

**GENERAL NOTES REGARDING SANDFORD TRAIN DEPOT RESTORATION:**

**SITE:**

- FOR THE PURPOSES OF THIS PROJECT THE CONSTRUCTION SITE SHALL BE DEFINED BY A LINE OFFSET 20 FEET FROM THE SOUTH WALL OF THE DEPOT BUILDING WHICH WILL EXTEND FROM ITS INTERSECTION WITH THE ACCESS ROAD ON THE WEST AND EXTEND EAST TO A POINT 20 FEET BEYOND THE EAST WALL OF THE BUILDING. THE BOUNDARY WILL TURN NORTH AND EXTEND TO A POINT 20 FEET BEYOND THE NORTH WALL OF THE BUILDING. THE BOUNDARY TURNS WEST AT THIS POINT FOR 25 FEET WHERE IT WILL JOIN AND INCLUDE THE PARKING AREA ON THE NORTH SIDE OF THE BUILDING. THE WESTERN EDGE WILL FOLLOW THE ACCESS ROAD CURB. THIS IS SHOWN ON THE SITE PLAN ON THIS SHEET.
- THE SITE IS TO BE SECURED BY A RIGID 6-FOOT-HIGH FENCED ENCLOSURE THAT WILL FOLLOW THE LINE DESCRIBED IN 1. ABOVE. PROVIDE GATES AS NEEDED.
- UPON COMPLETION OF THE PROJECT ALL FENCING SHALL BE REMOVED AND THE SITE RESTORED TO ITS PREVIOUS "AS WAS" CONDITION. THIS MAY INCLUDE REPLACEMENT OF VEGETATION, CURB AND GUTTER, AND SIDEWALK SURFACES AND PAVING.

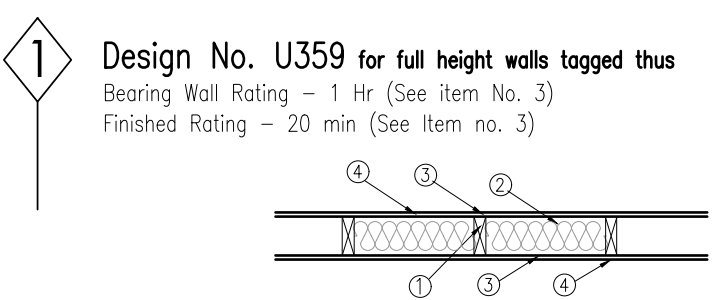
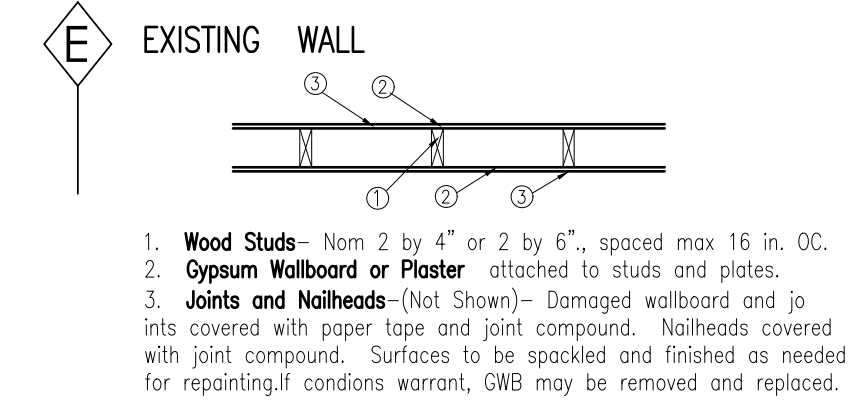
**EXTERIOR:**

- THE DEPOT BUILDING IS LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES. THE OWNER CONSIDERS THIS CONSTRUCTION CONTRACT TO BE A RESTORATION AND PRESERVATION PROJECT. AS SUCH, ALL EXISTING MATERIALS WILL BE TREATED ACCORDINGLY, UNLESS NOTED OTHERWISE.
- ANY ORIGINAL MATERIALS THAT REQUIRE REMOVAL FOR THEIR REPAIR SHALL BE STORED IN A SECURE, CLEAN AND DRY LOCATION.
- UNLESS AUTHORIZED OTHERWISE BY THE ARCHITECT, ALL REPLACEMENT MATERIALS SHALL BE THE SAME AS EXISTING.
- ALL LOOSE FACE BRICKS SHALL BE SAVED FOR REUSE.
- THE ROOF IS AN EXCEPTION TO THIS RULE SINCE IT IS TO BE COMPLETELY REMOVED DOWN TO THE SHEATHING AND REPLACED WITH NEW ROOF TILES. REFER TO THE ROOF PLAN FOR THIS ITEM.
- GUTTERS AND DOWNSPOUTS SHALL BE REPLACED WITH 6" HALF-ROUND COPPER GUTTERS IN THE SAME CONFIGURATION AS EXISTING. ALL SUBSURFACE DRAINAGE SHALL BE INSPECTED AND CLEANED OR REPAIRED AS NEEDED.
- ALL EXPOSED WOOD SHALL BE REPAINTED. ANY NEW WOOD SHALL BE PRIMED AND PAINTED WITH 2 COATS OF FINISH PAINT. FINAL PAINTING SHALL BE IN THE SAME COLOR PALETTE AS EXISTING.
- WINDOWS AND DOORS SHALL BE REMOVED WITHOUT DAMAGING THE EXISTING MASONRY OPENINGS. SEE STRUCTURAL FOR WORK THAT WILL OCCUR AT THE HEADS AND JAMBS OF ALL OPENINGS.

