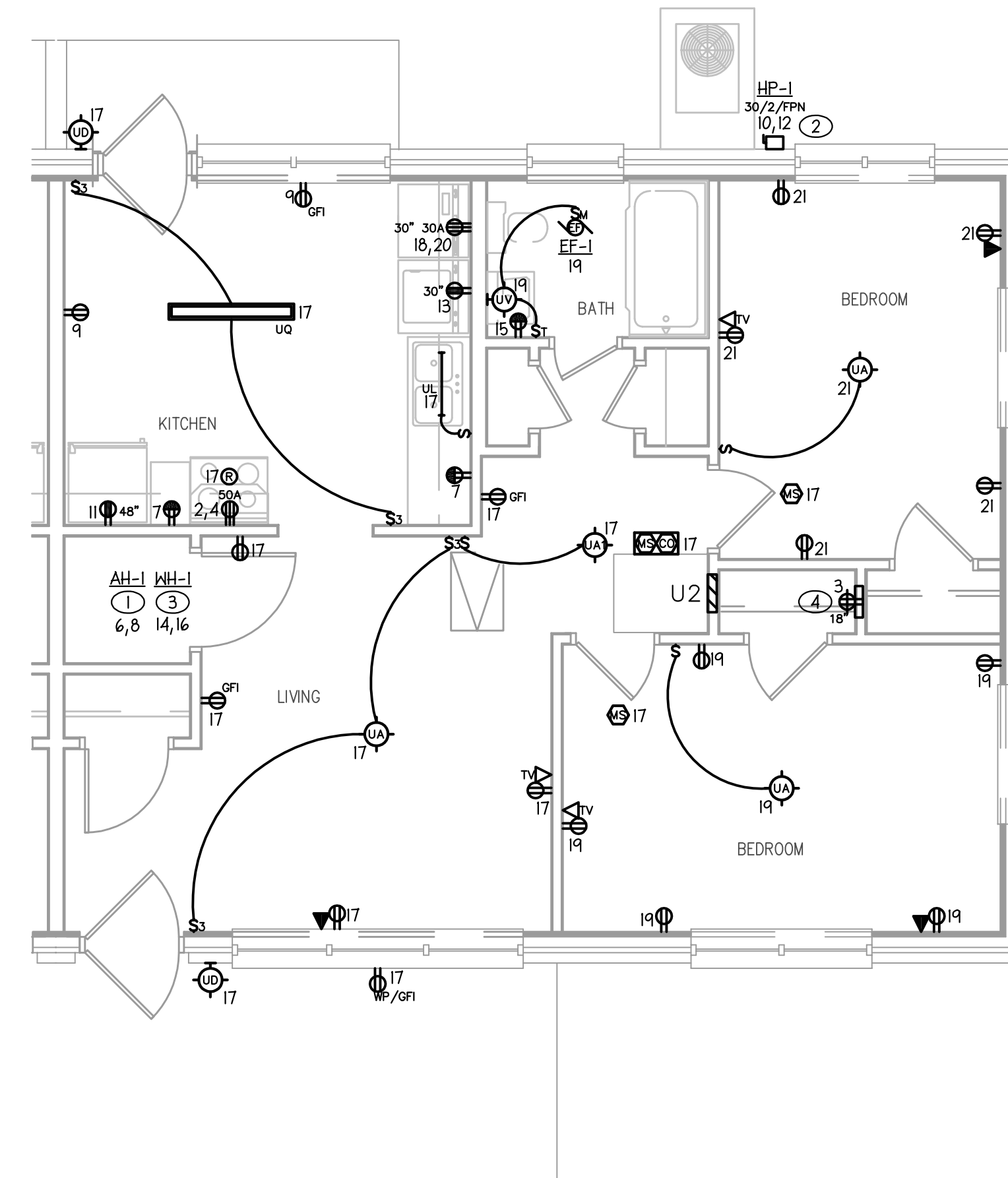
A  
B  
C  
D

**GENERAL NOTES: (UNIT PLANS)**

1. ALL CIRCUIT NUMBERS SHOWN TO RESPECTIVE UNIT PANEL. SEE SHEET E13.0 FOR PANEL SCHEDULES.
2. REFER TO ID PLANS FOR DIMENSIONS, UNLESS NOTED OTHERWISE.
3. VERIFY EXTERIOR LIGHTING LOCATIONS AND PRODUCT SELECTION WITH ARCHITECT PRIOR TO ROUGH-IN.
4. SEE DETAIL 3/E0.1 FOR FURTHER INFORMATION ON ADA SWITCH AND OUTLET LOCATIONS.

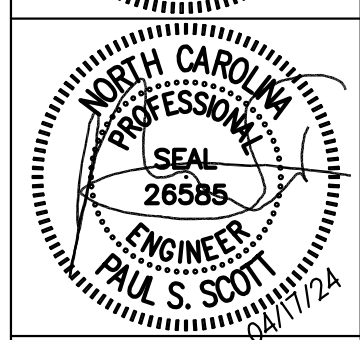
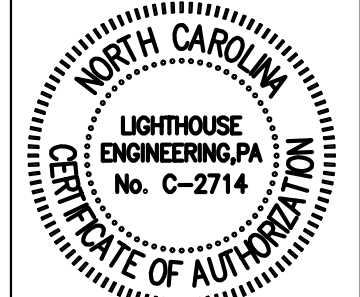
**TAGGED NOTES: (UNIT PLANS)**

- ① PROVIDE INTEGRAL DISCONNECT SWITCH FOR UNIT'S HVAC AH UNIT. SEE UNIT PANEL SCHEDULE FOR ACTUAL WIRE AND BREAKER SIZE. DISCONNECT SWITCH SHALL BE INSTALLED TO PERMIT REQUIRED WORKING CLEARANCE. WHERE PRESENT, E.C. TO CONNECT 24V HVAC TRANSFORMER; COORDINATE WITH M.C.
- ② SEE BUILDING PLANS FOR HEAT PUMP LOCATIONS.
- ③ CIRCUIT FOR EACH UNIT'S WATER HEATER. SEE UNIT PANEL SCHEDULE FOR ACTUAL WIRE AND BREAKER SIZE. DISCONNECT SHALL BE BREAKER WITH LOCK-OFF DEVICE.
- ④ COMM CABINET FOR INTERFACE WITH TEL. AND CATV. SERVICES. COORDINATE REQUIREMENTS WITH UTILITIES AND MOUNTING WITH ARCHITECT.



**1 TWO BEDROOM UNIT - NC 15-1**  
1/4"=1'-0" BUILDING TYPE 'C'

REVISIONS



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Phone 910-895-6874 Fax 910-895-1111

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RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

ELECTRICAL UNIT PLANS  
NC 15-1

COMM. NO.: 6041-B  
DRAWN BY: TGW  
CHECKED BY: PSS  
DATE: APR. 2, 2024  
SHEET NO. E20

A

B

C

D

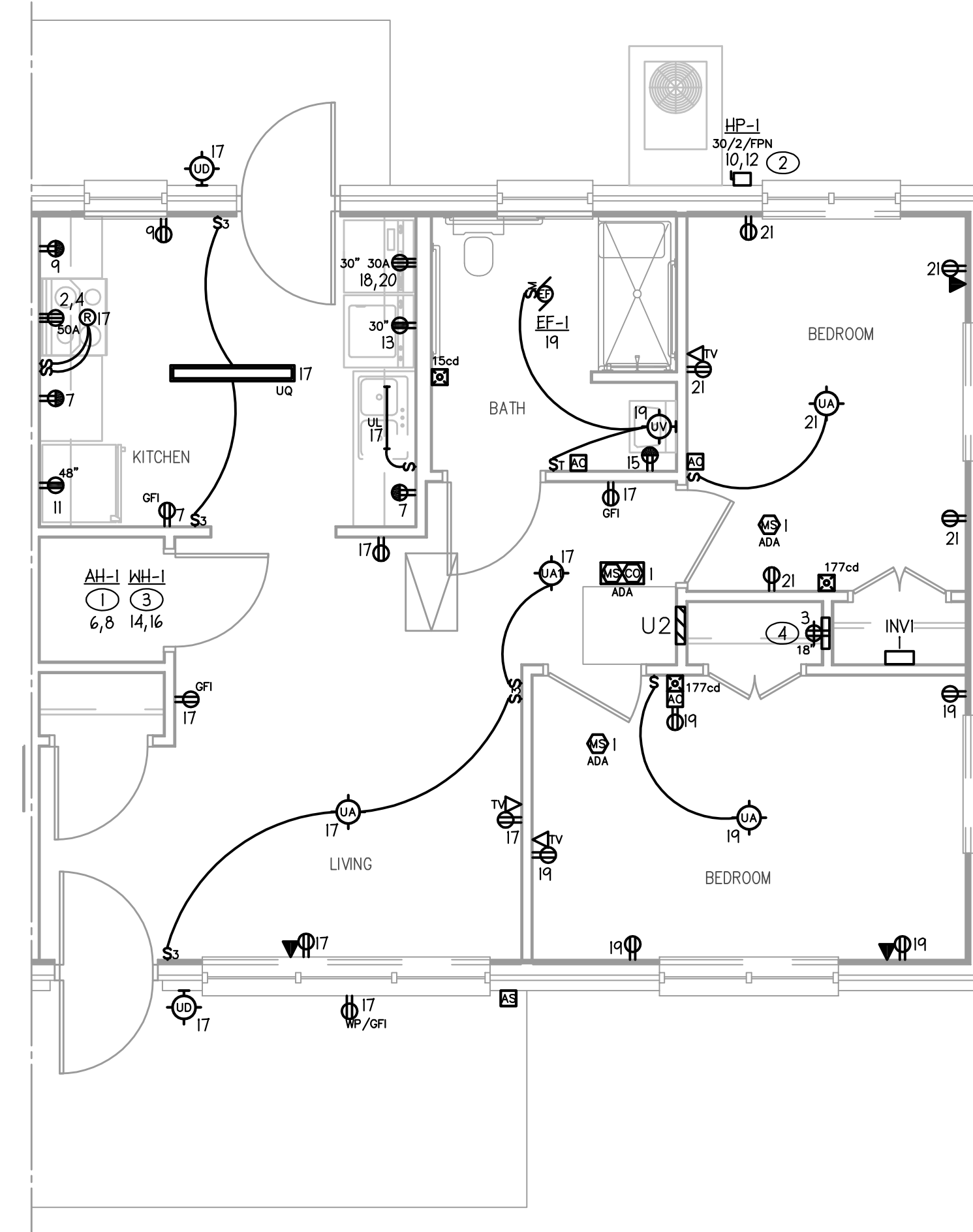
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Apr 17, 2024 8:35:29am

**GENERAL NOTES: (UNIT PLANS)**

1. ALL CIRCUIT NUMBERS SHOWN TO RESPECTIVE UNIT PANEL. SEE SHEET E13.0 FOR PANEL SCHEDULES.
2. REFER TO ID PLANS FOR DIMENSIONS, UNLESS NOTED OTHERWISE.
3. VERIFY EXTERIOR LIGHTING LOCATIONS AND PRODUCT SELECTION WITH ARCHITECT PRIOR TO ROUGH-IN.
4. SEE DETAIL 3/E0.1 FOR FURTHER INFORMATION ON ADA SWITCH AND OUTLET LOCATIONS.

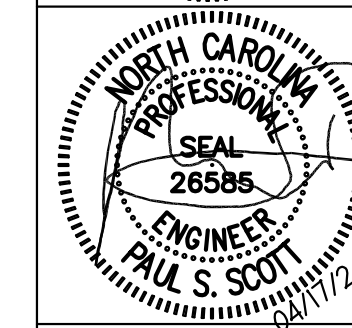
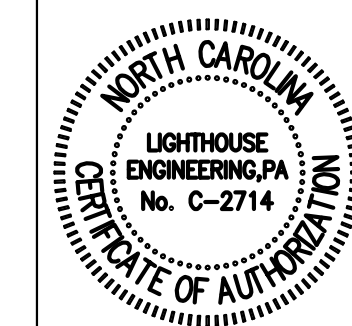
**TAGGED NOTES: (UNIT PLANS)**

- ① PROVIDE INTEGRAL DISCONNECT SWITCH FOR UNIT'S HVAC AH UNIT. SEE UNIT PANEL SCHEDULE FOR ACTUAL WIRE AND BREAKER SIZE. DISCONNECT SWITCH SHALL BE INSTALLED TO PERMIT REQUIRED WORKING CLEARANCE. WHERE PRESENT, E.C. TO CONNECT 24V HVAC TRANSFORMER; COORDINATE WITH M.C.
- ② SEE BUILDING PLANS FOR HEAT PUMP LOCATIONS.
- ③ CIRCUIT FOR EACH UNIT'S WATER HEATER. SEE UNIT PANEL SCHEDULE FOR ACTUAL WIRE AND BREAKER SIZE. DISCONNECT SHALL BE BREAKER WITH LOCK-OFF DEVICE.
- ④ COMM CABINET FOR INTERFACE WITH TEL. AND CATV. SERVICES. COORDINATE REQUIREMENTS WITH UTILITIES AND MOUNTING WITH ARCHITECT.



**1 TWO BEDROOM HANDICAP UNIT - NC 15-1**  
 1/4"=1'-0" BUILDING TYPE 'C'

REVISIONS



**Stogner Architecture, PA**  
 ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
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 Phone 910-895-6874 Fax 910-895-1111

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 RENOVATIONS - FAIRVIEW APARTMENTS  
 NC 15-1 FAIRVIEW CIRCLE  
 GOLDSBORO, NORTH CAROLINA

ELECTRICAL UNIT PLANS  
 NC 15-1

COMM. NO.: 6041-B  
 DRAWN BY: TGW  
 CHECKED BY: PSS  
 DATE: APR. 2, 2024  
 SHEET NO.

E21





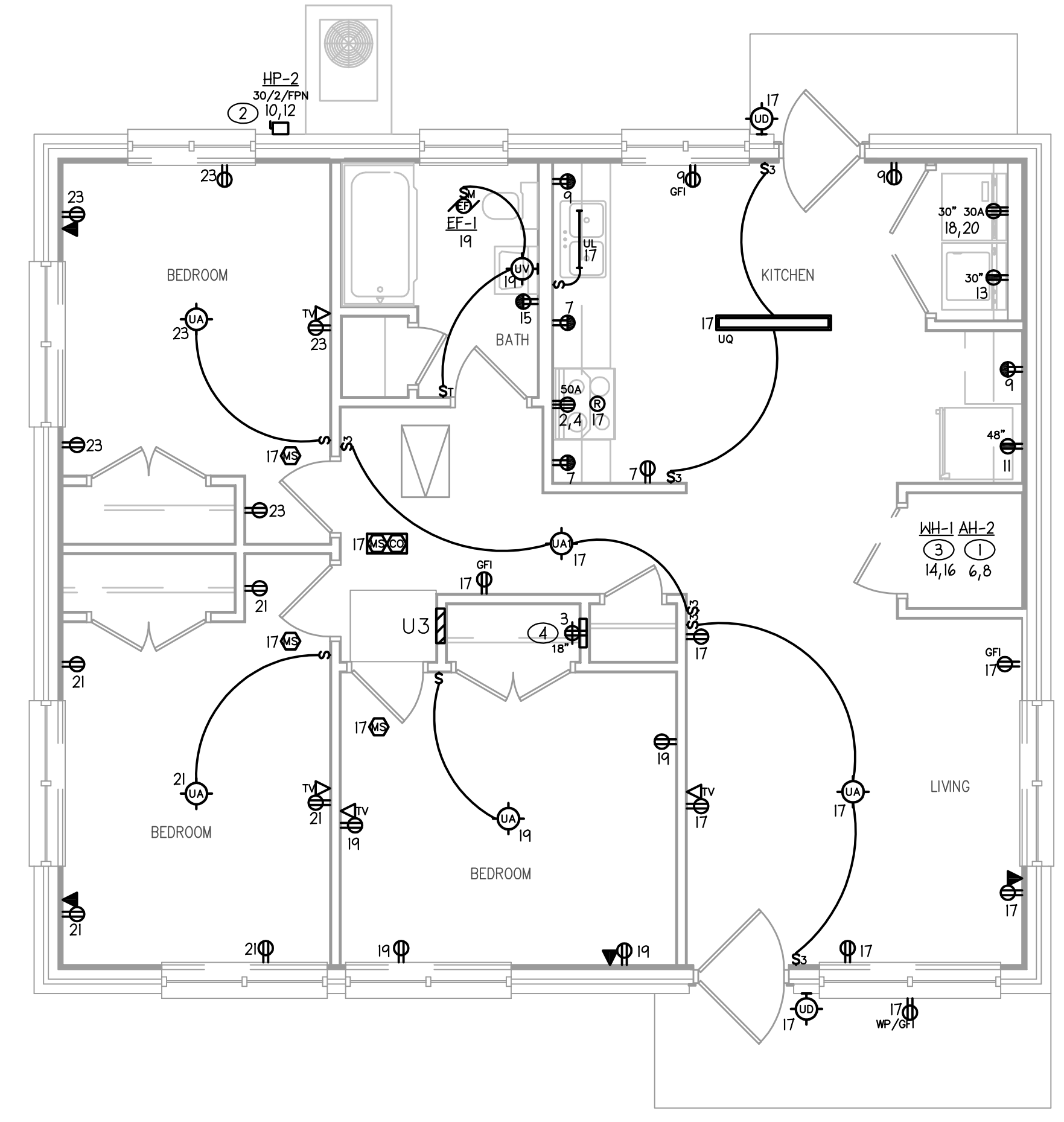
A  
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C  
D

**GENERAL NOTES: (UNIT PLANS)**

1. ALL CIRCUIT NUMBERS SHOWN TO RESPECTIVE UNIT PANEL. SEE SHEET EIB.0 FOR PANEL SCHEDULES.
2. REFER TO ID PLANS FOR DIMENSIONS, UNLESS NOTED OTHERWISE.
3. VERIFY EXTERIOR LIGHTING LOCATIONS AND PRODUCT SELECTION WITH ARCHITECT PRIOR TO ROUGH-IN.
4. SEE DETAIL 3/E0.1 FOR FURTHER INFORMATION ON ADA SWITCH AND OUTLET LOCATIONS.