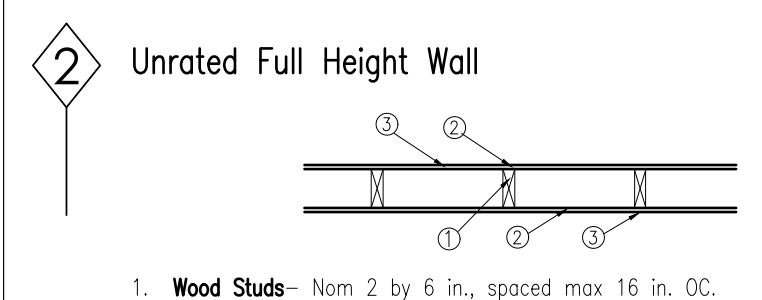
**GENERAL NOTES 2:**

**INTERIOR:**

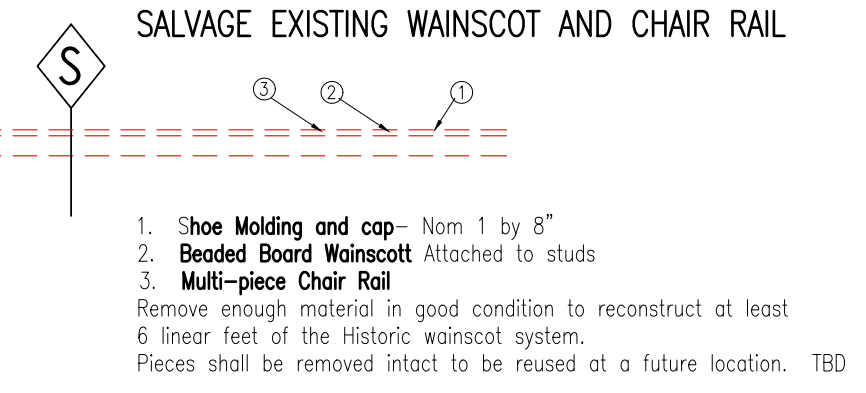
- THERE ARE MATERIALS ON THE INTERIOR THAT CONTAIN FRIABLE ASBESTOS. (REFER TO THE REPORT FROM JANEZIC BUILDING GROUP, LLC, INCLUDED WITH THE PROJECT DOCUMENTS.) PRIOR TO PERFORMING ANY DEMOLITION OR INTERIOR MODIFICATIONS, THE CONTRACTOR SHALL ABATE AND REMOVE ALL CONTAMINATED MATERIALS. ASBESTOS IS GENERALLY LOCATED IN THE REMAINING CEILING LEVEL PLASTER, THE GWB SKIM COATING, AND THE FLOOR COVERINGS. IT WILL BE THE CONTRACTOR'S OPTION, BUT IT MAY BE MOST EFFICIENT TO ENCAPSULATE THE ENTIRE BUILDING FOR THIS WORK. ANY REMOVAL OF ASBESTOS BEARING MATERIALS SHALL BE PERFORMED BY A LICENSED ABATEMENT SPECIALIST.
- ALL WINDOWS AND EXTERIOR DOORS ARE TO BE REMOVED AND REPLACED. WHEN REMOVED ALL JAMBS OPENINGS SHALL BE INSPECTED AND REINFORCED AS DESCRIBED ON THE STRUCTURAL DRAWINGS.
- ALL FLOOR JOISTS SHALL BE REPAIRED AT THE PERIMETER OF THE BUILDING. REMOVAL OF FLOORING AROUND THE PERIMETER WILL ALLOW ACCESS TO THE JOIST TAILS TO DO THE WORK SHOWN ON STRUCTURAL DRAWINGS.
- EXISTING MECHANICAL EQUIPMENT AND DUCTWORK SHALL BE REMOVED.
- EXISTING LIGHT FIXTURES SHALL BE REMOVED.



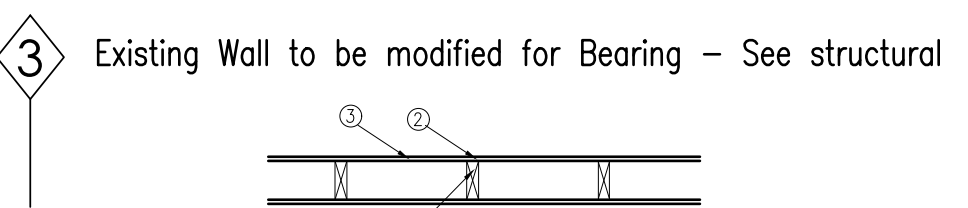
- Wood Studs - Nom 2 by 6 in., spaced max 16 in. OC.
- Batts and Blankets - Placed to completely or partially fill the stud cavities, any glass fiber or mineral wool insulation bearing the UL Classification marking as to Surface Burning Characteristics and/or Fire Resistance. See Batts and Blanket (BKNV or BZJZ) categories for names of Classified companies.
- Wallboard, Gypsum - Applied either horizontally or vertically. Vertical joints centered over studs. When used in widths other than 48 in., wallboard is to be installed horizontally. For the 1 Hr Rating and the 20 min Finished Rating, nom 5/8 in. thick wallboard attached to studs and plates with 6d cement coated nails (1-7/8 in. long) spaced 7 in. OC or with 1-7/8 in. long type S screws spaced 7 in. OC.
- United States Gypsum Co. - Type FRX
- Joints and Nailheads - (Not Shown) - Wallboard joints covered with paper tape and joint compound. Nailheads covered with joint compound.



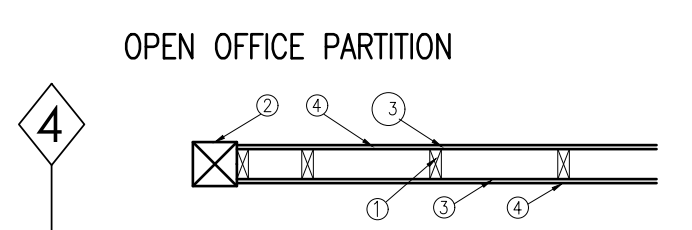
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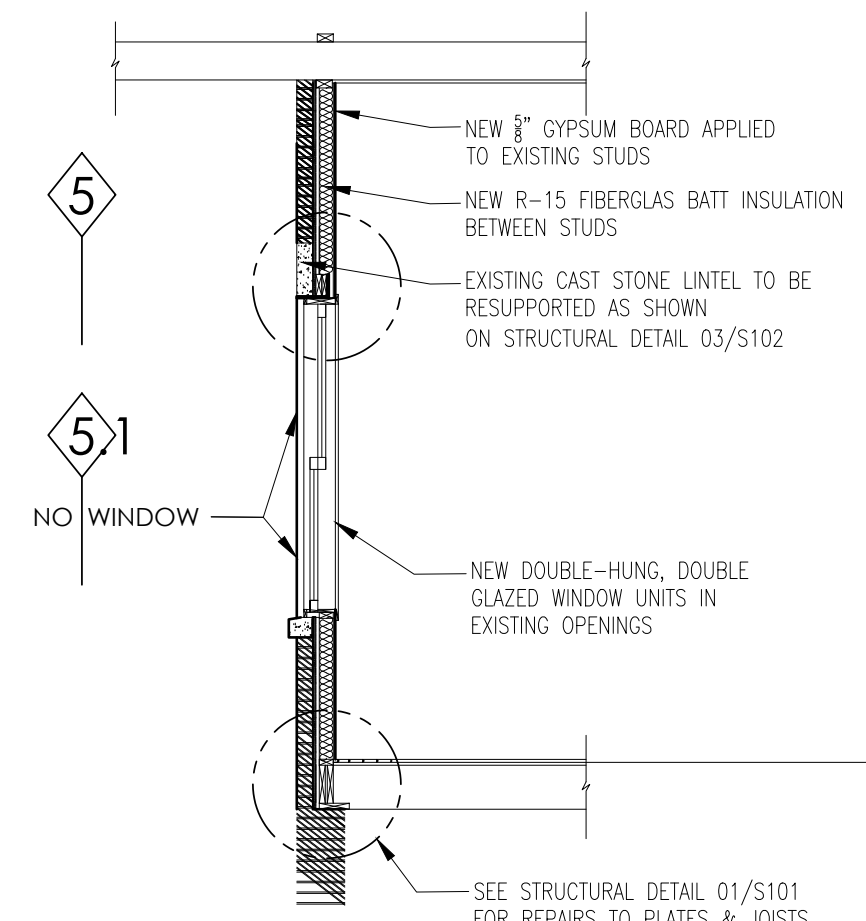
- Shoe Molding and cap - Nom 1 by 8"
  - Beaded Board Wainscoting Attached to studs
  - Multi-piece Chair Rail
- Remove enough material in good condition to reconstruct at least 6 linear feet of the Historic wainscot system.  
Pieces shall be removed intact to be reused at a future location. TBD



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- Wood Studs - Nom 2 by 4 in., spaced max 16 in. OC.
- Structural end support - \*\*USE ONLY WHERE THERE IS NO AVAILABLE PERPENDICULAR CORNERS\*\* - #1 & Slatex SYP 6" x 8" from floor plate to structure above
- Wallboard, Gypsum - Applied either horizontally or vertically. Vertical joints centered over studs. When used in widths other than 48 in., wallboard is to be installed horizontally. Nom. 5/8 in. thick wallboard attached to studs and plates with 6d cement coated nails (1-7/8 in. long) spaced 7 in. OC or with 1-7/8 in. long type S screws spaced 7 in. OC.
- United States Gypsum Co. - Type FRX
- Joints and Nailheads - (Not Shown) - Wallboard joints covered with paper tape and joint compound. Nailheads covered with joint compound.
- Hardwood cap - Edges and corners to be eased by sanding or router.



TRAUB ARCHITECTURE + DESIGN, INC.  
4890 Thomas Road  
Henderson, NC 27537  
(919) 271-6098 (mobile)  
jeny@traubarchitecture.com

TRAUB ARCHITECTURE + DESIGN, INC.  
REGISTERED ARCHITECT  
A 3488  
HENDERSON, NC

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**SANFORD TRAIN DEPOT RESTORATION**  
106 Charlotte Ave, Sanford, NC 27330  
CITY of SANFORD, NORTH CAROLINA

REVISIONS


DATE  
**06/05/2024**

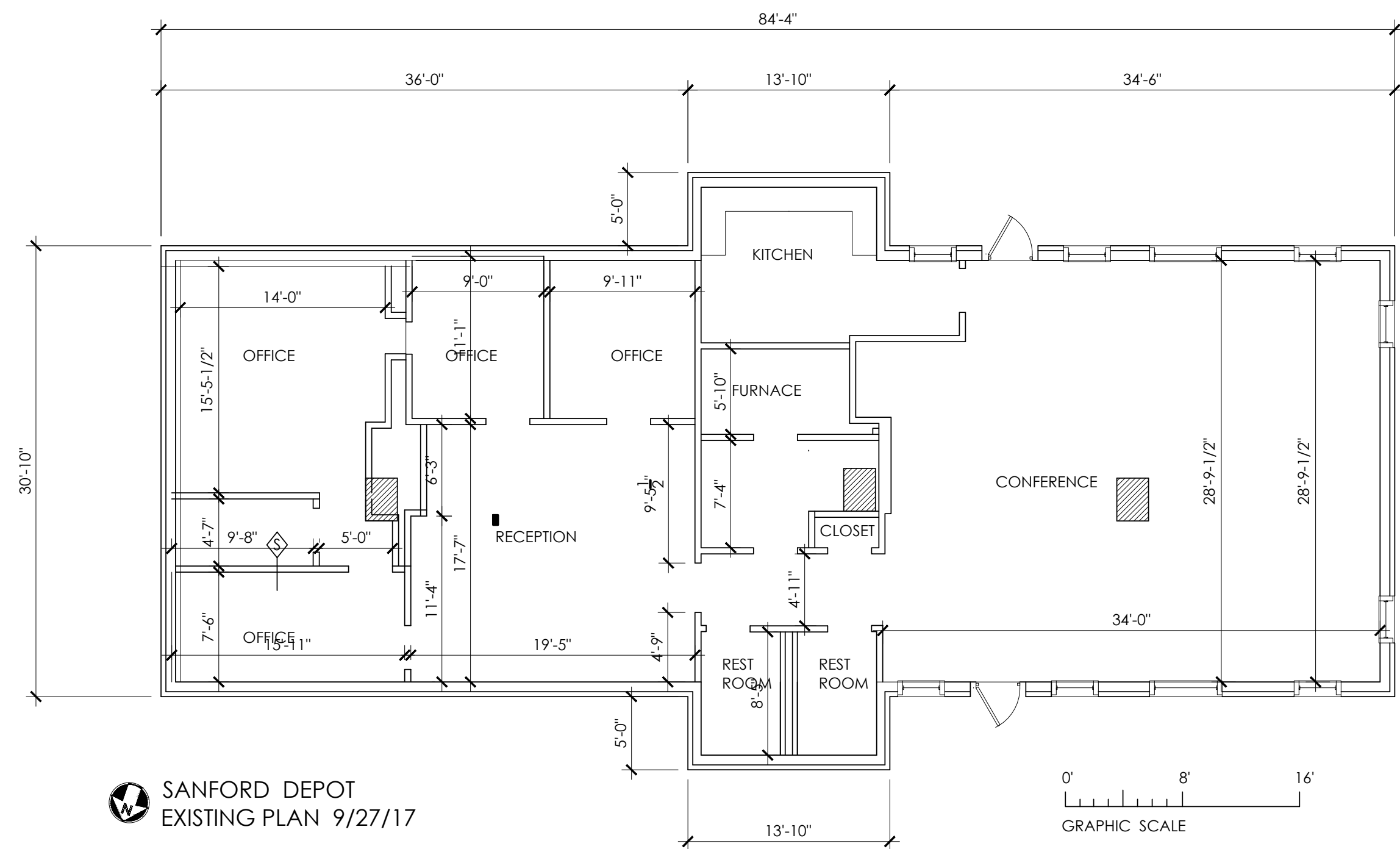
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**GPT**