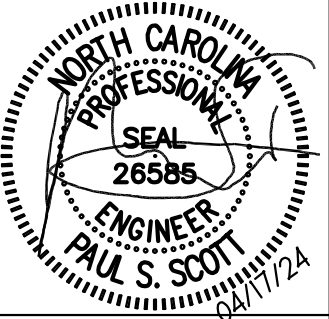
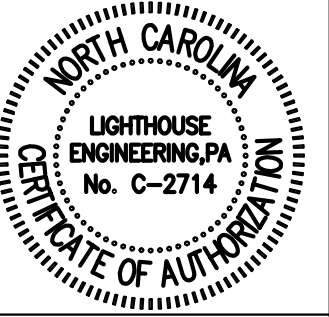
**TAGGED NOTES: (UNIT PLANS)**

- ① PROVIDE INTEGRAL DISCONNECT SWITCH FOR UNIT'S HVAC AH UNIT. SEE UNIT PANEL SCHEDULE FOR ACTUAL WIRE AND BREAKER SIZE. DISCONNECT SHALL BE INSTALLED TO PERMIT REQUIRED WORKING CLEARANCE. WHERE PRESENT, E.C. TO CONNECT 24V HVAC TRANSFORMER; COORDINATE WITH M.C.
- ② SEE BUILDING PLANS FOR HEAT PUMP LOCATIONS.
- ③ CIRCUIT FOR EACH UNIT'S WATER HEATER. SEE UNIT PANEL SCHEDULE FOR ACTUAL WIRE AND BREAKER SIZE. DISCONNECT SHALL BE BREAKER WITH LOCK-OFF DEVICE.
- ④ CORN CABINET FOR INTERFACE WITH TEL. AND CATV. SERVICES. COORDINATE REQUIREMENTS WITH UTILITIES AND MOUNTING WITH ARCHITECT.



1 **THREE BEDROOM UNIT - NC 15-1**  
 1/4"=1'-0" BUILDING TYPE 'E-1'

REVISIONS



**Stogner Architecture, PA**  
 ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
 615 East Broad Avenue, Rockingham, North Carolina, 28379  
 Phone 910-895-1111 Fax 910-895-6874

**Housing Authority of the City of Goldsboro**  
 RENOVATIONS - FAIRVIEW APARTMENTS  
 NC 15-1, FAIRVIEW CIRCLE  
 GOLDSBORO, NORTH CAROLINA

ELECTRICAL UNIT PLANS  
 NC 15-1

COMM. NO.: 6041-B  
 DRAWN BY: TGW  
 CHECKED BY: PSS  
 DATE: APR. 2, 2024  
 SHEET NO.

E31



A

B

C

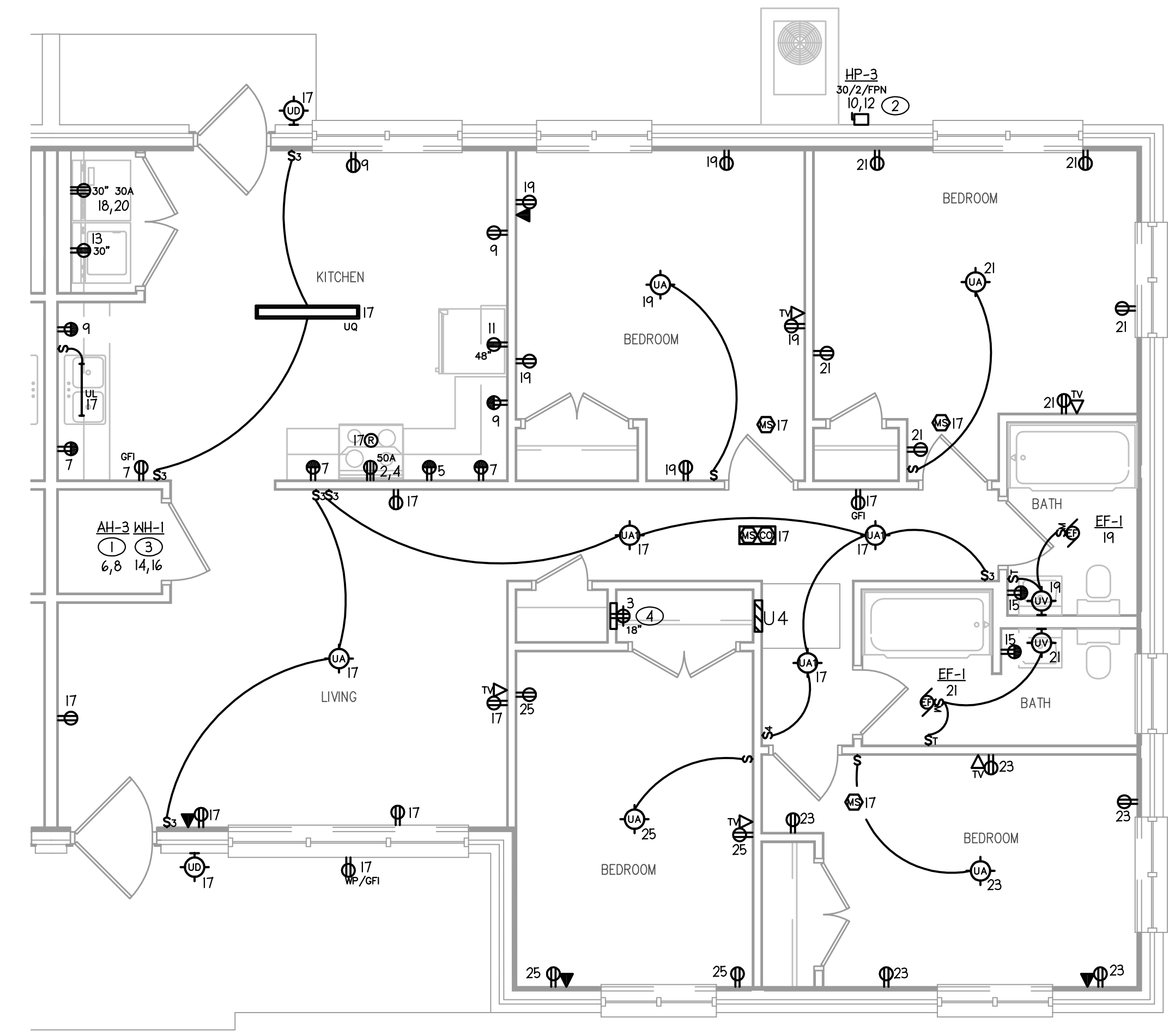
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GENERAL NOTES: (UNIT PLANS)

- 1. ALL CIRCUIT NUMBERS SHOWN TO RESPECTIVE UNIT PANEL. SEE SHEET EIB.0 FOR PANEL SCHEDULES.
- 2. REFER TO ID PLANS FOR DIMENSIONS, UNLESS NOTED OTHERWISE.
- 3. VERIFY EXTERIOR LIGHTING LOCATIONS AND PRODUCT SELECTION WITH ARCHITECT PRIOR TO ROUGH-IN.
- 4. SEE DETAIL 3/E0.1 FOR FURTHER INFORMATION ON ADA SWITCH AND OUTLET LOCATIONS.

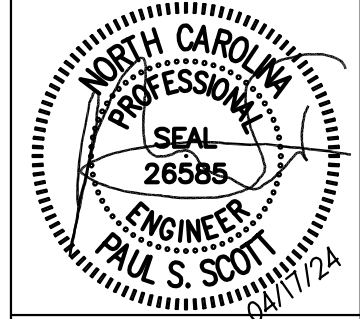
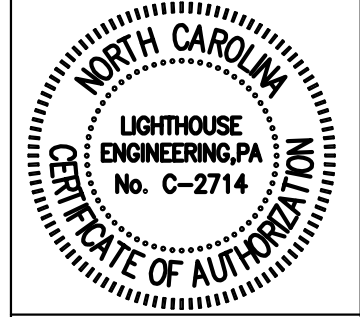
TAGGED NOTES: (UNIT PLANS)

- ① PROVIDE INTEGRAL DISCONNECT SWITCH FOR UNIT'S HVAC AH UNIT. SEE UNIT PANEL SCHEDULE FOR ACTUAL WIRE AND BREAKER SIZE. DISCONNECT SWITCH SHALL BE INSTALLED TO PERMIT REQUIRED WORKING CLEARANCE. WHERE PRESENT, E.C. TO CONNECT 24V HVAC TRANSFORMER; COORDINATE WITH M.C.
- ② SEE BUILDING PLANS FOR HEAT PUMP LOCATIONS.
- ③ CIRCUIT FOR EACH UNIT'S WATER HEATER. SEE UNIT PANEL SCHEDULE FOR ACTUAL WIRE AND BREAKER SIZE. DISCONNECT SHALL BE BREAKER WITH LOCK-OFF DEVICE.
- ④ COMM CABINET FOR INTERFACE WITH TEL. AND CATV. SERVICES. COORDINATE REQUIREMENTS WITH UTILITIES AND MOUNTING WITH ARCHITECT.



**1** **FOUR BEDROOM UNIT - NC 15-1**  
 1/4"=1'-0" BUILDING TYPE 'F'

REVISIONS



**Stogner Architecture, PA**  
 ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
 615 East Broad Avenue, Rockingham, North Carolina, 28379  
 Phone 910-895-6874 Fax 910-895-1111

Housing Authority of the  
**City of Goldsboro**  
 RENOVATIONS - FAIRVIEW APARTMENTS  
 NC 15-1 FAIRVIEW CIRCLE  
 GOLDSBORO, NORTH CAROLINA

ELECTRICAL  
 UNIT PLANS  
 NC 15-1

COMM. NO.: 6041-B  
 DRAWN BY: TGW  
 CHECKED BY: PSS  
 DATE: APR. 2, 2024  
 SHEET NO.

**E40**







A

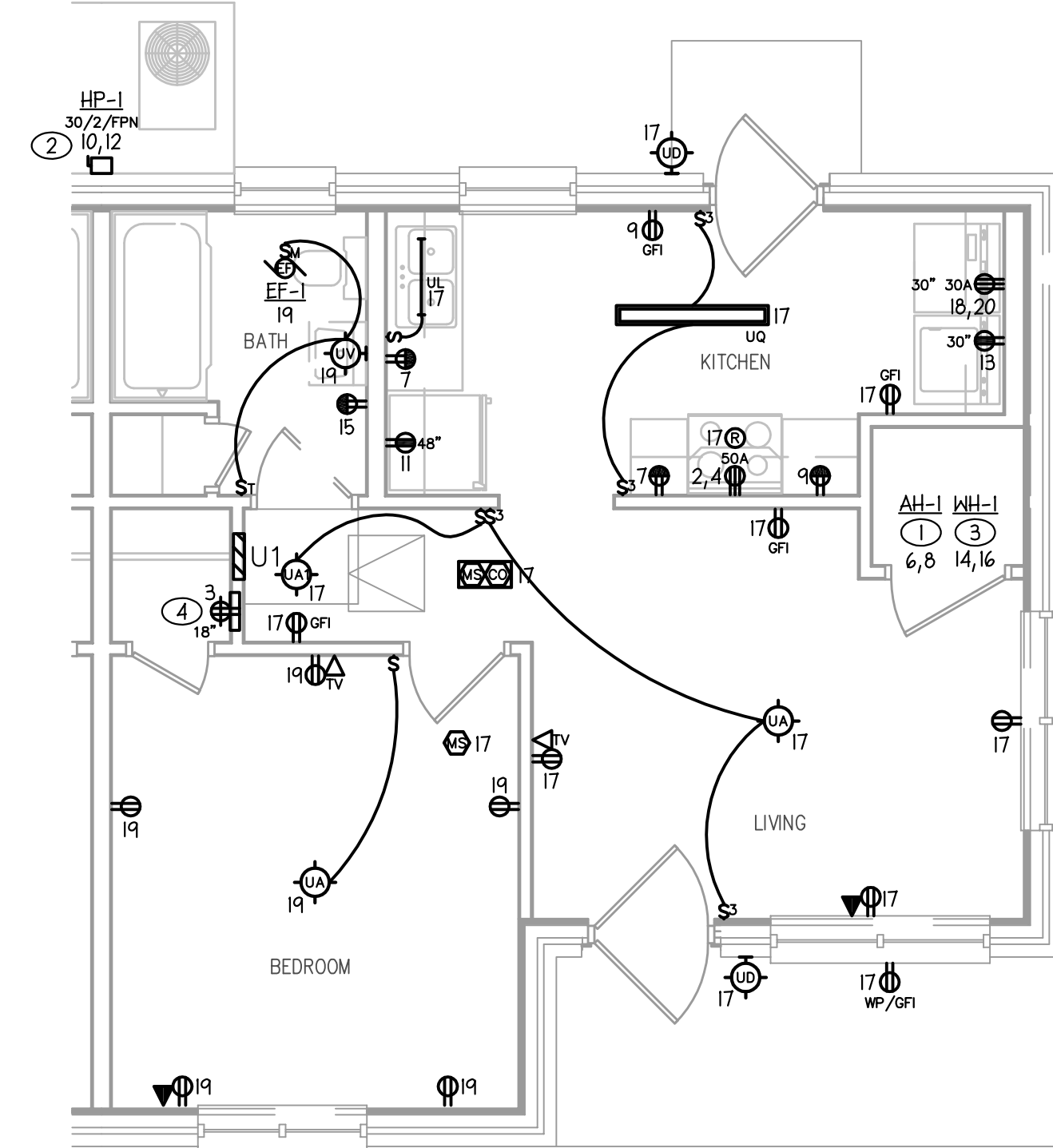
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D

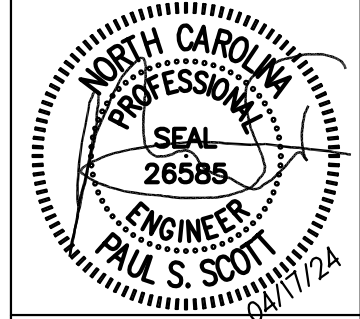
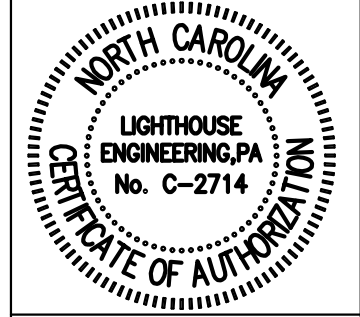
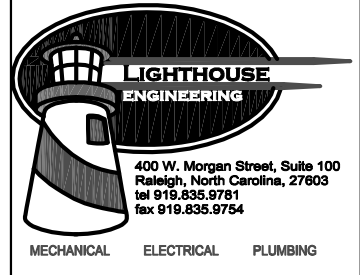
03/24/24 01:14:00 ELECTRICAL UNIT PLANS NC 15-3.dwg  
24/11/2024 08:30:00

- GENERAL NOTES: (UNIT PLANS)**
- ALL CIRCUIT NUMBERS SHOWN TO RESPECTIVE UNIT PANEL. SEE SHEET E13.0 FOR PANEL SCHEDULES.
  - REFER TO ID PLANS FOR DIMENSIONS, UNLESS NOTED OTHERWISE.
  - VERIFY EXTERIOR LIGHTING LOCATIONS AND PRODUCT SELECTION WITH ARCHITECT PRIOR TO ROUGH-IN.
  - SEE DETAIL 3/EO.1 FOR FURTHER INFORMATION ON ADA SWITCH AND OUTLET LOCATIONS.
- TAGGED NOTES: (UNIT PLANS)**
- PROVIDE INTEGRAL DISCONNECT SWITCH FOR UNIT'S HVAC AH UNIT. SEE UNIT PANEL SCHEDULE FOR ACTUAL WIRE AND BREAKER SIZE. DISCONNECT SWITCH SHALL BE INSTALLED TO PERMIT REQUIRED WORKING CLEARANCE. WHERE PRESENT, E.C. TO CONNECT 24V HVAC TRANSFORMER; COORDINATE WITH M.C.
  - SEE BUILDING PLANS FOR HEAT PUMP LOCATIONS.
  - CIRCUIT FOR EACH UNIT'S WATER HEATER. SEE UNIT PANEL SCHEDULE FOR ACTUAL WIRE AND BREAKER SIZE. DISCONNECT SHALL BE BREAKER WITH LOCK-OFF DEVICE.
  - COMM CABINET FOR INTERFACE WITH TEL. AND CATV. SERVICES. COORDINATE REQUIREMENTS WITH UTILITIES AND MOUNTING WITH ARCHITECT.