PROJECT NO.  
**2023-01**

SHEET TITLE  
**GENERAL NOTES  
SITE &  
WALL TAGS**

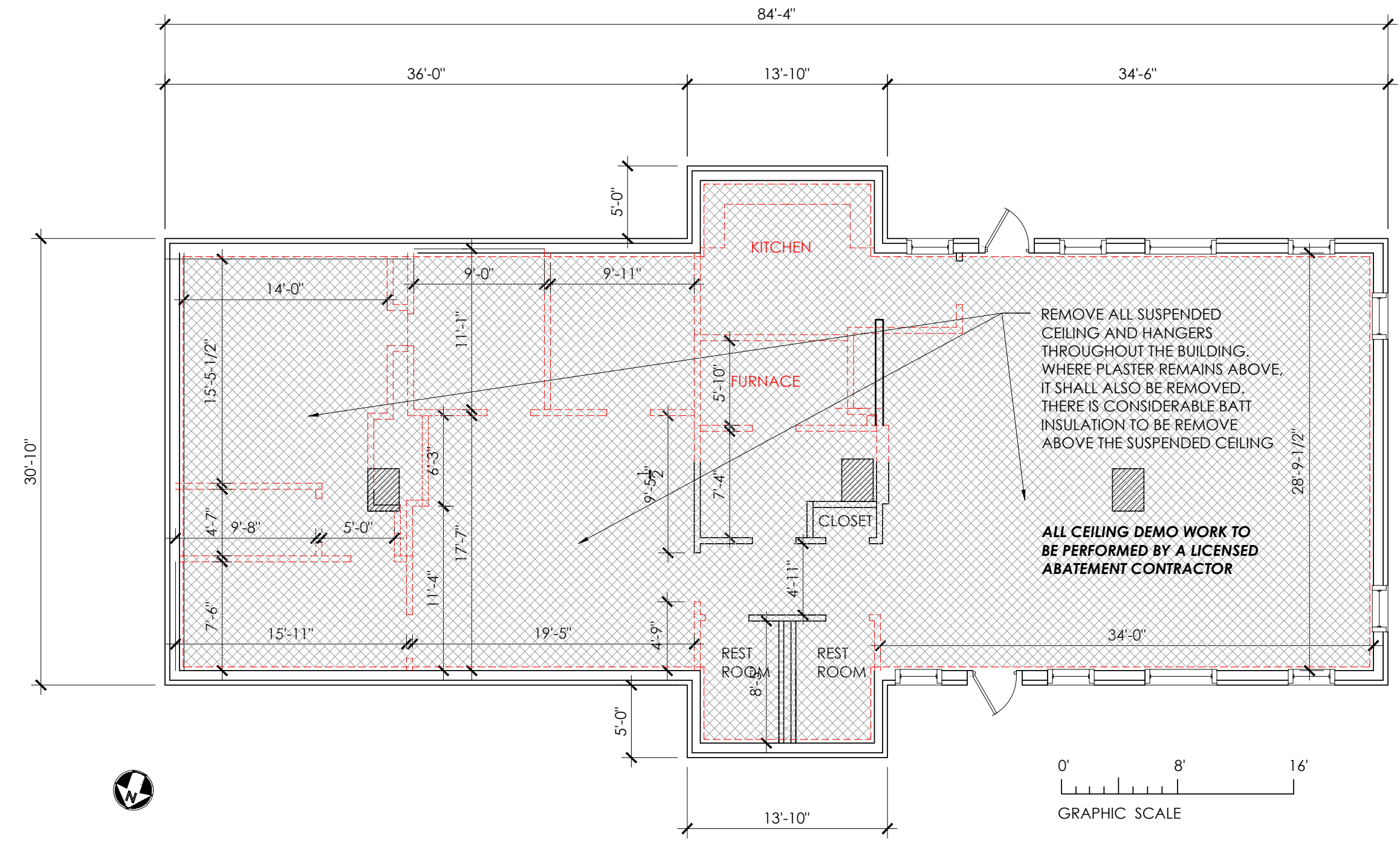
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**T.2**

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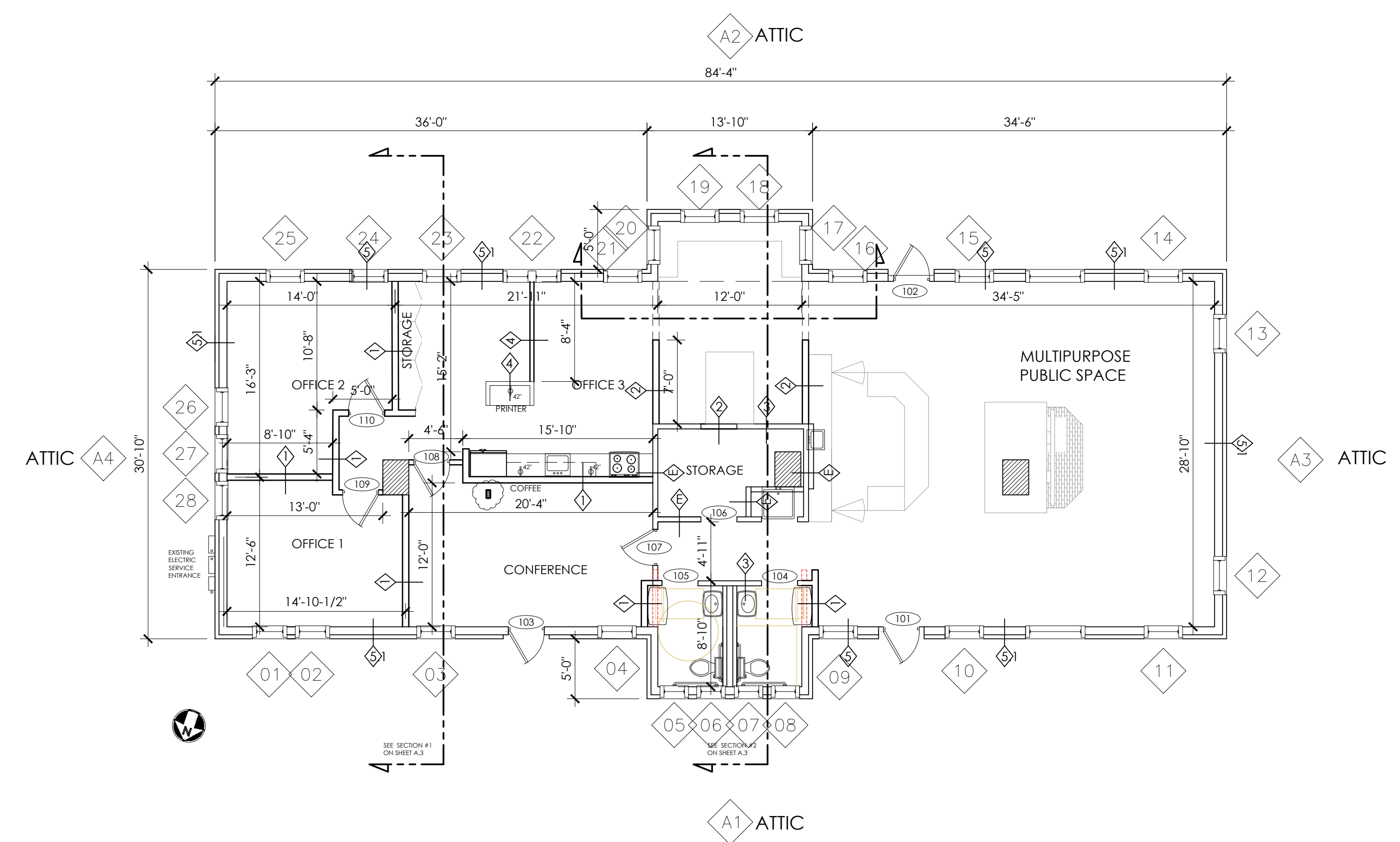


SANFORD DEPOT  
EXISTING PLAN 9/27/17

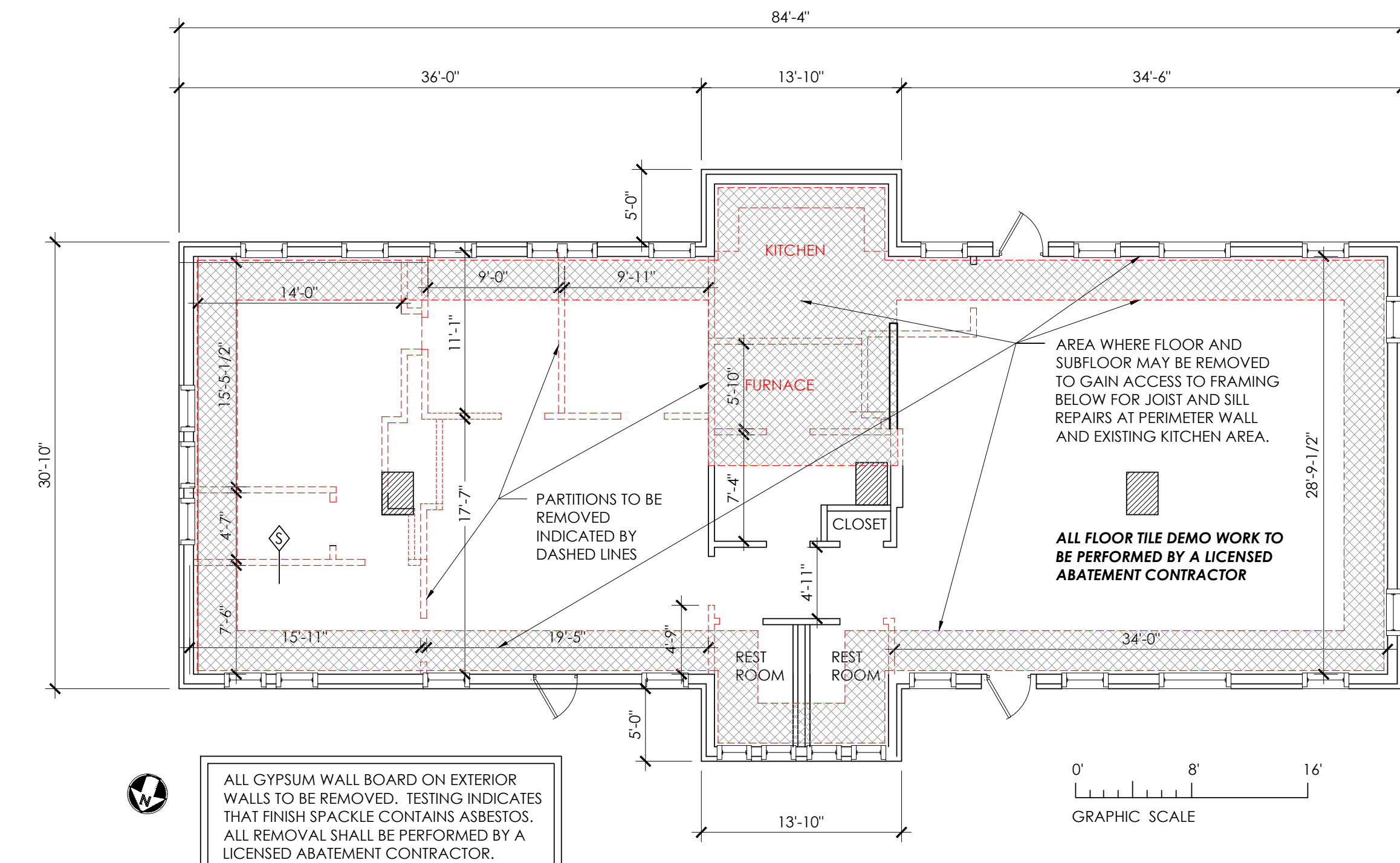
1 EXISTING "AS IS" PLAN  
1/8" = 1'-0"