**1 ONE BEDROOM UNIT - NC 15-3**  
1/4"=1'-0" BUILDING TYPE 'A'

REVISIONS



**Stogner Architecture, PA**  
ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
615 East Broad Avenue, Rockingham, North Carolina, 28379  
Phone 910-895-6874 Fax 910-895-1111

**Housing Authority of the City of Goldsboro**  
RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

ELECTRICAL UNIT PLANS  
NC 15-3

COMM. NO.: 6041-B  
DRAWN BY: TGW  
CHECKED BY: PSS  
DATE: APR. 2, 2024  
SHEET NO. E11.0



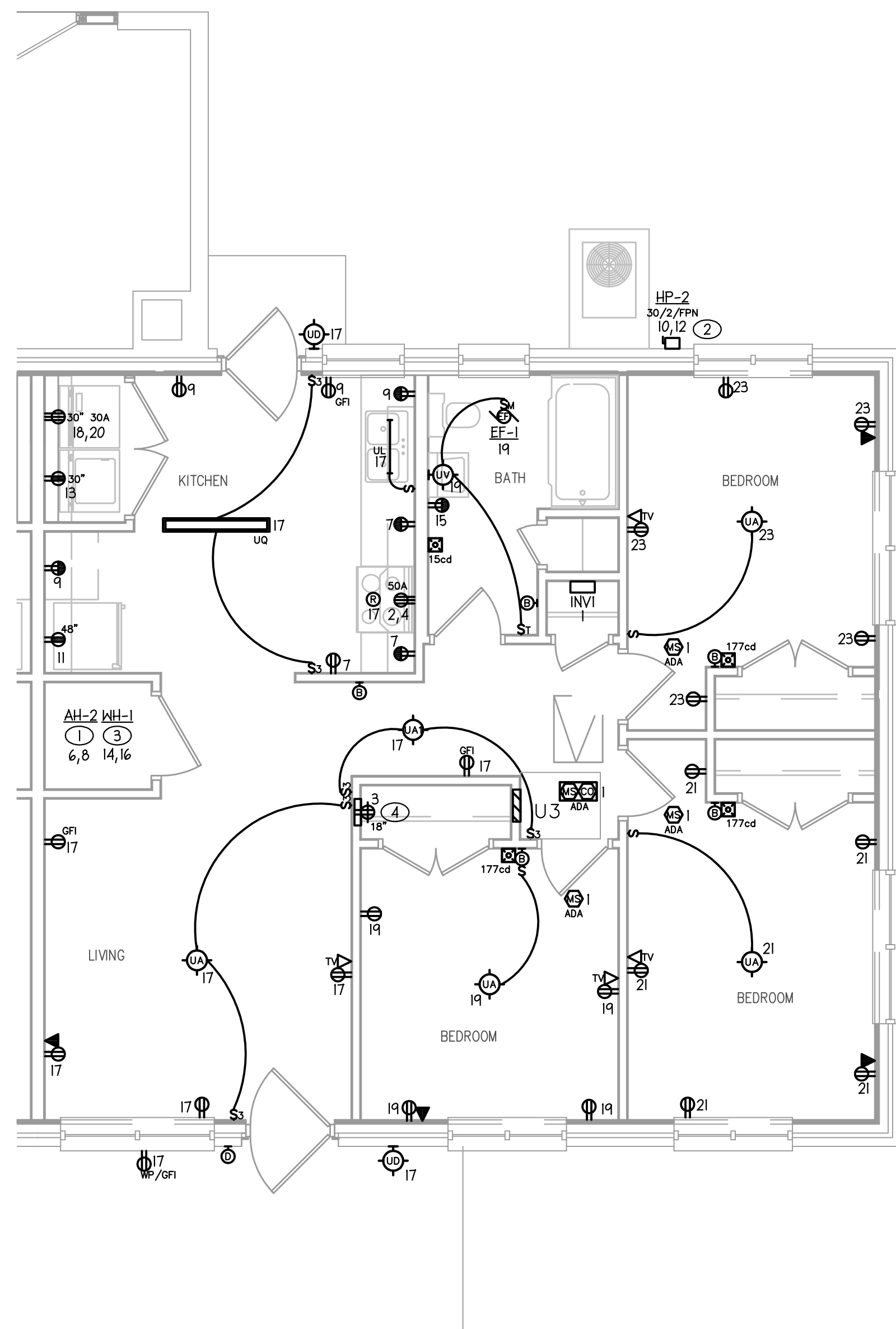
A  
B  
C  
D

**GENERAL NOTES: (UNIT PLANS)**

1. ALL CIRCUIT NUMBERS SHOWN TO RESPECTIVE UNIT PANEL. SEE SHEET EIB.0 FOR PANEL SCHEDULES.
2. REFER TO ID PLANS FOR DIMENSIONS, UNLESS NOTED OTHERWISE.
3. VERIFY EXTERIOR LIGHTING LOCATIONS AND PRODUCT SELECTION WITH ARCHITECT PRIOR TO ROUGH-IN.
4. SEE DETAIL 3/ED.1 FOR FURTHER INFORMATION ON ADA SWITCH AND OUTLET LOCATIONS.
5. VISUAL DOORBELL SYSTEM SHALL BE HARDWIRED.

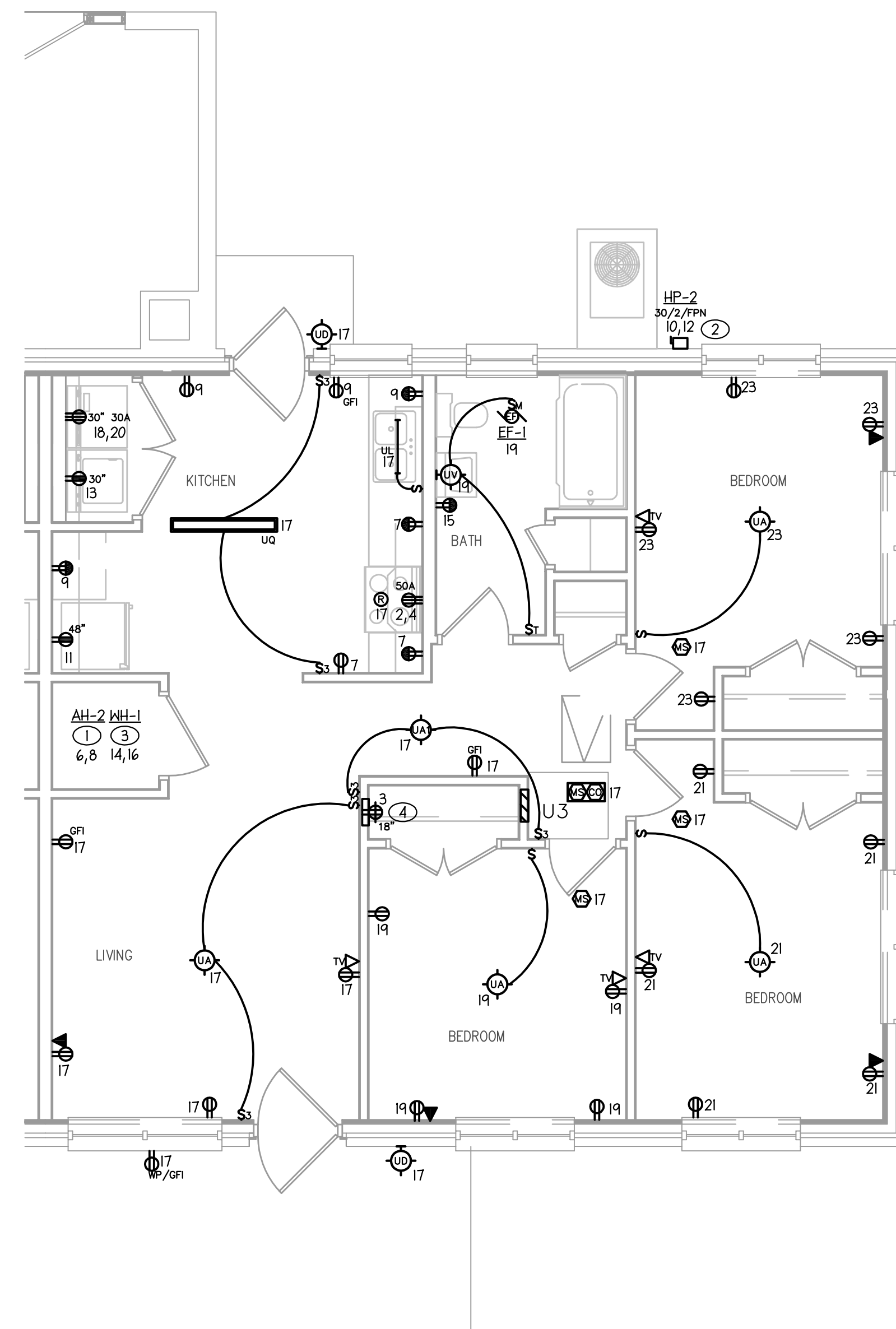
**TAGGED NOTES: (UNIT PLANS)**

- ① PROVIDE INTEGRAL DISCONNECT SWITCH FOR UNIT'S HVAC AH UNIT. SEE UNIT PANEL SCHEDULE FOR ACTUAL WIRE AND BREAKER SIZE. DISCONNECT SWITCH SHALL BE INSTALLED TO PERMIT REQUIRED WORKING CLEARANCE. WHERE PRESENT, E.C. TO CONNECT 24V HVAC TRANSFORMER; COORDINATE WITH M.C.
- ② SEE BUILDING PLANS FOR HEAT PUMP LOCATIONS.
- ③ CIRCUIT FOR EACH UNIT'S WATER HEATER. SEE UNIT PANEL SCHEDULE FOR ACTUAL WIRE AND BREAKER SIZE. DISCONNECT SHALL BE BREAKER WITH LOCK-OFF DEVICE.
- ④ COMM CABINET FOR INTERFACE WITH TEL. AND CATV. SERVICES. COORDINATE REQUIREMENTS WITH UTILITIES AND MOUNTING WITH ARCHITECT.



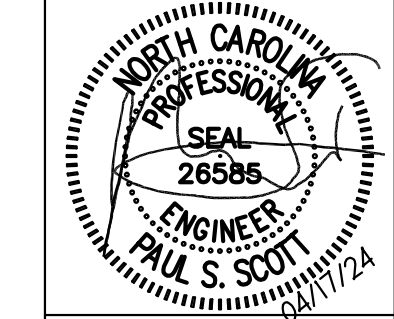
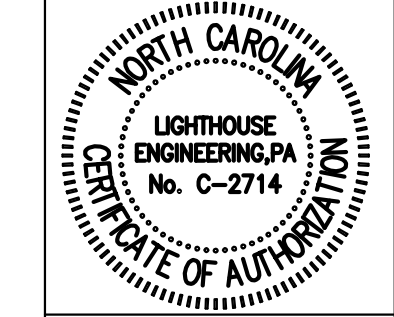
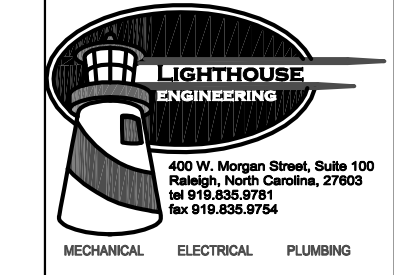
**2** THREE BEDROOM HI/VI UNIT - NC 15-3  
1/4"=1'-0" BUILDING TYPE 'C'

GFI RECEPTACLES IN HEARING/VISUALLY IMPAIRED UNIT TYPE SHALL HAVE AUDIBLE AND VISUAL INDICATION THAT THEY HAVE TRIPPED AND SHALL BE EQUAL TO LEVITON GFTA2 SERIES; FINISH BY ARCHITECT. REFER TO ARCHITECTURAL SITE PLAN FOR THESE UNIT LOCATIONS.



**1** THREE BEDROOM UNIT - NC 15-3  
1/4"=1'-0" BUILDING TYPE 'C'

REVISIONS



**Stogner Architecture, PA**  
ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
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Phone 910-895-6874 Fax 910-895-1111

Housing Authority of the  
City of Goldsboro  
RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

ELECTRICAL  
UNIT PLANS  
NC 15-3

COMM. NO.: 6041-B  
DRAWN BY: TGW  
CHECKED BY: PSS  
DATE: APR. 2, 2024  
SHEET NO.

E12.0

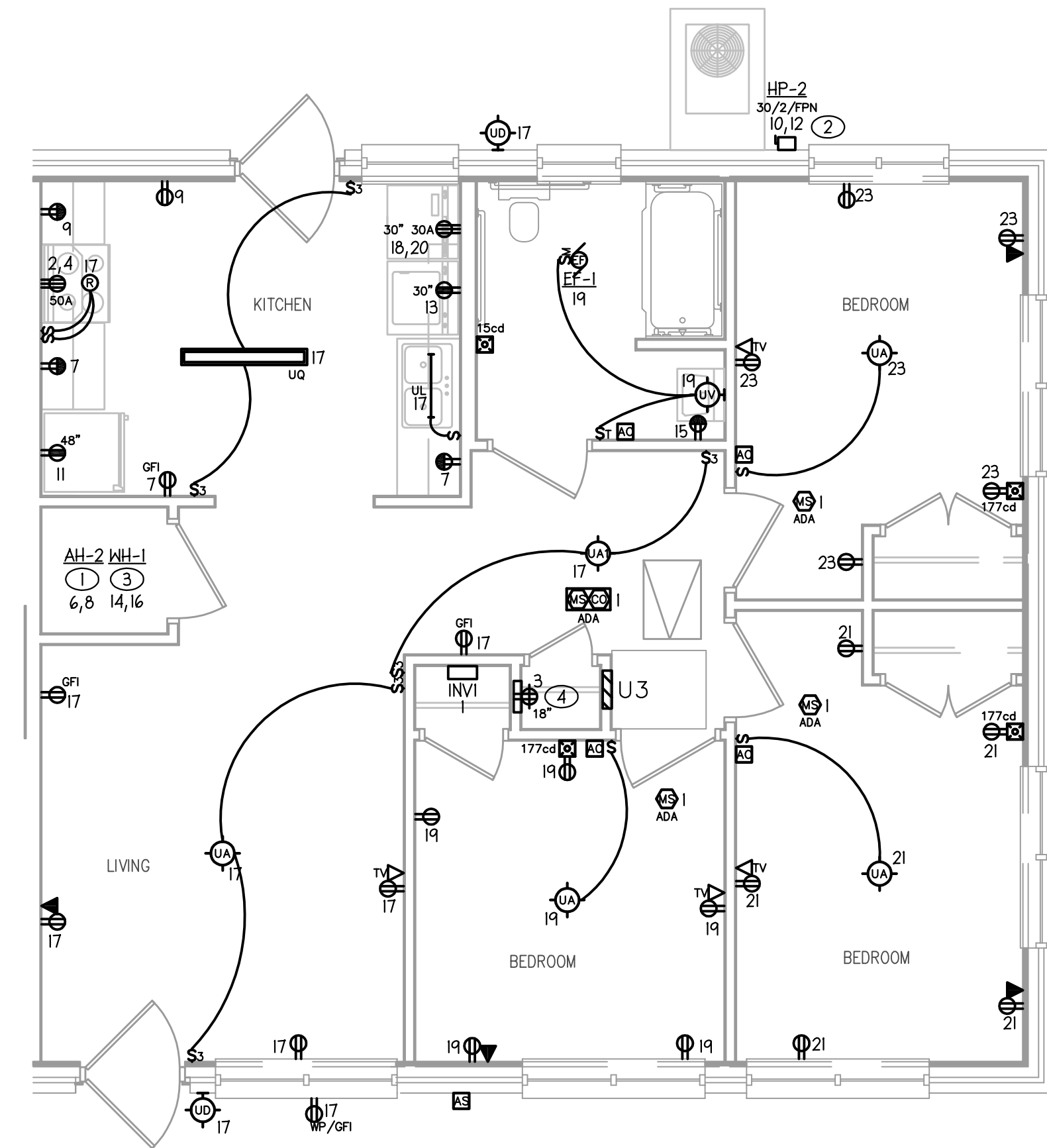
A  
B  
C  
D

**GENERAL NOTES: (UNIT PLANS)**

1. ALL CIRCUIT NUMBERS SHOWN TO RESPECTIVE UNIT PANEL. SEE SHEET E13.0 FOR PANEL SCHEDULES.
2. REFER TO ID PLANS FOR DIMENSIONS, UNLESS NOTED OTHERWISE.
3. VERIFY EXTERIOR LIGHTING LOCATIONS AND PRODUCT SELECTION WITH ARCHITECT PRIOR TO ROUGH-IN.
4. SEE DETAIL 3/E0.1 FOR FURTHER INFORMATION ON ADA SWITCH AND OUTLET LOCATIONS.

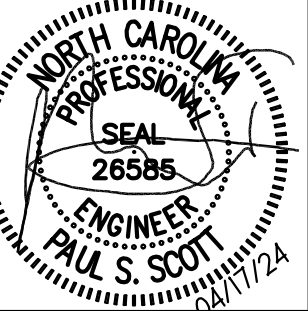
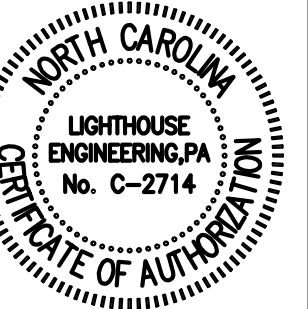
**TAGGED NOTES: (UNIT PLANS)**

- ① PROVIDE INTEGRAL DISCONNECT SWITCH FOR UNIT'S HVAC AH UNIT. SEE UNIT PANEL SCHEDULE FOR ACTUAL WIRE AND BREAKER SIZE. DISCONNECT SWITCH SHALL BE INSTALLED TO PERMIT REQUIRED WORKING CLEARANCE. WHERE PRESENT, E.C. TO CONNECT 24V HVAC TRANSFORMER; COORDINATE WITH M.C.
- ② SEE BUILDING PLANS FOR HEAT PUMP LOCATIONS.
- ③ CIRCUIT FOR EACH UNIT'S WATER HEATER. SEE UNIT PANEL SCHEDULE FOR ACTUAL WIRE AND BREAKER SIZE. DISCONNECT SHALL BE BREAKER WITH LOCK-OFF DEVICE.
- ④ COMM CABINET FOR INTERFACE WITH TEL. AND CATV. SERVICES. COORDINATE REQUIREMENTS WITH UTILITIES AND MOUNTING WITH ARCHITECT.



**1** **THREE BEDROOM HANDICAP UNIT - NC 15-3**  
 1/4" = 1'-0" BUILDING TYPE 'C'

REVISIONS



**Stogner Architecture, PA**  
 ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
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Housing Authority of the  
 City of Goldsboro  
 RENOVATIONS - FAIRVIEW APARTMENTS  
 NC 15-1 FAIRVIEW CIRCLE  
 GOLDSBORO, NORTH CAROLINA

ELECTRICAL  
 UNIT PLANS  
 NC 15-3

COMM. NO.: 6041-B  
 DRAWN BY: TGW  
 CHECKED BY: PSS  
 DATE: APR. 2, 2024  
 SHEET NO.