4 DEMOLITION PLAN AT CEILINGS  
1/8" = 1'-0"



2 FLOOR PLAN  
1/8" = 1'-0"

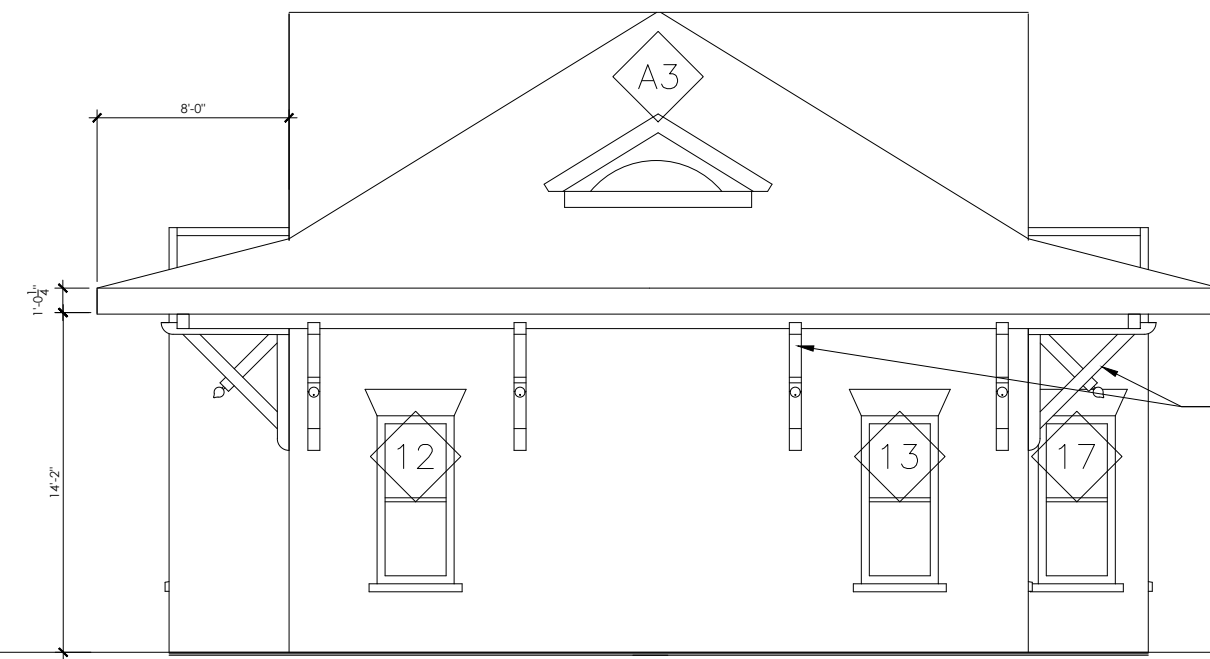


3 FIRST FLOOR DEMOLITION PLAN  
1/8" = 1'-0"

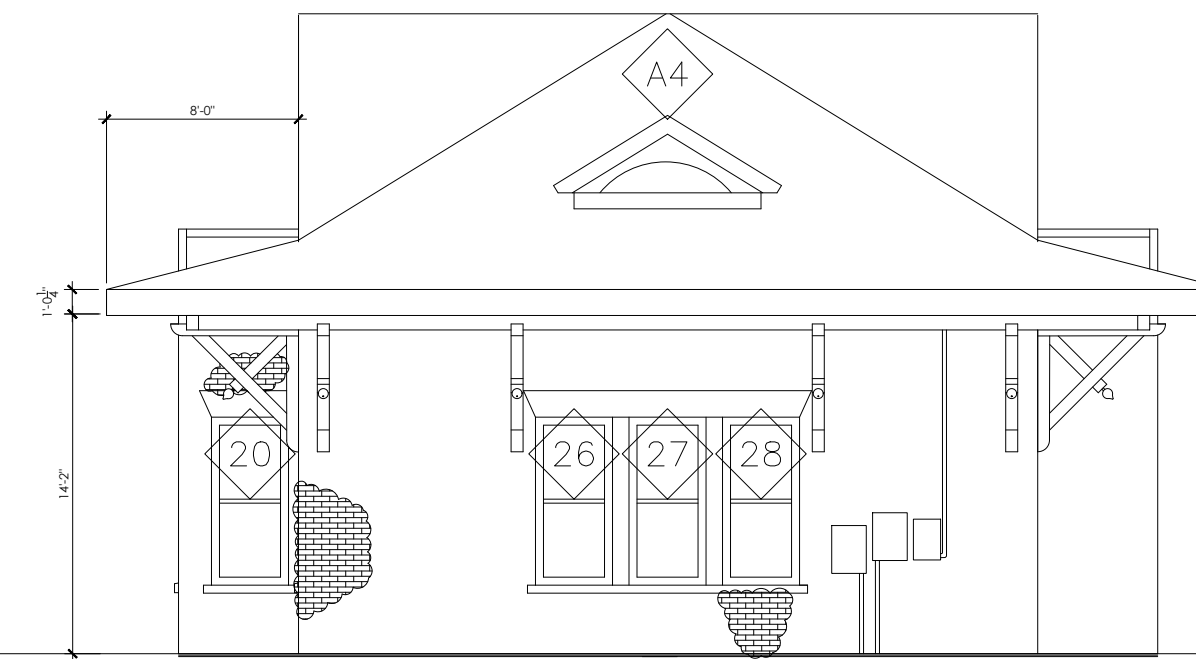
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106 Charlotte Ave, Sanford, NC 27330  
CITY of SANFORD, NORTH CAROLINA

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DATE	06/05/2024
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PROJECT NO.	2023-01
SHEET TITLE	EXISTING PLAN PROPOSED PLAN DEMOLITION
SHEET	A.1



1 WEST ELEVATION  
1/8" = 1'-0"



3 EAST ELEVATION  
1/8" = 1'-0"

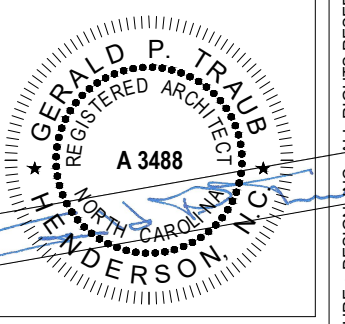


2 NORTH ELEVATION  
1/8" = 1'-0"



4 SOUTH ELEVATION  
1/8" = 1'-0"

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4890 Thomas Road  
Henderson, NC 27537  
(919) 271-6098 (mobile)  
jeny@traubarchitecture.com



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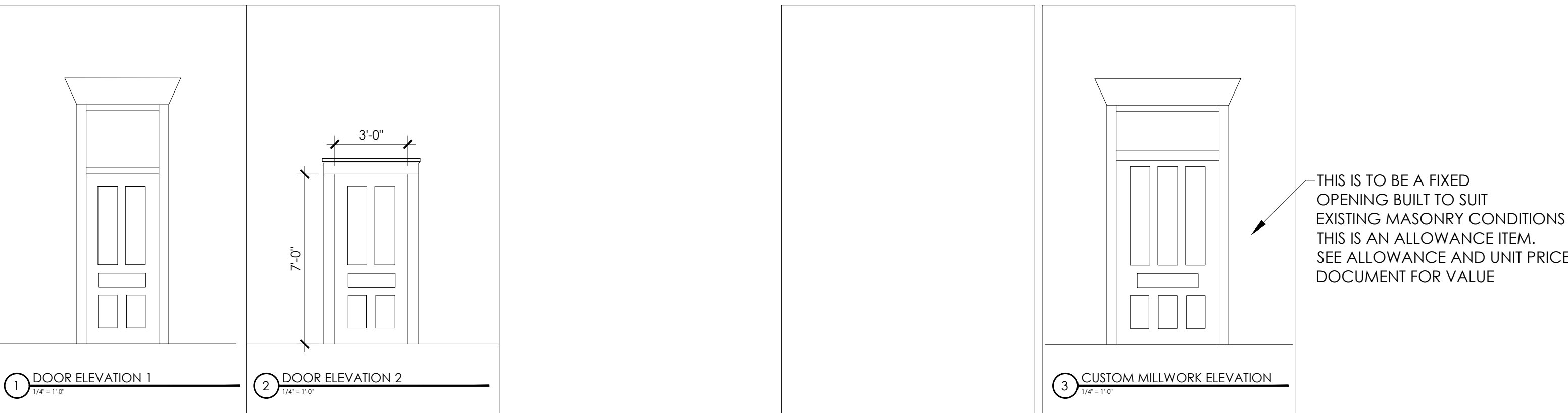
SHEET TITLE  
ELEVATIONS  
& WINDOW  
SCHEDULE

SHEET  
**A.2**

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**DOOR SCHEDULE**

DOOR NO.	ROOM NAME	DOOR							FRAME					REMARKS	DOOR NO.	
		SIZE (NOMINAL)			MATL	FINISH	TYPE	FIRE RATING	MATL	ELEV. TYPE	DETAILS					H.W. SET
		WIDTH	HEIGHT	THICKNESS							JAMB	HEAD	SILL			
101	MULTIPURPOSE	3'-0"	7'-0"	1 3/4"	WD	PAINT	C	-	WD	2				ENT	CUSTOM FRAME FOR EXTERIOR WALL CONDITION	101
102	MULTIPURPOSE	3'-0"	7'-0"	1 3/4"	WD	PAINT	C	-	WD	2				ENT	CUSTOM FRAME FOR EXTERIOR WALL CONDITION	102
103	CONFERENCE	3'-0"	7'-0"	1 3/4"	WD	PAINT	C	-	WD	2				ENT	CUSTOM FRAME FOR EXTERIOR WALL CONDITION	101
104	WOMEN TOILET	3'-0"	7'-0"	1 3/8"	WD	PAINT	C	-	WD	1				PRVACY	-	104
105	WOMEN TOILET	3'-0"	7'-0"	1 3/8"	WD	PAINT	C	-	WD	1				PRVACY	-	105
106	STORAGE	3'-0"	7'-0"	1 3/8"	WD	PAINT	C	-	WD	1				STOR RM	-	106
107	CONFERENCE	3'-0"	7'-0"	1 3/8"	WD	PAINT	C	-	WD	1				OFFICE	-	107
108	CONFERENCE	3'-0"	7'-0"	1 3/8"	WD	PAINT	C	-	WD	1				OFFICE	-	108
109	OFFICE 1	3'-0"	7'-0"	1 3/8"	WD	PAINT	C	-	WD	1				OFFICE	-	109
110	OFFICE 2	3'-0"	7'-0"	1 3/8"	WD	PAINT	C	-	WD	1				OFFICE	-	110