E12.1

LOAD DEMAND CALCULATION - RESIDENTIAL NEC SECTION 220-82	
UNIT TYPE: FOUR BEDROOM SYSTEM VOLTAGE: 240/120V, 1Ø, 3W SERVICE SIZE: 125 AMPS SQUARE FEET: 1,240	
LOAD DESCRIPTION	KVA
LIGHTING & RECEPTACLES (SQUARE FEET X 3 VA)	3.7
SMALL APPLIANCES (2 CIRCUITS X 1.5 KVA/CIRCUIT)	3.0
REFRIGERATOR	1.1
ELEC. CLOTHES DRYER	5.0
WASHER	1.5
RANGE	8.0
WATER HEATER	4.5
MICROWAVE	1.5
COMMUNICATION CAB	0.2
TOTAL	28.5
FIRST 10 KVA AT 100%	10.0
REMAINDER AT 40%	7.4
HEAT PUMP	3.4
AIR HANDLER	2.7
STRIP HEAT AT 65%	3.7
HEATING AT 100%	9.8
TOTAL RESIDENTIAL KVA	27.2

VOLTAGE: 240/120V AMPS: 125 - MLO		PANEL: U4		1 PHASE 3 WIRE FLUSH MOUNTED NEMA 1	
- DESCRIPTION -		LOAD PER PHASE		- DESCRIPTION -	
	POLE	WIRE SIZE	BK SIZE	CCT #	POLE
		A	B		
SPACE	1	-	-	1	40
AFI COMM CABINET	1	14	15	3	02/40 4
GF/AFI MICROWAVE	1	12	20	5	15/51 6
GF/AFI KITCHEN APPLIANCES	1	12	20	7	15/51 8
GF/AFI KITCHEN APPLIANCES	1	12	20	9	15/17 10
GF/AFI REFRIGERATOR	1	12	20	11	11/17 12
GF/AFI WASHER	1	12	20	13	15/22 14
BATHROOM RECEPTACLES	1	12	20	15	04/23 16
AFI LTS/RECEPTACLES	1	14	15	17	09/25 18
AFI LTS/RECEPTACLES	1	14	15	19	06/25 20
AFI LTS/RECEPTACLES	1	14	15	21	06/- 22
AFI LTS/RECEPTACLES	1	14	15	23	06/- 24
AFI LTS/RECEPTACLES	1	14	15	25	06/- 26
SPACE	1	-	-	27	-/- 28
SPACE	1	-	-	29	-/- 30
TOTAL CONNECTED KVA		22.1		20.0	
PANEL RMS SYM. AMPS: SEE RISER		42.1		DEMAND KVA: 27.2	
				DEMAND AMPS: 113	

- PANEL SHALL BE EQUAL TO SIEMENS ES LOAD CENTER.
- AFI - PROVIDE ARC FAULT CIRCUIT INTERRUPTER BREAKER FOR CIRCUIT.
- L - INDICATES LOCK-ON ATTACHMENT REQUIRED.
- PROVIDE HACR BREAKERS FOR HVAC EQUIPMENT.
- GF - PROVIDE GFCI BREAKER FOR CIRCUIT. GFCI RECEPTACLES MAY BE USED IN LIEU OF GFCI BREAKERS SO LONG AS THE DEVICE(S) CONFORM TO NEC CODE REQUIREMENTS FOR GFCI PROTECTION.
- PANEL SHALL BE MOUNTED SUCH THAT THE BASE OF THE PANEL IS NO LESS THAN 15" A.F.F. AND THE TOP OF THE PANEL IS NO MORE THAN 48" A.F.F.
- \* -PRIOR TO PURCHASING CONDUCTORS AND CONDUIT, E.C. SHALL VERIFY CIRCUIT VOLTAGE DROP TO BE LESS THAN 3% BASED ON ACTUAL CIRCUIT LENGTH TO BE INSTALLED.

LOAD DEMAND CALCULATION - RESIDENTIAL NEC SECTION 220-82	
UNIT TYPE: ONE BEDROOM SYSTEM VOLTAGE: 240/120V, 1Ø, 3W SERVICE SIZE: 125 AMPS SQUARE FEET: 505	
LOAD DESCRIPTION	KVA
LIGHTING & RECEPTACLES (SQUARE FEET X 3 VA)	1.5
SMALL APPLIANCES (2 CIRCUITS X 1.5 KVA/CIRCUIT)	3.0
REFRIGERATOR	1.1
ELEC. CLOTHES DRYER	5.0
WASHER	1.5
RANGE	8.0
WATER HEATER	4.5
COMMUNICATION CAB	0.2
TOTAL	24.8
FIRST 10 KVA AT 100%	10.0
REMAINDER AT 40%	5.9
HEAT PUMP	2.6
AIR HANDLER	0.4
STRIP HEAT AT 65%	2.4
HEATING AT 100%	5.4
TOTAL RESIDENTIAL KVA	21.3

VOLTAGE: 240/120V AMPS: 125 - MLO		PANEL: U1		1 PHASE 3 WIRE FLUSH MOUNTED NEMA 1	
- DESCRIPTION -		LOAD PER PHASE		- DESCRIPTION -	
	POLE	WIRE SIZE	BK SIZE	CCT #	POLE
		A	B		
SPACE	1	-	-	1	40
AFI COMM CABINET	1	14	15	3	02/40 4
GF/AFI MICROWAVE	1	12	20	5	15/27 6
GF/AFI KITCHEN APPLIANCES	1	12	20	7	15/27 8
GF/AFI KITCHEN APPLIANCES	1	12	20	9	15/13 10
GF/AFI REFRIGERATOR	1	12	20	11	11/13 12
GF/AFI WASHER	1	12	20	13	15/22 14
BATHROOM RECEPTACLE	1	12	20	15	02/23 16
AFI LTS/RECEPTACLES	1	14	15	17	07/25 18
AFI LTS/RECEPTACLES	1	14	15	19	06/25 20
SPACE	1	-	-	21	-/- 22
SPACE	1	-	-	23	-/- 24
SPACE	1	-	-	25	-/- 26
SPACE	1	-	-	27	-/- 28
SPACE	1	-	-	29	-/- 30
TOTAL CONNECTED KVA		16.4		16.4	
PANEL RMS SYM. AMPS: SEE RISER		32.8		DEMAND KVA: 21.3	
				DEMAND AMPS: 89	

- PANEL SHALL BE EQUAL TO SIEMENS ES LOAD CENTER.
- AFI - PROVIDE ARC FAULT CIRCUIT INTERRUPTER BREAKER FOR CIRCUIT.
- L - INDICATES LOCK-ON ATTACHMENT REQUIRED.
- PROVIDE HACR BREAKERS FOR HVAC EQUIPMENT.
- GF - PROVIDE GFCI BREAKER FOR CIRCUIT. GFCI RECEPTACLES MAY BE USED IN LIEU OF GFCI BREAKERS SO LONG AS THE DEVICE(S) CONFORM TO NEC CODE REQUIREMENTS FOR GFCI PROTECTION.
- PANEL SHALL BE MOUNTED SUCH THAT THE BASE OF THE PANEL IS NO LESS THAN 15" A.F.F. AND THE TOP OF THE PANEL IS NO MORE THAN 48" A.F.F.
- \* -PRIOR TO PURCHASING CONDUCTORS AND CONDUIT, E.C. SHALL VERIFY CIRCUIT VOLTAGE DROP TO BE LESS THAN 3% BASED ON ACTUAL CIRCUIT LENGTH TO BE INSTALLED.

LOAD DEMAND CALCULATION - RESIDENTIAL NEC SECTION 220-82	
UNIT TYPE: THREE BEDROOM SYSTEM VOLTAGE: 240/120V, 1Ø, 3W SERVICE SIZE: 125 AMPS SQUARE FEET: 940	
LOAD DESCRIPTION	KVA
LIGHTING & RECEPTACLES (SQUARE FEET X 3 VA)	2.8
SMALL APPLIANCES (2 CIRCUITS X 1.5 KVA/CIRCUIT)	3.0
REFRIGERATOR	1.1
ELEC. CLOTHES DRYER	5.0
WASHER	1.5
RANGE	8.0
WATER HEATER	4.5
COMMUNICATION CAB	0.2
TOTAL	26.1
FIRST 10 KVA AT 100%	10.0
REMAINDER AT 40%	6.4
HEAT PUMP	2.8
AIR HANDLER	0.4
STRIP HEAT AT 65%	2.4
HEATING AT 100%	5.6
TOTAL RESIDENTIAL KVA	22.0

VOLTAGE: 240/120V AMPS: 125 - MLO		PANEL: U3		1 PHASE 3 WIRE FLUSH MOUNTED NEMA 1	
- DESCRIPTION -		LOAD PER PHASE		- DESCRIPTION -	
	POLE	WIRE SIZE	BK SIZE	CCT #	POLE
		A	B		
L/AFI EQ: INVERTER (HC/HI/VI)	1	14	15	3	03/40 4
AFI COMM CABINET	1	14	15	3	02/40 4
SPACE	1	-	-	5	-/27 6
GF/AFI KITCHEN APPLIANCES	1	12	20	7	15/27 8
GF/AFI KITCHEN APPLIANCES	1	12	20	9	15/14 10
GF/AFI REFRIGERATOR	1	12	20	11	11/14 12
GF/AFI WASHER	1	12	20	13	15/22 14
BATHROOM RECEPTACLE	1	12	20	15	02/23 16
AFI LTS/RECEPTACLES	1	14	15	17	08/25 18
AFI LTS/RECEPTACLES	1	14	15	19	06/25 20
AFI LTS/RECEPTACLES	1	14	15	21	06/- 22
AFI LTS/RECEPTACLES	1	14	15	23	06/- 24
SPACE	1	-	-	25	-/- 26
SPACE	1	-	-	27	-/- 28
SPACE	1	-	-	29	-/- 30
TOTAL CONNECTED KVA		17.5		17.1	
PANEL RMS SYM. AMPS: SEE RISER		34.6		DEMAND KVA: 22.0	
				DEMAND AMPS: 92	

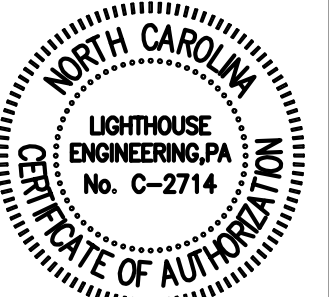
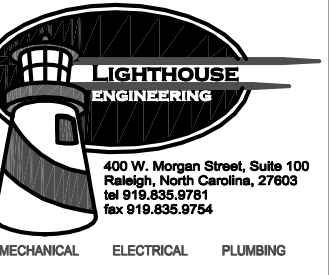
- PANEL SHALL BE EQUAL TO SIEMENS ES LOAD CENTER.
- AFI - PROVIDE ARC FAULT CIRCUIT INTERRUPTER BREAKER FOR CIRCUIT.
- L - INDICATES LOCK-ON ATTACHMENT REQUIRED.
- PROVIDE HACR BREAKERS FOR HVAC EQUIPMENT.
- GF - PROVIDE GFCI BREAKER FOR CIRCUIT. GFCI RECEPTACLES MAY BE USED IN LIEU OF GFCI BREAKERS SO LONG AS THE DEVICE(S) CONFORM TO NEC CODE REQUIREMENTS FOR GFCI PROTECTION.
- PANEL SHALL BE MOUNTED SUCH THAT THE BASE OF THE PANEL IS NO LESS THAN 15" A.F.F. AND THE TOP OF THE PANEL IS NO MORE THAN 48" A.F.F.
- \* -PRIOR TO PURCHASING CONDUCTORS AND CONDUIT, E.C. SHALL VERIFY CIRCUIT VOLTAGE DROP TO BE LESS THAN 3% BASED ON ACTUAL CIRCUIT LENGTH TO BE INSTALLED.

LOAD DEMAND CALCULATION - RESIDENTIAL NEC SECTION 220-82	
UNIT TYPE: TWO BEDROOM SYSTEM VOLTAGE: 240/120V, 1Ø, 3W SERVICE SIZE: 125 AMPS SQUARE FEET: 720	
LOAD DESCRIPTION	KVA
LIGHTING & RECEPTACLES (SQUARE FEET X 3 VA)	2.2
SMALL APPLIANCES (2 CIRCUITS X 1.5 KVA/CIRCUIT)	3.0
REFRIGERATOR	1.1
ELEC. CLOTHES DRYER	5.0
WASHER	1.5
RANGE	8.0
WATER HEATER	4.5
COMMUNICATION CAB	0.2
TOTAL	25.5
FIRST 10 KVA AT 100%	10.0
REMAINDER AT 40%	6.2
HEAT PUMP	2.6
AIR HANDLER	0.4
STRIP HEAT AT 65%	2.4
HEATING AT 100%	5.4
TOTAL RESIDENTIAL KVA	21.6

VOLTAGE: 240/120V AMPS: 125 - MLO		PANEL: U2		1 PHASE 3 WIRE FLUSH MOUNTED NEMA 1	
- DESCRIPTION -		LOAD PER PHASE		- DESCRIPTION -	
	POLE	WIRE SIZE	BK SIZE	CCT #	POLE
		A	B		
L/AFI EQ: INVERTER (HC UNIT)	1	14	15	1	03/40 4
AFI COMM CABINET	1	14	15	3	02/40 4
SPACE	1	-	-	5	-/27 6
GF/AFI KITCHEN APPLIANCES	1	12	20	7	15/27 8
GF/AFI KITCHEN APPLIANCES	1	12	20	9	15/13 10
GF/AFI REFRIGERATOR	1	12	20	11	11/13 12
GF/AFI WASHER	1	12	20	13	15/22 14
BATHROOM RECEPTACLE	1	12	20	15	02/23 16
AFI LTS/RECEPTACLES	1	14	15	17	08/25 18
AFI LTS/RECEPTACLES	1	14	15	19	06/25 20
AFI LTS/RECEPTACLES	1	14	15	21	06/- 22
SPACE	1	-	-	23	-/- 24
SPACE	1	-	-	25	-/- 26
SPACE	1	-	-	27	-/- 28
SPACE	1	-	-	29	-/- 30
TOTAL CONNECTED KVA		17.4		16.4	
PANEL RMS SYM. AMPS: SEE RISER		33.8		DEMAND KVA: 21.6	
				DEMAND AMPS: 90	

- PANEL SHALL BE EQUAL TO SIEMENS ES LOAD CENTER.
- AFI - PROVIDE ARC FAULT CIRCUIT INTERRUPTER BREAKER FOR CIRCUIT.
- L - INDICATES LOCK-ON ATTACHMENT REQUIRED.
- PROVIDE HACR BREAKERS FOR HVAC EQUIPMENT.
- GF - PROVIDE GFCI BREAKER FOR CIRCUIT. GFCI RECEPTACLES MAY BE USED IN LIEU OF GFCI BREAKERS SO LONG AS THE DEVICE(S) CONFORM TO NEC CODE REQUIREMENTS FOR GFCI PROTECTION.
- PANEL SHALL BE MOUNTED SUCH THAT THE BASE OF THE PANEL IS NO LESS THAN 15" A.F.F. AND THE TOP OF THE PANEL IS NO MORE THAN 48" A.F.F.
- \* -PRIOR TO PURCHASING CONDUCTORS AND CONDUIT, E.C. SHALL VERIFY CIRCUIT VOLTAGE DROP TO BE LESS THAN 3% BASED ON ACTUAL CIRCUIT LENGTH TO BE INSTALLED.

REVISIONS



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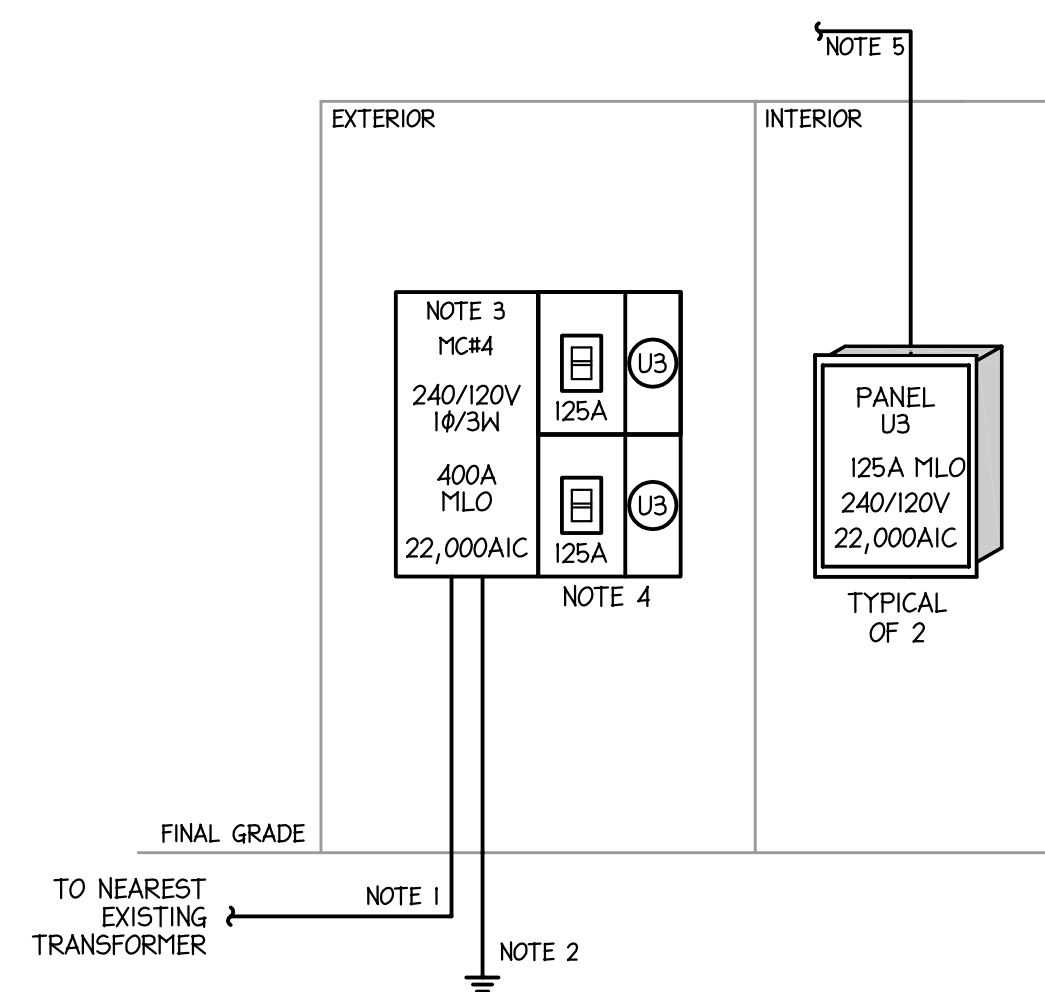
ELECTRICAL UNIT PANEL SCHEDULES

COMM. NO.: 6041-B  
DRAWN BY: TGW  
CHECKED BY: PSS  
DATE: APR. 2, 2024  
SHEET NO.

E13.0

D:\Projects\2024\6041-B\6041-B-EL-UNIT PANEL SCHEDULES.dwg 10/17/2024 5:00pm



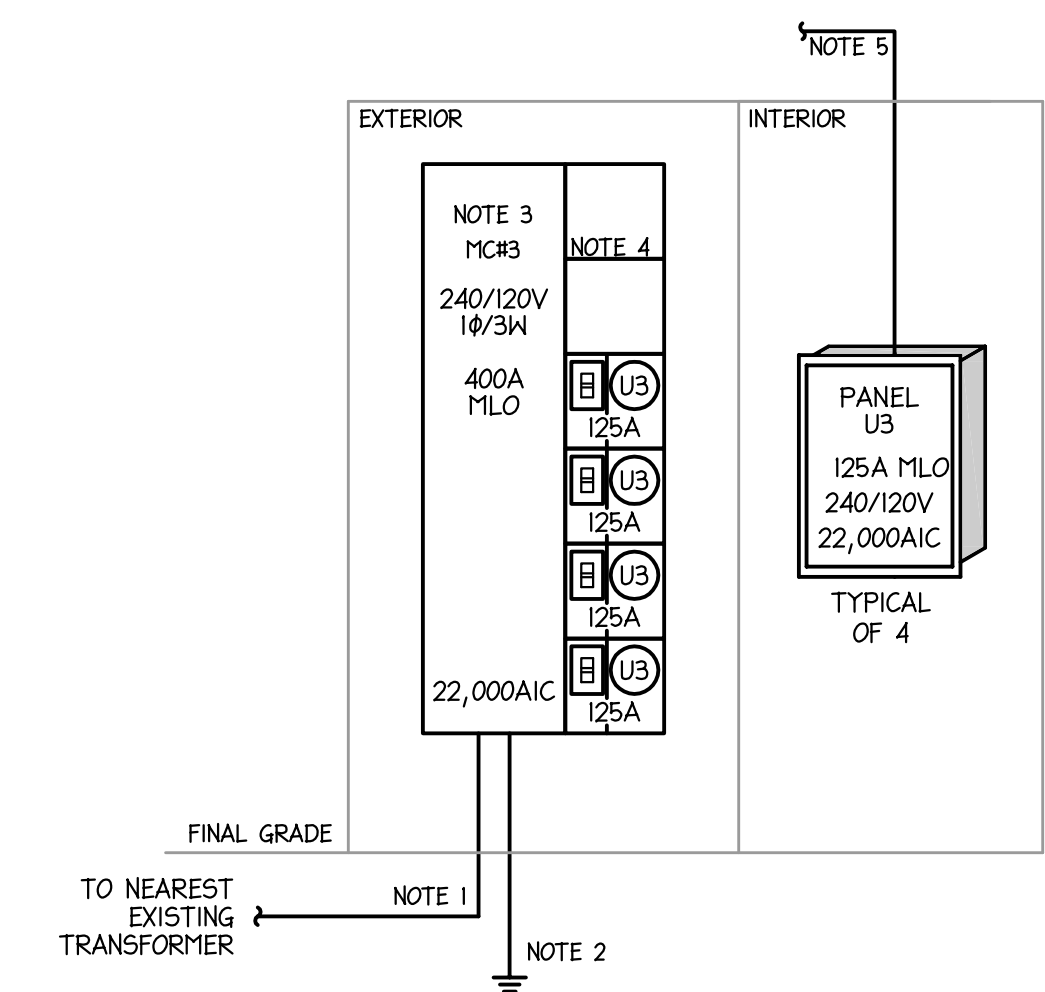


**4 ELECTRICAL RISER DIAGRAM - BUILDING 4**  
NTS

- RISER DIAGRAM NOTES:**
- PROVIDE LABEL ON SERVICE EQUIPMENT PER 110.24(A) AND 110.22(A).
- SERVICE LATERAL CONDUCTORS TO METER CENTER PROVIDED AND INSTALLED BY UTILITY. E.C. TO PROVIDE (2) 3" CONDUITS. COORDINATE TRENCHING AND CONDUIT REQUIREMENTS; OWNER SHALL PAY ALL FEES.
  - #2 CU. GND TO GROUNDING ELECTRODE SYSTEM, SEE 1/E0.1.
  - METER CENTER PROVIDED AND INSTALLED BY ELECTRICAL CONTRACTOR. METER CENTERS SHALL BE EQUAL TO SIEMENS POWER-MOD SERIES WITH 800A CROSS BUS. METERS PROVIDED AND INSTALLED BY POWER CO. COORDINATE REQUIREMENTS WITH POWER CO.
  - 2 POLE CIRCUIT BREAKER IN NEMA 3R ENCLOSURE, UL LISTED FOR SERVICE ENTRANCE EQUIPMENT. TYPICAL FOR ALL UNIT PANELS. AIC RATING OF FEEDER CIRCUIT BREAKERS SHALL BE AS INDICATED. RESIDENTIAL UNIT BRANCH CIRCUIT BREAKERS MAY BE SERIES RATED WITH FEEDER BREAKERS. PROVIDE NEW PHENOLIC ENGRAVED NAMEPLATE AT EACH METER IDENTIFYING APARTMENT NUMBER.
  - 3#2/0 (AL), #2 GND (AL) TYPE SER SERVICE ENTRANCE CABLE (TYPICAL FOR 125A PANELS) PER NEC 310.15(B)(7).

MC#4 SERVICE DEMAND			
UNIT TYPE	KVA CONN. PER PANEL	# OF PANELS	TOTAL KVA PER PANEL TYPE
U3	34.6	3	103.8
RESIDENTIAL CONNECTED KVA			103.8
DEMAND FACTOR (NEC 220-85)			0.45
RESIDENTIAL DEMAND KVA			46.7
TOTAL DEMAND KVA			46.7
AMPS AT 240V, 1PH.			194.6

E.C. TO FIELD VERIFY ALL EXISTING CONDITIONS AND LOCATIONS OF EQUIPMENT PRIOR TO BIDDING WORK.

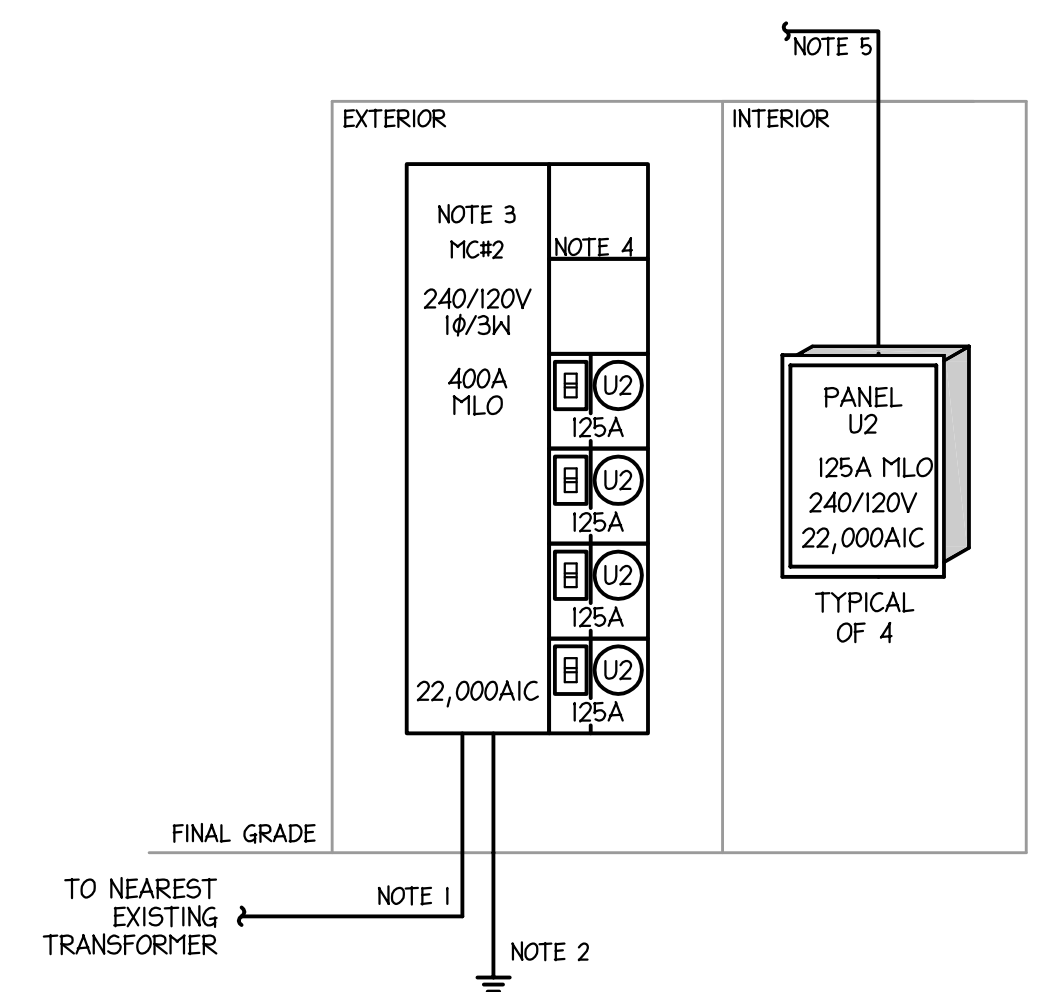


**3 ELECTRICAL RISER DIAGRAM - BUILDING 3**  
NTS

- RISER DIAGRAM NOTES:**
- PROVIDE LABEL ON SERVICE EQUIPMENT PER 110.24(A) AND 110.22(A).
- SERVICE LATERAL CONDUCTORS TO METER CENTER PROVIDED AND INSTALLED BY UTILITY. E.C. TO PROVIDE (2) 3" CONDUITS. COORDINATE TRENCHING AND CONDUIT REQUIREMENTS; OWNER SHALL PAY ALL FEES.
  - #2 CU. GND TO GROUNDING ELECTRODE SYSTEM, SEE 1/E0.1.
  - METER CENTER PROVIDED AND INSTALLED BY ELECTRICAL CONTRACTOR. METER CENTERS SHALL BE EQUAL TO SIEMENS POWER-MOD SERIES WITH 800A CROSS BUS. METERS PROVIDED AND INSTALLED BY POWER CO. COORDINATE REQUIREMENTS WITH POWER CO.
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  - 3#2/0 (AL), #2 GND (AL) TYPE SER SERVICE ENTRANCE CABLE (TYPICAL FOR 125A PANELS) PER NEC 310.15(B)(7).

MC#3 SERVICE DEMAND			
UNIT TYPE	KVA CONN. PER PANEL	# OF PANELS	TOTAL KVA PER PANEL TYPE
U3	34.6	4	138.4
RESIDENTIAL CONNECTED KVA			138.4
DEMAND FACTOR (NEC 220-84)			0.45
RESIDENTIAL DEMAND KVA			62.3
TOTAL DEMAND KVA			62.3
AMPS AT 240V, 1PH.			259.6

E.C. TO FIELD VERIFY ALL EXISTING CONDITIONS AND LOCATIONS OF EQUIPMENT PRIOR TO BIDDING WORK.

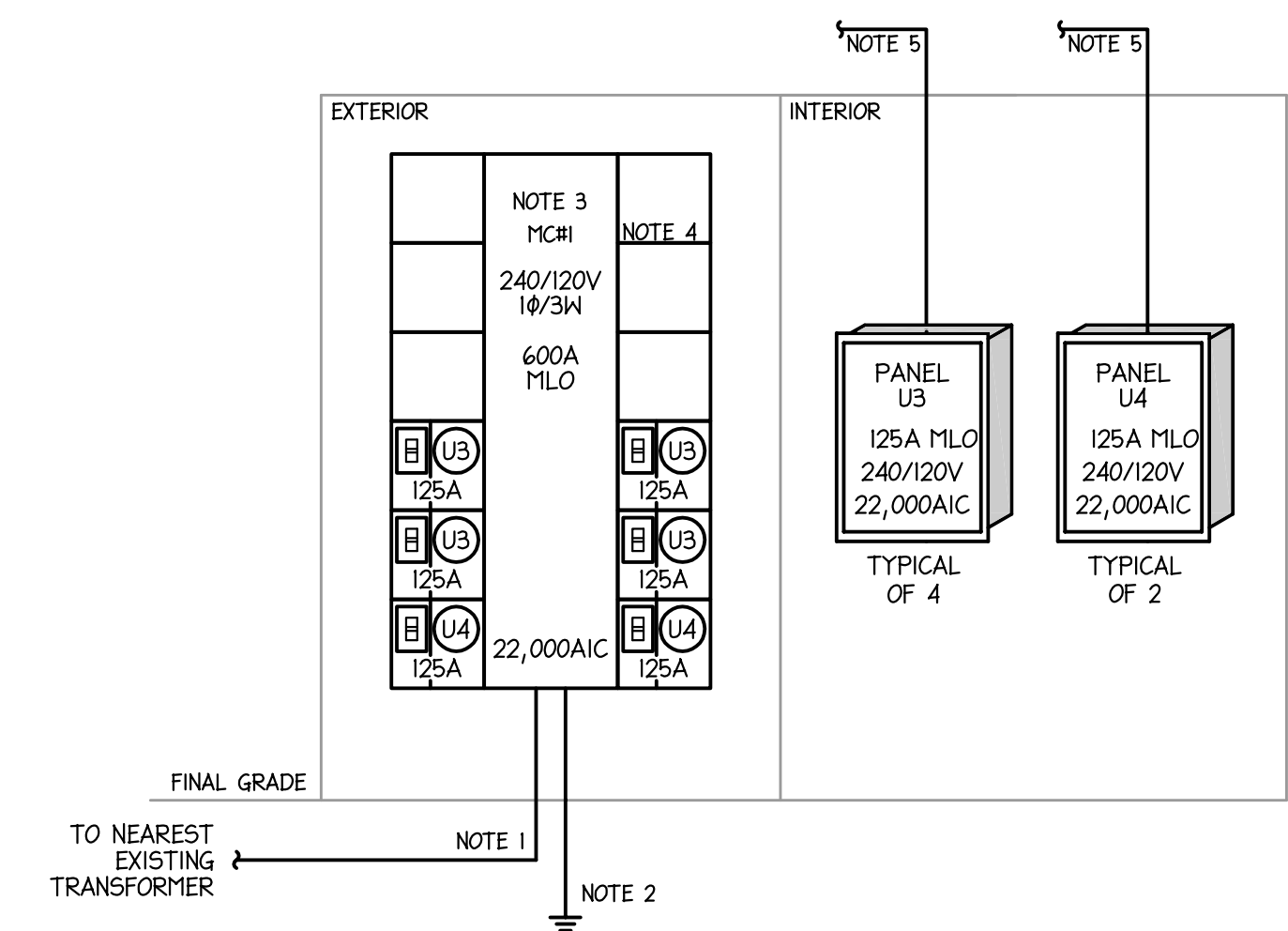


**2 ELECTRICAL RISER DIAGRAM - BUILDING 2**  
NTS

- RISER DIAGRAM NOTES:**
- PROVIDE LABEL ON SERVICE EQUIPMENT PER 110.24(A) AND 110.22(A).
- SERVICE LATERAL CONDUCTORS TO METER CENTER PROVIDED AND INSTALLED BY UTILITY. E.C. TO PROVIDE (2) 3" CONDUITS. COORDINATE TRENCHING AND CONDUIT REQUIREMENTS; OWNER SHALL PAY ALL FEES.
  - #2 CU. GND TO GROUNDING ELECTRODE SYSTEM, SEE 1/E0.1.
  - METER CENTER PROVIDED AND INSTALLED BY ELECTRICAL CONTRACTOR. METER CENTERS SHALL BE EQUAL TO SIEMENS POWER-MOD SERIES WITH 800A CROSS BUS. METERS PROVIDED AND INSTALLED BY POWER CO. COORDINATE REQUIREMENTS WITH POWER CO.
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  - 3#2/0 (AL), #2 GND (AL) TYPE SER SERVICE ENTRANCE CABLE (TYPICAL FOR 125A PANELS) PER NEC 310.15(B)(7).

MC#2 SERVICE DEMAND			
UNIT TYPE	KVA CONN. PER PANEL	# OF PANELS	TOTAL KVA PER PANEL TYPE
U2	33.8	4	135.2
RESIDENTIAL CONNECTED KVA			135.2
DEMAND FACTOR (NEC 220-84)			0.45
RESIDENTIAL DEMAND KVA			60.8
TOTAL DEMAND KVA			60.8
AMPS AT 240V, 1PH.			253.3

E.C. TO FIELD VERIFY ALL EXISTING CONDITIONS AND LOCATIONS OF EQUIPMENT PRIOR TO BIDDING WORK.



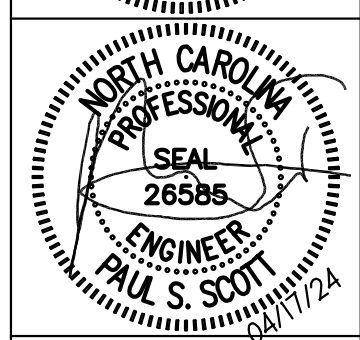
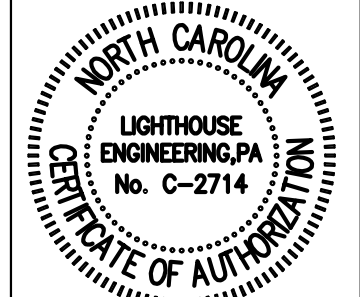
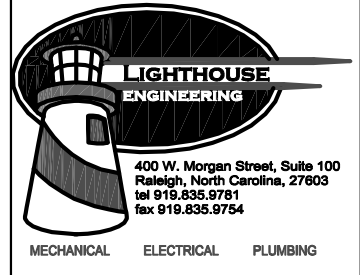
**1 ELECTRICAL RISER DIAGRAM - BUILDING 1**  
NTS

- RISER DIAGRAM NOTES:**
- PROVIDE LABEL ON SERVICE EQUIPMENT PER 110.24(A) AND 110.22(A).
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  - #1/0 CU. GND TO GROUNDING ELECTRODE SYSTEM, SEE 1/E0.1.
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  - 3#2/0 (AL), #2 GND (AL) TYPE SER SERVICE ENTRANCE CABLE (TYPICAL FOR 125A PANELS) PER NEC 310.15(B)(7).

MC#1 SERVICE DEMAND			
UNIT TYPE	KVA CONN. PER PANEL	# OF PANELS	TOTAL KVA PER PANEL TYPE
U3	34.6	4	138.4
U4	42.1	2	84.2
RESIDENTIAL CONNECTED KVA			222.6
DEMAND FACTOR (NEC 220-84)			0.44
RESIDENTIAL DEMAND KVA			97.9
TOTAL DEMAND KVA			97.9
AMPS AT 240V, 1PH.			407.9

E.C. TO FIELD VERIFY ALL EXISTING CONDITIONS AND LOCATIONS OF EQUIPMENT PRIOR TO BIDDING WORK.

REVISIONS



**Stogner Architecture, PA**  
ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
615 East Broad Avenue, Rockingham, North Carolina, 28379  
Phone 910-895-6874 Fax 910-895-1111

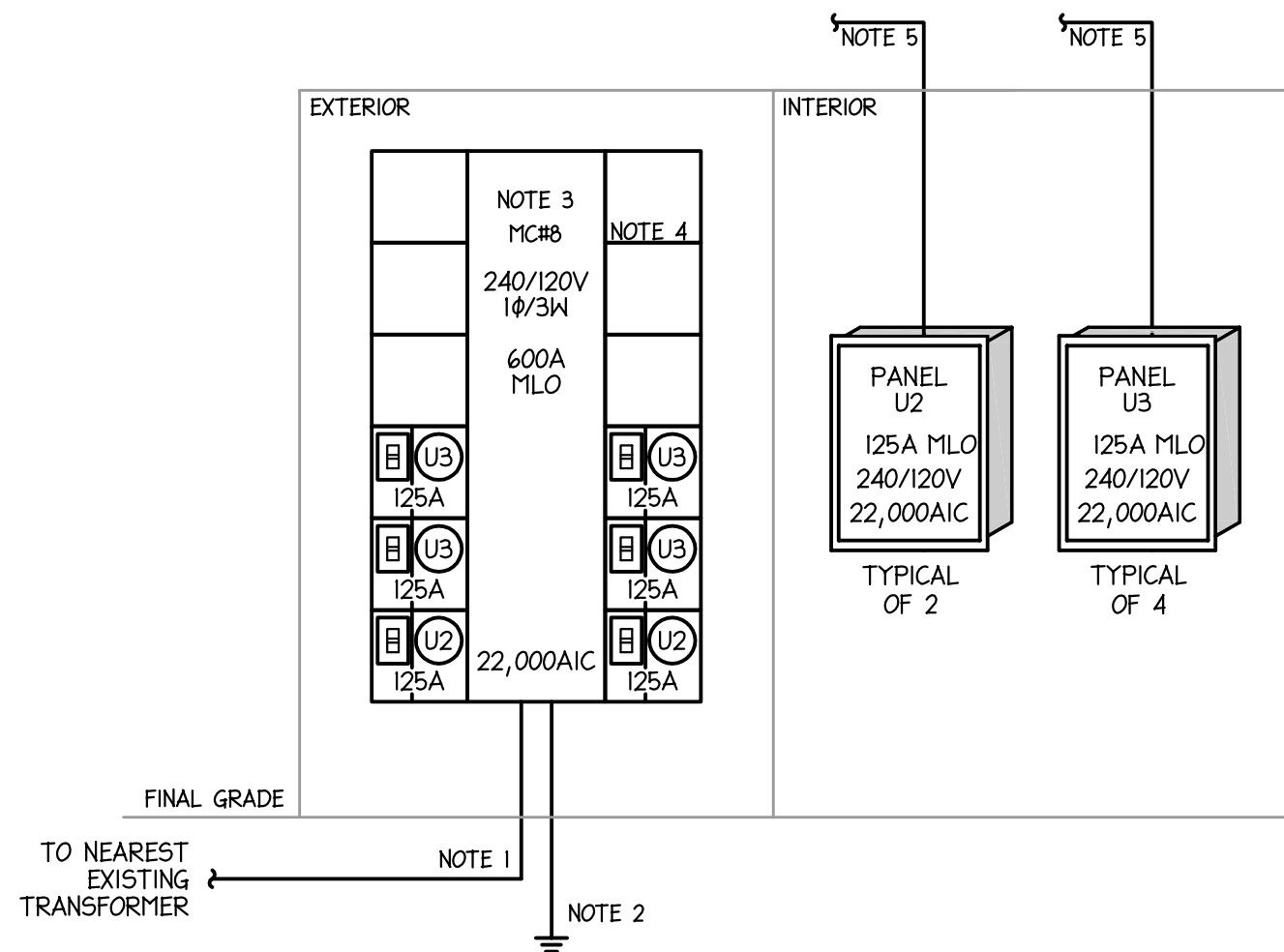
**Housing Authority of the City of Goldsboro**  
RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

ELECTRICAL BUILDING RISER DIAGRAMS

COMM. NO.: 6041-B  
DRAWN BY: TGW  
CHECKED BY: PSS  
DATE: APR. 2, 2024  
SHEET NO.

E14.0

REVISIONS TO ELECTRICAL BUILDING RISER DIAGRAMS APR 17, 2024 14:30pm



**4 ELECTRICAL RISER DIAGRAM - BUILDING 8**  
NTS

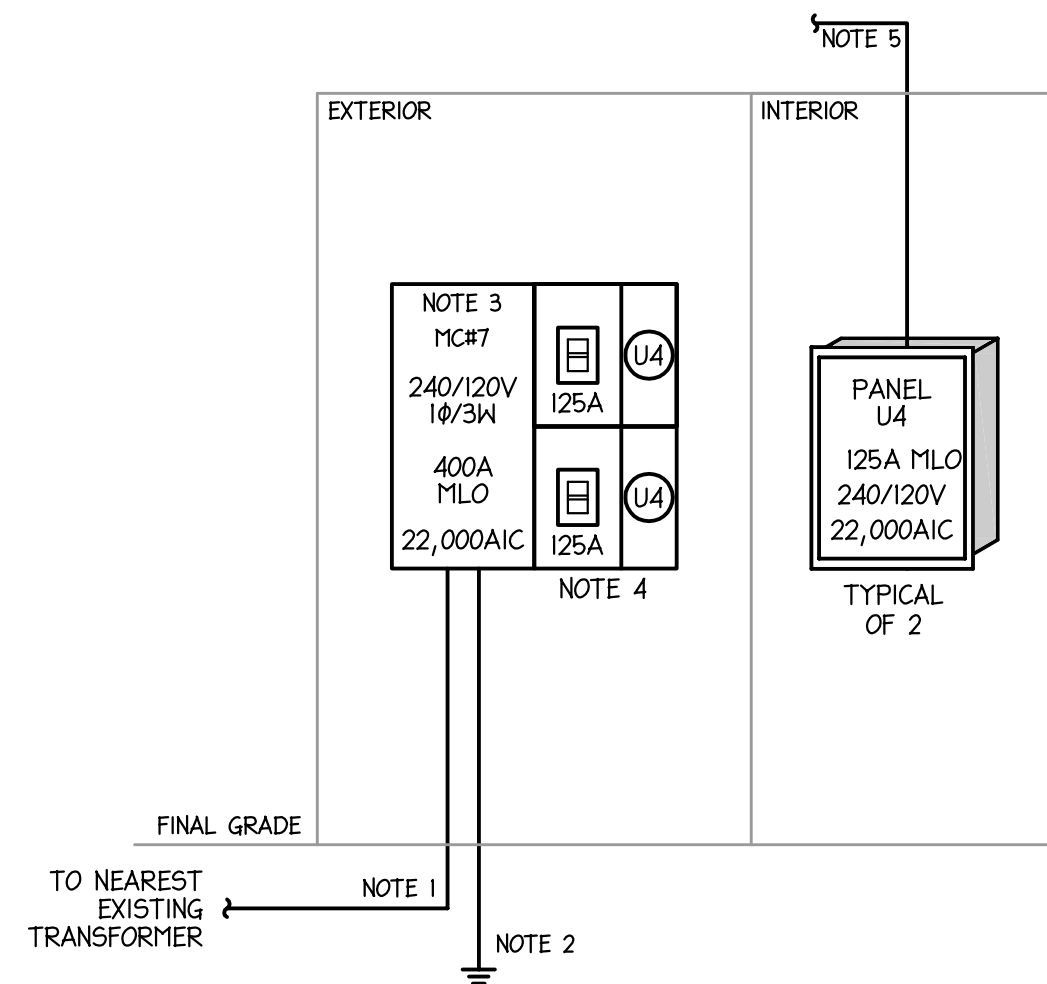
**RISER DIAGRAM NOTES:**

PROVIDE LABEL ON SERVICE EQUIPMENT PER 110.24(A) AND 110.22(A).

- SERVICE LATERAL CONDUCTORS TO METER CENTER PROVIDED AND INSTALLED BY UTILITY. E.C. TO PROVIDE (2) 3" CONDUITS. COORDINATE TRENCHING AND CONDUIT REQUIREMENTS; OWNER SHALL PAY ALL FEES.
- #1/0 CU. GND TO GROUNDING ELECTRODE SYSTEM, SEE 1/E0.1.
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- 3#2/0 (AL), #2 GND (AL) TYPE SER SERVICE ENTRANCE CABLE (TYPICAL FOR 125A PANELS) PER NEC 310.15(B)(7).

MC#8 SERVICE DEMAND			
UNIT TYPE	KVA CONN. PER PANEL	# OF PANELS	TOTAL KVA PER PANEL TYPE
U2	33.8	2	67.6
U3	34.6	4	138.4
RESIDENTIAL CONNECTED KVA			206.0
DEMAND FACTOR (NEC 220-84)			0.44
RESIDENTIAL DEMAND KVA			90.6
TOTAL DEMAND KVA			90.6
AMPS AT 240V, 1PH.			377.5

E.C. TO FIELD VERIFY ALL EXISTING CONDITIONS AND LOCATIONS OF EQUIPMENT PRIOR TO BIDDING WORK.



**3 ELECTRICAL RISER DIAGRAM - BUILDING 7**  
NTS

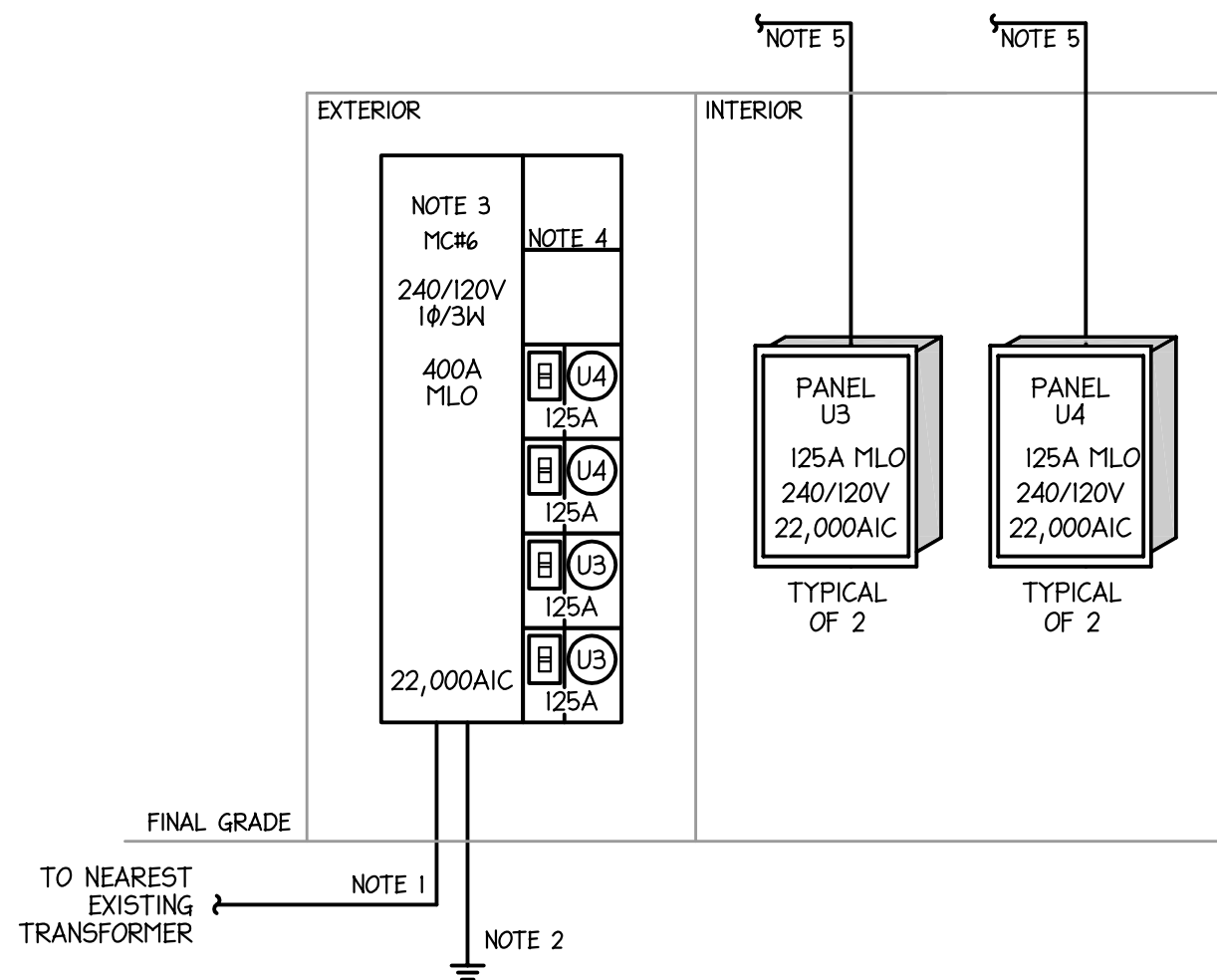
**RISER DIAGRAM NOTES:**

PROVIDE LABEL ON SERVICE EQUIPMENT PER 110.24(A) AND 110.22(A).

- SERVICE LATERAL CONDUCTORS TO METER CENTER PROVIDED AND INSTALLED BY UTILITY. E.C. TO PROVIDE (2) 3" CONDUITS. COORDINATE TRENCHING AND CONDUIT REQUIREMENTS; OWNER SHALL PAY ALL FEES.
- #2 CU. GND TO GROUNDING ELECTRODE SYSTEM, SEE 1/E0.1.
- METER CENTER PROVIDED AND INSTALLED BY ELECTRICAL CONTRACTOR. METER CENTERS SHALL BE EQUAL TO SIEMENS POWER-MOD SERIES WITH 800A CROSS BUS. METERS PROVIDED AND INSTALLED BY POWER CO. COORDINATE REQUIREMENTS WITH POWER CO.
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- 3#2/0 (AL), #2 GND (AL) TYPE SER SERVICE ENTRANCE CABLE (TYPICAL FOR 125A PANELS) PER NEC 310.15(B)(7).

MC#7 SERVICE DEMAND			
UNIT TYPE	KVA CONN. PER PANEL	# OF PANELS	TOTAL KVA PER PANEL TYPE
U4	42.1	3	126.3
RESIDENTIAL CONNECTED KVA			126.3
DEMAND FACTOR (NEC 220-85)			0.45
RESIDENTIAL DEMAND KVA			56.8
TOTAL DEMAND KVA			56.8
AMPS AT 240V, 1PH.			236.7

E.C. TO FIELD VERIFY ALL EXISTING CONDITIONS AND LOCATIONS OF EQUIPMENT PRIOR TO BIDDING WORK.



**2 ELECTRICAL RISER DIAGRAM - BUILDING 6**  
NTS

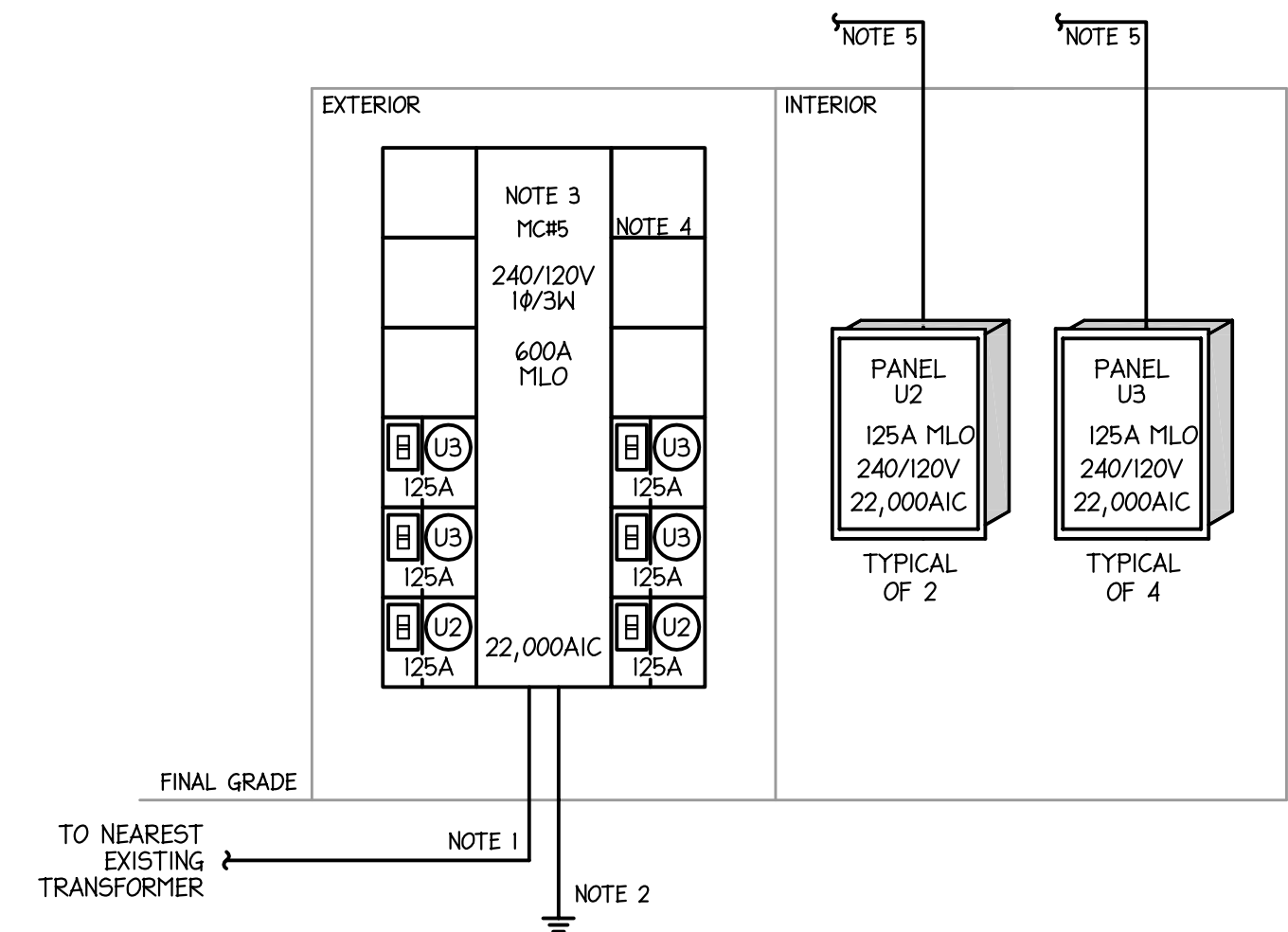
**RISER DIAGRAM NOTES:**

PROVIDE LABEL ON SERVICE EQUIPMENT PER 110.24(A) AND 110.22(A).

- SERVICE LATERAL CONDUCTORS TO METER CENTER PROVIDED AND INSTALLED BY UTILITY. E.C. TO PROVIDE (2) 3" CONDUITS. COORDINATE TRENCHING AND CONDUIT REQUIREMENTS; OWNER SHALL PAY ALL FEES.
- #2 CU. GND TO GROUNDING ELECTRODE SYSTEM, SEE 1/E0.1.
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- 3#2/0 (AL), #2 GND (AL) TYPE SER SERVICE ENTRANCE CABLE (TYPICAL FOR 125A PANELS) PER NEC 310.15(B)(7).

MC#6 SERVICE DEMAND			
UNIT TYPE	KVA CONN. PER PANEL	# OF PANELS	TOTAL KVA PER PANEL TYPE
U3	34.6	2	69.2
U4	42.1	2	84.2
RESIDENTIAL CONNECTED KVA			153.4
DEMAND FACTOR (NEC 220-84)			0.45
RESIDENTIAL DEMAND KVA			69.0
TOTAL DEMAND KVA			69.0
AMPS AT 240V, 1PH.			287.5

E.C. TO FIELD VERIFY ALL EXISTING CONDITIONS AND LOCATIONS OF EQUIPMENT PRIOR TO BIDDING WORK.



**1 ELECTRICAL RISER DIAGRAM - BUILDING 5**  
NTS

**RISER DIAGRAM NOTES:**

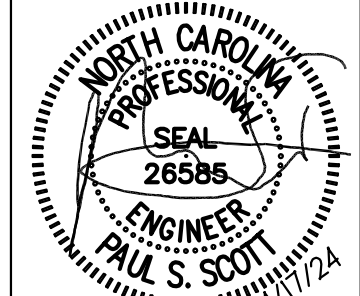
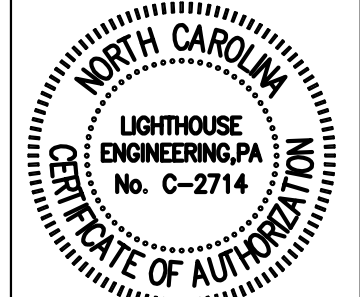
PROVIDE LABEL ON SERVICE EQUIPMENT PER 110.24(A) AND 110.22(A).

- SERVICE LATERAL CONDUCTORS TO METER CENTER PROVIDED AND INSTALLED BY UTILITY. E.C. TO PROVIDE (2) 3" CONDUITS. COORDINATE TRENCHING AND CONDUIT REQUIREMENTS; OWNER SHALL PAY ALL FEES.
- #1/0 CU. GND TO GROUNDING ELECTRODE SYSTEM, SEE 1/E0.1.
- METER CENTER PROVIDED AND INSTALLED BY ELECTRICAL CONTRACTOR. METER CENTERS SHALL BE EQUAL TO SIEMENS POWER-MOD SERIES WITH 800A CROSS BUS. METERS PROVIDED AND INSTALLED BY POWER CO. COORDINATE REQUIREMENTS WITH POWER CO.
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- 3#2/0 (AL), #2 GND (AL) TYPE SER SERVICE ENTRANCE CABLE (TYPICAL FOR 125A PANELS) PER NEC 310.15(B)(7).

MC#5 SERVICE DEMAND			
UNIT TYPE	KVA CONN. PER PANEL	# OF PANELS	TOTAL KVA PER PANEL TYPE
U2	33.8	2	67.6
U3	34.6	4	138.4
RESIDENTIAL CONNECTED KVA			206.0
DEMAND FACTOR (NEC 220-84)			0.44
RESIDENTIAL DEMAND KVA			90.6
TOTAL DEMAND KVA			90.6
AMPS AT 240V, 1PH.			377.5

E.C. TO FIELD VERIFY ALL EXISTING CONDITIONS AND LOCATIONS OF EQUIPMENT PRIOR TO BIDDING WORK.

REVISIONS



**Stogner Architecture, PA**  
ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
615 East Broad Avenue, Rockingham, North Carolina, 28379  
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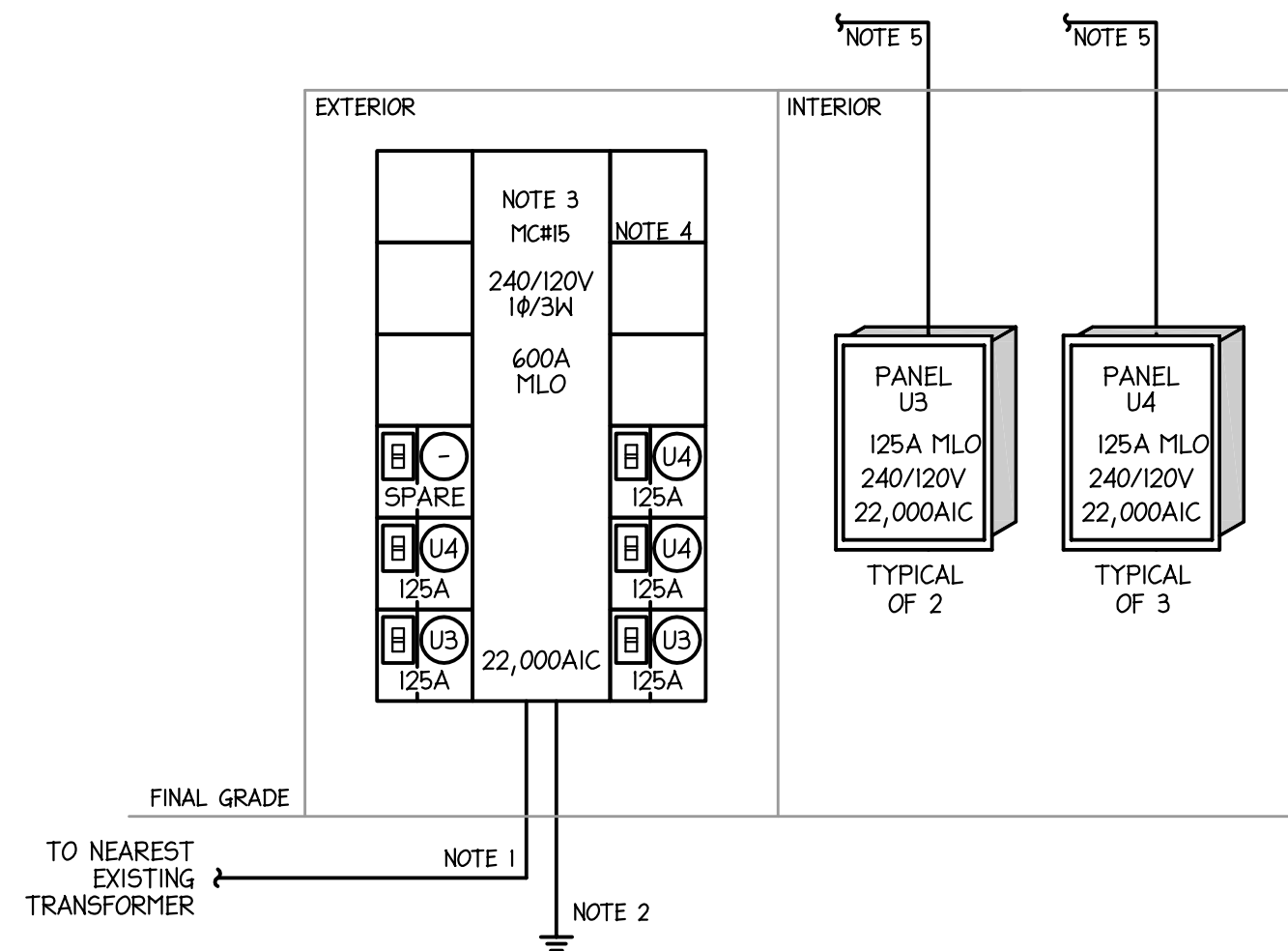
**Housing Authority of the City of Goldsboro**  
RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

ELECTRICAL BUILDING RISER DIAGRAMS

COMM. NO.: 6041-B  
DRAWN BY: TGW  
CHECKED BY: PSS  
DATE: APR. 2, 2024  
SHEET NO.

E14.1

REVISIONS TO ELECTRICAL BUILDING RISER DIAGRAMS APR 17, 2024 5:43pm

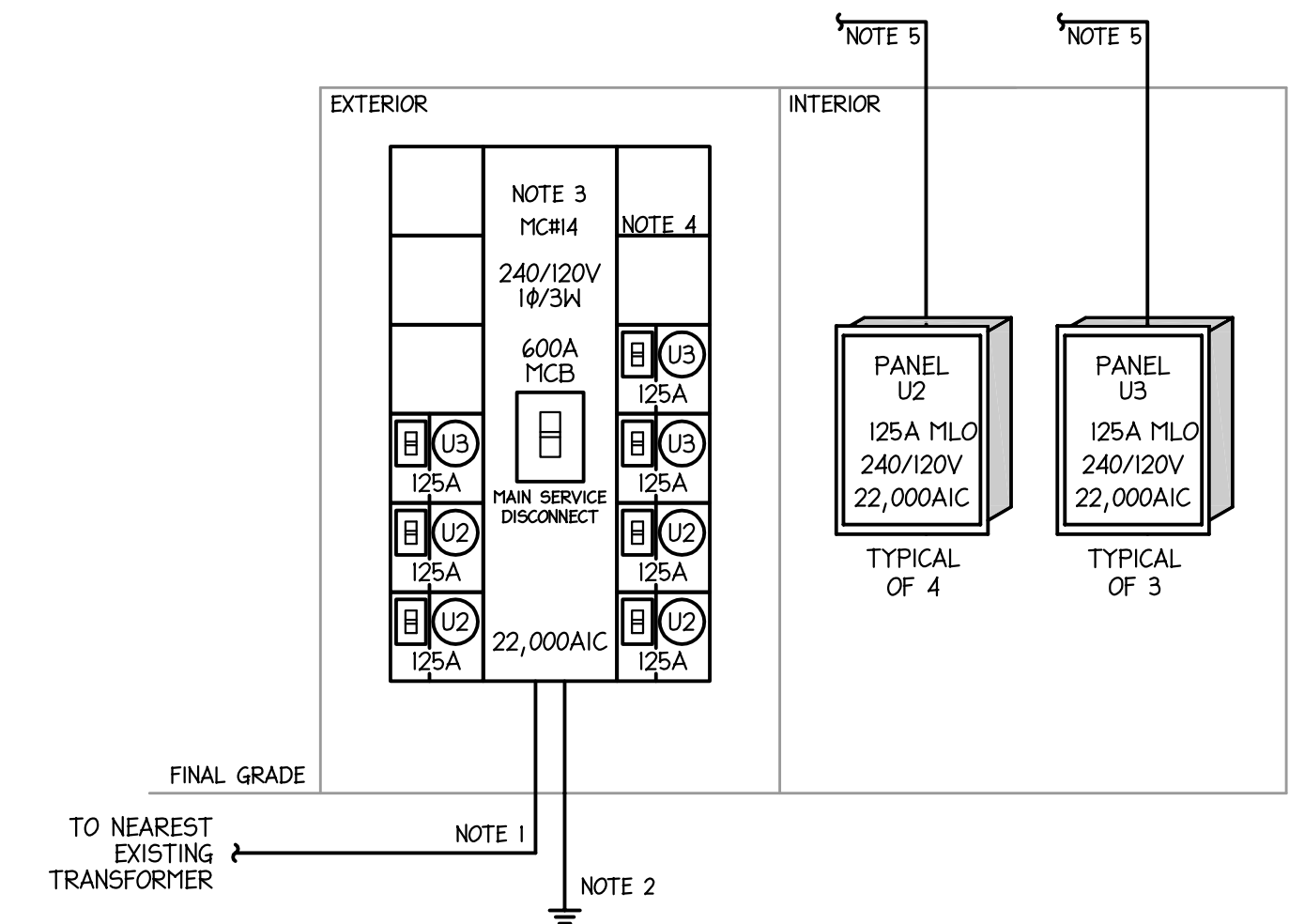


**3 ELECTRICAL RISER DIAGRAM - BUILDING 15**  
NTS

- RISER DIAGRAM NOTES:**
- PROVIDE LABEL ON SERVICE EQUIPMENT PER 110.24(A) AND 110.22(A).
- SERVICE LATERAL CONDUCTORS TO METER CENTER PROVIDED AND INSTALLED BY UTILITY. E.C. TO PROVIDE (2) 3" CONDUITS. COORDINATE TRENCHING AND CONDUIT REQUIREMENTS; OWNER SHALL PAY ALL FEES.
  - #1/0 CU. GND TO GROUNDING ELECTRODE SYSTEM, SEE 1/E0.1.
  - METER CENTER PROVIDED AND INSTALLED BY ELECTRICAL CONTRACTOR. METER CENTERS SHALL BE EQUAL TO SIEMENS POWER-MOD SERIES WITH 800A CROSS BUS. METERS PROVIDED AND INSTALLED BY POWER CO. COORDINATE REQUIREMENTS WITH POWER CO.
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  - 3#2/0 (AL), #2 GND (AL) TYPE SER SERVICE ENTRANCE CABLE (TYPICAL FOR 125A PANELS) PER NEC 310.15(B)(7).

MC#15 SERVICE DEMAND			
UNIT TYPE	KVA CONN. PER PANEL	# OF PANELS	TOTAL KVA PER PANEL TYPE
U3	34.6	2	69.2
U4	42.1	3	126.3
RESIDENTIAL CONNECTED KVA			195.5
DEMAND FACTOR (NEC 220-84)			0.45
RESIDENTIAL DEMAND KVA			88.0
TOTAL DEMAND KVA			88.0
AMPS AT 240V, 1PH.			366.7

E.C. TO FIELD VERIFY ALL EXISTING CONDITIONS AND LOCATIONS OF EQUIPMENT PRIOR TO BIDDING WORK.

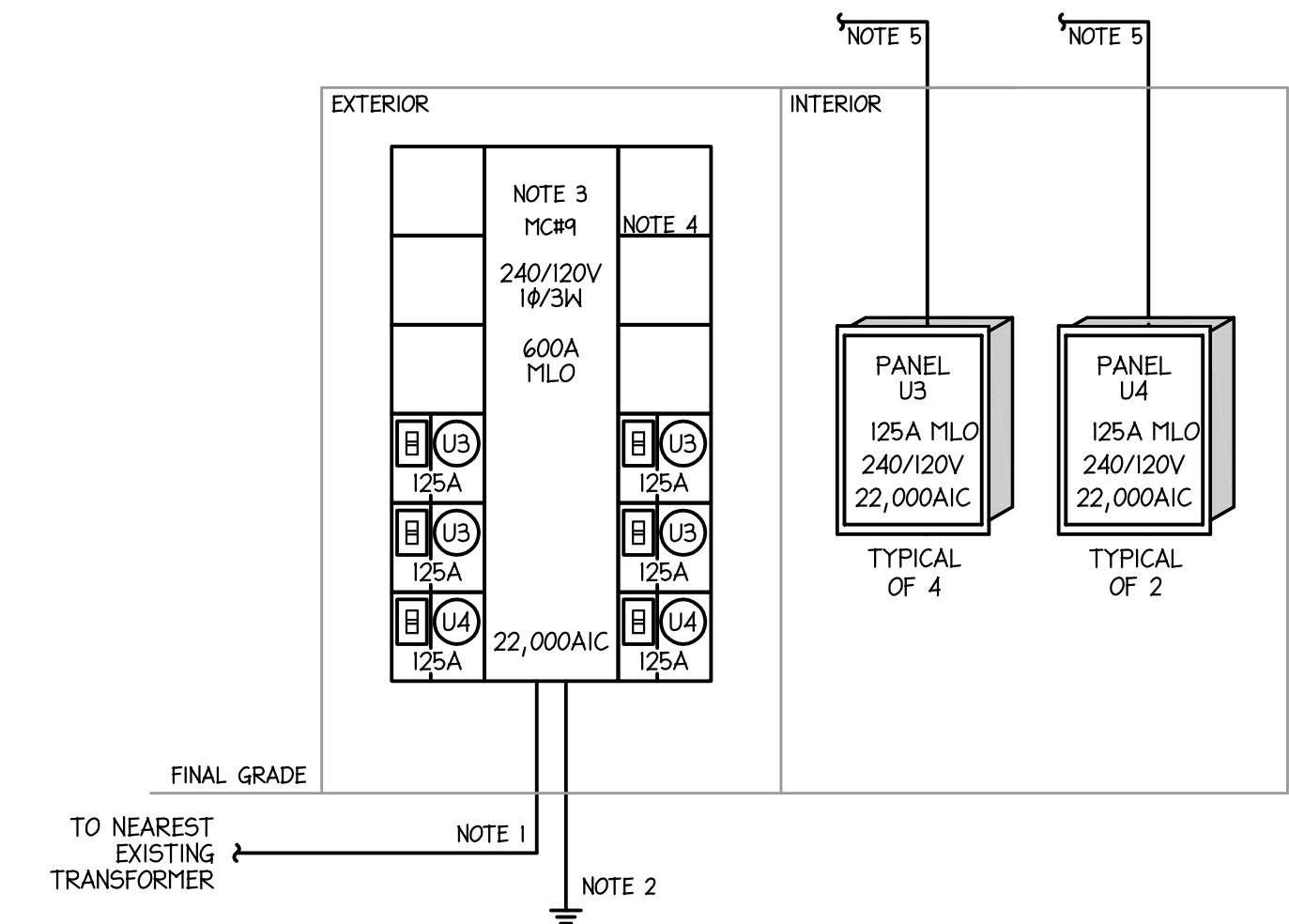


**2 ELECTRICAL RISER DIAGRAM - BUILDING 14**  
NTS

- RISER DIAGRAM NOTES:**
- PROVIDE LABEL ON SERVICE EQUIPMENT PER 110.24(A) AND 110.22(A).
- SERVICE LATERAL CONDUCTORS TO METER CENTER PROVIDED AND INSTALLED BY UTILITY. E.C. TO PROVIDE (2) 3" CONDUITS. COORDINATE TRENCHING AND CONDUIT REQUIREMENTS; OWNER SHALL PAY ALL FEES.
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  - METER CENTER PROVIDED AND INSTALLED BY ELECTRICAL CONTRACTOR. METER CENTERS SHALL BE EQUAL TO SIEMENS POWER-MOD SERIES WITH 800A CROSS BUS. METERS PROVIDED AND INSTALLED BY POWER CO. COORDINATE REQUIREMENTS WITH POWER CO.
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  - 3#2/0 (AL), #2 GND (AL) TYPE SER SERVICE ENTRANCE CABLE (TYPICAL FOR 125A PANELS) PER NEC 310.15(B)(7).

MC#14 SERVICE DEMAND			
UNIT TYPE	KVA CONN. PER PANEL	# OF PANELS	TOTAL KVA PER PANEL TYPE
U2	33.8	4	135.2
U3	34.6	3	103.8
RESIDENTIAL CONNECTED KVA			239.0
DEMAND FACTOR (NEC 220-84)			0.44
RESIDENTIAL DEMAND KVA			105.2
TOTAL DEMAND KVA			105.2
AMPS AT 240V, 1PH.			438.3

E.C. TO FIELD VERIFY ALL EXISTING CONDITIONS AND LOCATIONS OF EQUIPMENT PRIOR TO BIDDING WORK.



**1 ELECTRICAL RISER DIAGRAM - BUILDING 9**  
NTS

- RISER DIAGRAM NOTES:**
- PROVIDE LABEL ON SERVICE EQUIPMENT PER 110.24(A) AND 110.22(A).
- SERVICE LATERAL CONDUCTORS TO METER CENTER PROVIDED AND INSTALLED BY UTILITY. E.C. TO PROVIDE (2) 3" CONDUITS. COORDINATE TRENCHING AND CONDUIT REQUIREMENTS; OWNER SHALL PAY ALL FEES.
  - #1/0 CU. GND TO GROUNDING ELECTRODE SYSTEM, SEE 1/E0.1.
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  - 3#2/0 (AL), #2 GND (AL) TYPE SER SERVICE ENTRANCE CABLE (TYPICAL FOR 125A PANELS) PER NEC 310.15(B)(7).

MC#9 SERVICE DEMAND			
UNIT TYPE	KVA CONN. PER PANEL	# OF PANELS	TOTAL KVA PER PANEL TYPE
U3	34.6	4	138.4
U4	42.1	2	84.2
RESIDENTIAL CONNECTED KVA			222.6
DEMAND FACTOR (NEC 220-84)			0.44
RESIDENTIAL DEMAND KVA			97.9
TOTAL DEMAND KVA			97.9
AMPS AT 240V, 1PH.			407.9

E.C. TO FIELD VERIFY ALL EXISTING CONDITIONS AND LOCATIONS OF EQUIPMENT PRIOR TO BIDDING WORK.

REVISIONS

**Stogner Architecture, PA**  
ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
615 East Broad Avenue, Rockingham, North Carolina, 28379  
Phone 910-895-6874 Fax 910-895-1111

**Housing Authority of the City of Goldsboro**  
RENOVATIONS - FAIRVIEW APARTMENTS  
NC 15-1 FAIRVIEW CIRCLE  
GOLDSBORO, NORTH CAROLINA

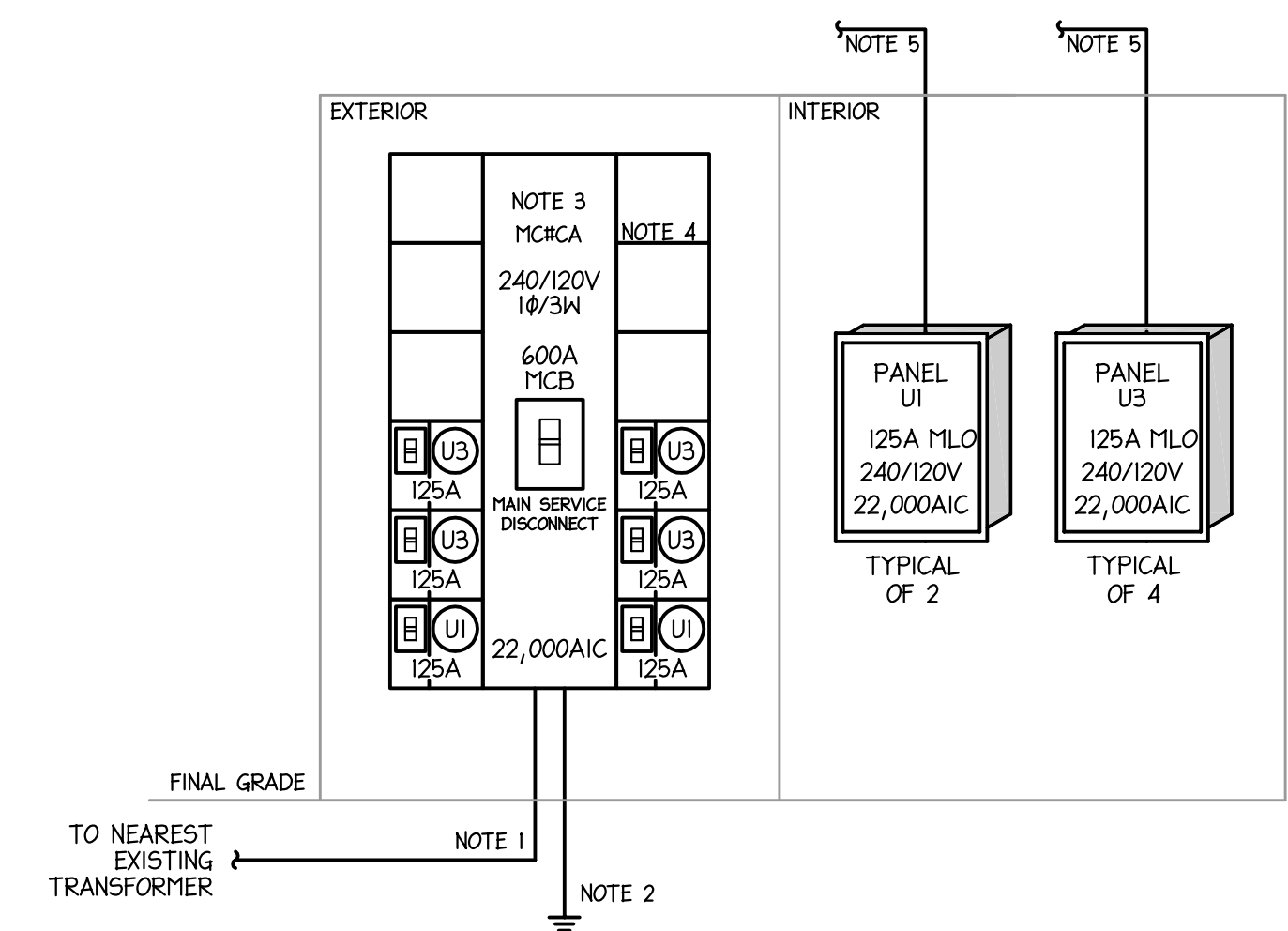
ELECTRICAL BUILDING RISER DIAGRAMS

COMM. NO.: 6041-B  
DRAWN BY: TGW  
CHECKED BY: PSS  
DATE: APR. 2, 2024  
SHEET NO.

E14.2

REVISIONS TO ELECTRICAL BUILDING RISER DIAGRAMS APR 17, 2024 5:48pm



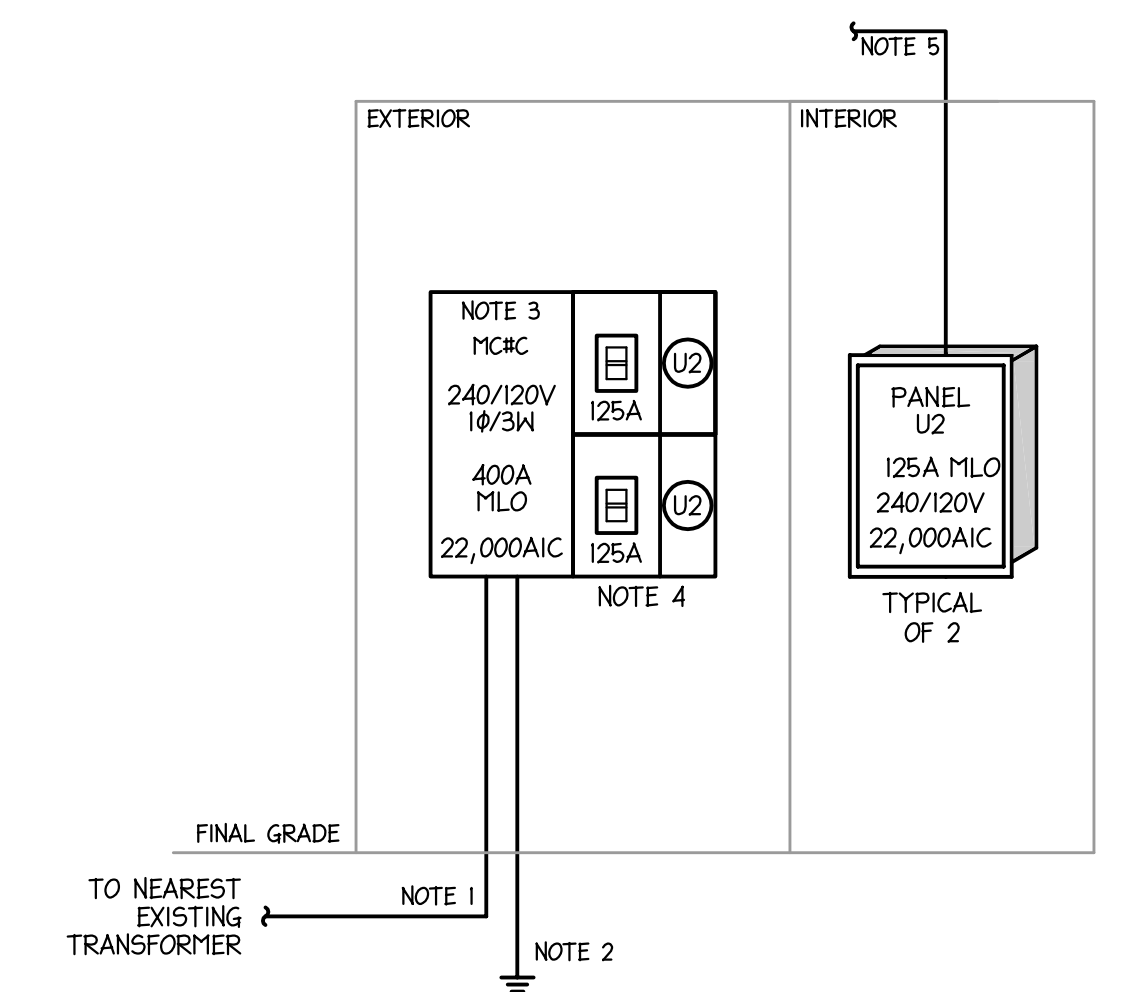


**2 ELECTRICAL RISER DIAGRAM - BUILDING C-A**  
NTS

- RISER DIAGRAM NOTES:**
- PROVIDE LABEL ON SERVICE EQUIPMENT PER 110.24(A) AND 110.22(A).
- SERVICE LATERAL CONDUCTORS TO METER CENTER PROVIDED AND INSTALLED BY UTILITY. E.C. TO PROVIDE (2) 3" CONDUITS. COORDINATE TRENCHING AND CONDUIT REQUIREMENTS; OWNER SHALL PAY ALL FEES.
  - #1/0 CU. GND TO GROUNDING ELECTRODE SYSTEM, SEE 1/E0.1.
  - METER CENTER PROVIDED AND INSTALLED BY ELECTRICAL CONTRACTOR. METER CENTERS SHALL BE EQUAL TO SIEMENS POWER-MOD SERIES WITH 800A CROSS BUS. METERS PROVIDED AND INSTALLED BY POWER CO. COORDINATE REQUIREMENTS WITH POWER CO.
  - 2 POLE CIRCUIT BREAKER IN NEMA 3R ENCLOSURE, UL LISTED FOR SERVICE ENTRANCE EQUIPMENT. TYPICAL FOR ALL UNIT PANELS. AIC RATING OF FEEDER CIRCUIT BREAKERS SHALL BE AS INDICATED. RESIDENTIAL UNIT BRANCH CIRCUIT BREAKERS MAY BE SERIES RATED WITH FEEDER BREAKERS. PROVIDE NEW PHENOLIC ENGRAVED NAMEPLATE AT EACH METER IDENTIFYING APARTMENT NUMBER.
  - 3#2/0 (AL), #2 GND (AL) TYPE SER SERVICE ENTRANCE CABLE (TYPICAL FOR 125A PANELS) PER NEC 310.15(B)(7).

MC#CA SERVICE DEMAND			
UNIT TYPE	KVA CONN. PER PANEL	# OF PANELS	TOTAL KVA PER PANEL TYPE
UI	32.8	2	65.6
U3	34.6	4	138.4
RESIDENTIAL CONNECTED KVA			204.0
DEMAND FACTOR (NEC 220-84)			0.44
RESIDENTIAL DEMAND KVA			90.0
TOTAL DEMAND KVA			90.0
AMPS AT 240V, 1PH.			375.0

E.C. TO FIELD VERIFY ALL EXISTING CONDITIONS AND LOCATIONS OF EQUIPMENT PRIOR TO BIDDING WORK.



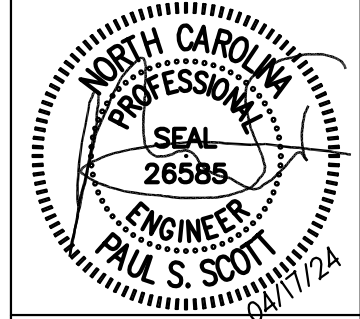
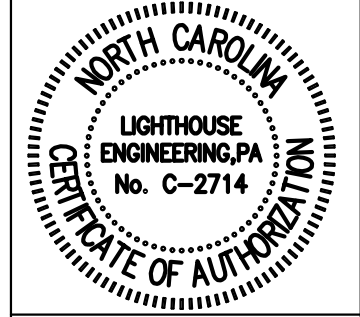
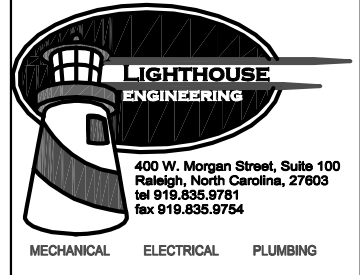
**1 ELECTRICAL RISER DIAGRAM - BUILDING C**  
NTS

- RISER DIAGRAM NOTES:**
- PROVIDE LABEL ON SERVICE EQUIPMENT PER 110.24(A) AND 110.22(A).
- SERVICE LATERAL CONDUCTORS TO METER CENTER PROVIDED AND INSTALLED BY UTILITY. E.C. TO PROVIDE (2) 3" CONDUITS. COORDINATE TRENCHING AND CONDUIT REQUIREMENTS; OWNER SHALL PAY ALL FEES.
  - #2 CU. GND TO GROUNDING ELECTRODE SYSTEM, SEE 1/E0.1.
  - METER CENTER PROVIDED AND INSTALLED BY ELECTRICAL CONTRACTOR. METER CENTERS SHALL BE EQUAL TO SIEMENS POWER-MOD SERIES WITH 800A CROSS BUS. METERS PROVIDED AND INSTALLED BY POWER CO. COORDINATE REQUIREMENTS WITH POWER CO.
  - 2 POLE CIRCUIT BREAKER IN NEMA 3R ENCLOSURE, UL LISTED FOR SERVICE ENTRANCE EQUIPMENT. TYPICAL FOR ALL UNIT PANELS. AIC RATING OF FEEDER CIRCUIT BREAKERS SHALL BE AS INDICATED. RESIDENTIAL UNIT BRANCH CIRCUIT BREAKERS MAY BE SERIES RATED WITH FEEDER BREAKERS. PROVIDE NEW PHENOLIC ENGRAVED NAMEPLATE AT EACH METER IDENTIFYING APARTMENT NUMBER.
  - 3#2/0 (AL), #2 GND (AL) TYPE SER SERVICE ENTRANCE CABLE (TYPICAL FOR 125A PANELS) PER NEC 310.15(B)(7).

MC#C SERVICE DEMAND			
UNIT TYPE	KVA CONN. PER PANEL	# OF PANELS	TOTAL KVA PER PANEL TYPE
U2	33.8	3	101.4
RESIDENTIAL CONNECTED KVA			101.4
DEMAND FACTOR (NEC 220-85)			0.45
RESIDENTIAL DEMAND KVA			45.6
TOTAL DEMAND KVA			45.6
AMPS AT 240V, 1PH.			190.0

E.C. TO FIELD VERIFY ALL EXISTING CONDITIONS AND LOCATIONS OF EQUIPMENT PRIOR TO BIDDING WORK.

REVISIONS



**Stogner Architecture, PA**  
ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD  
615 East Broad Avenue, Rockingham, North Carolina, 28379  
Phone 910-895-6874 Fax 910-895-1111

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