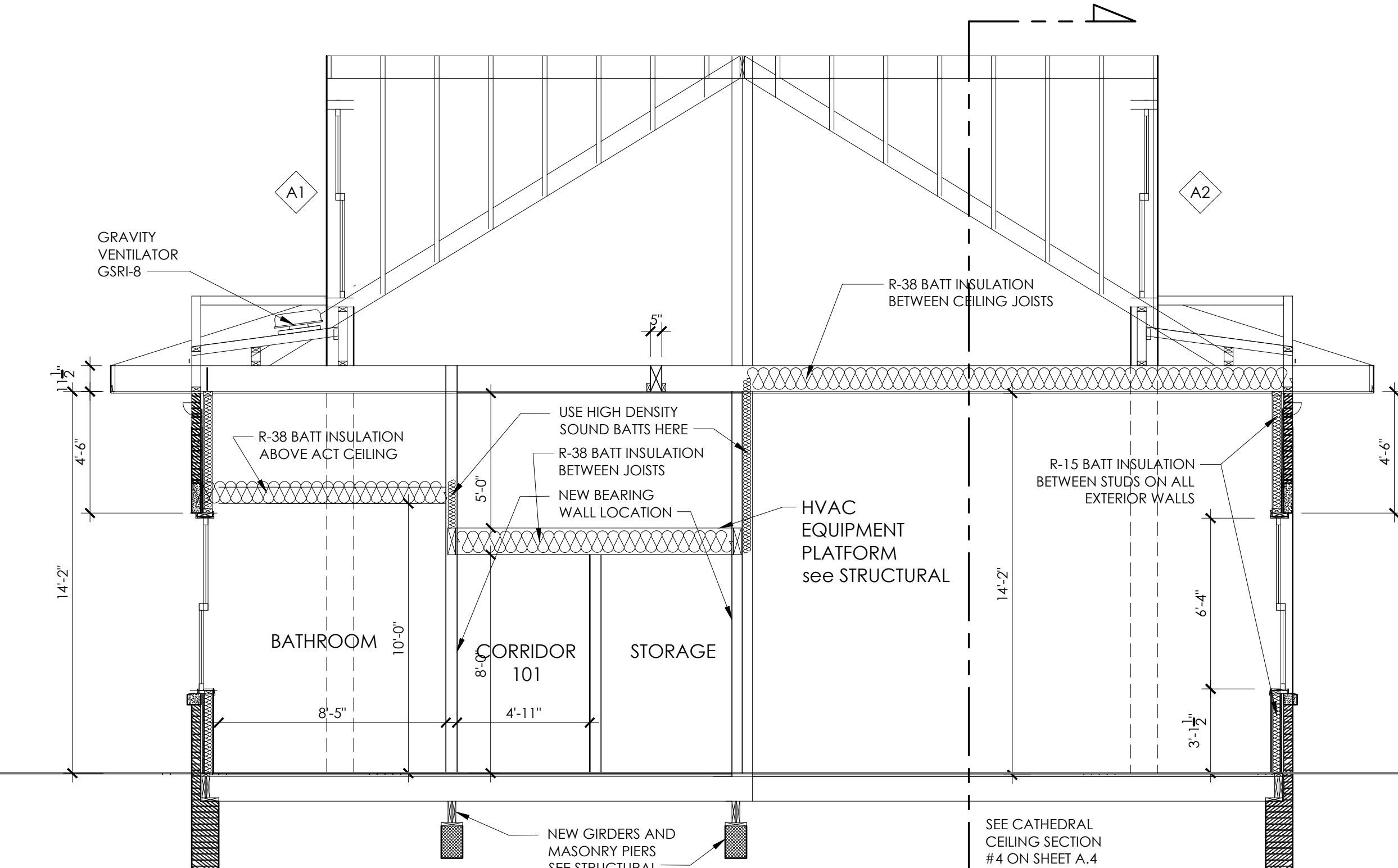
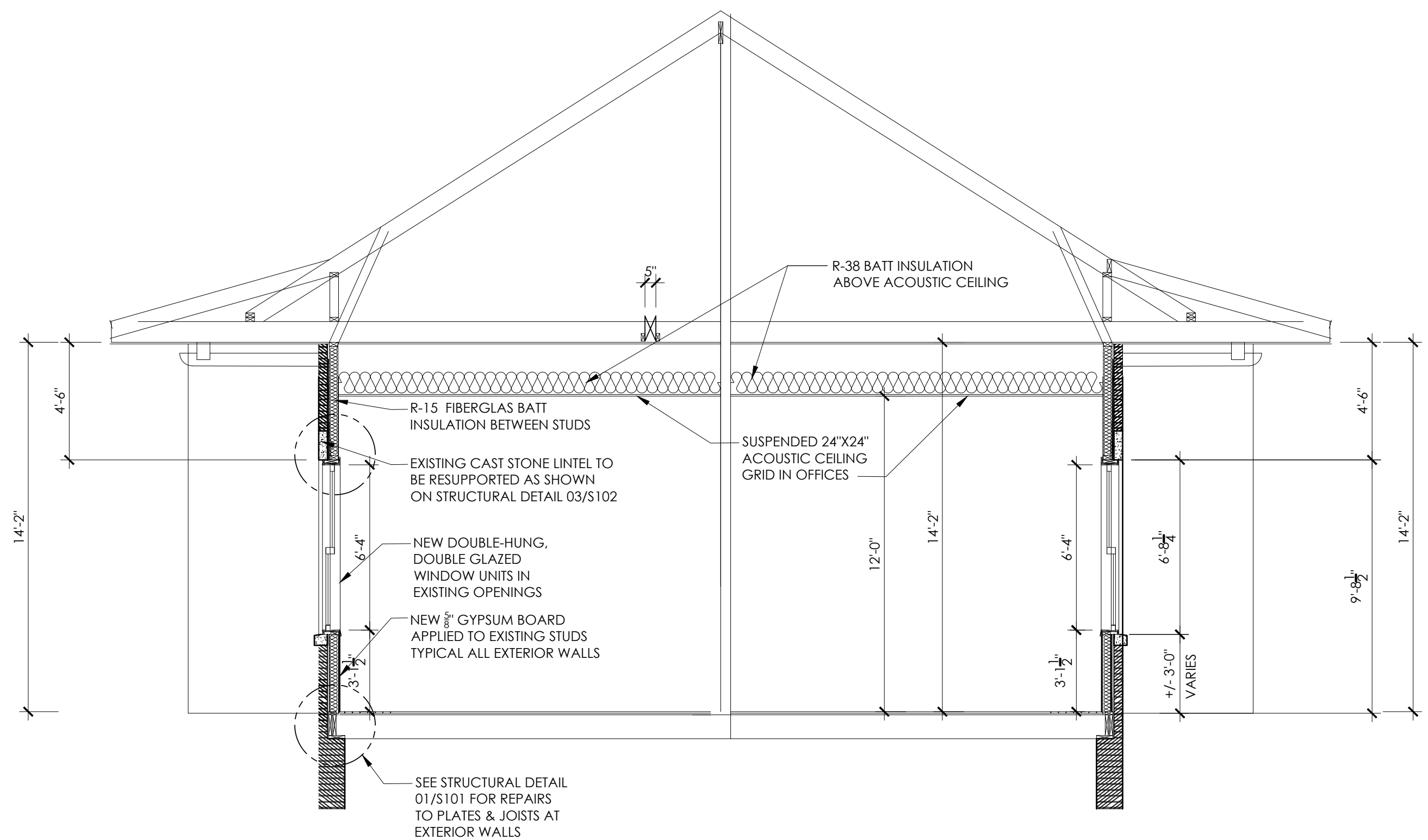


**FINISH SCHEDULE**

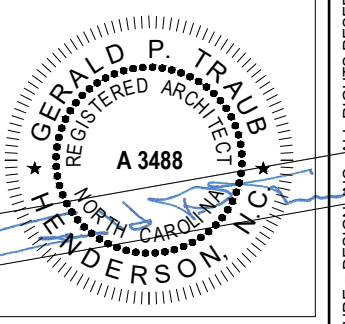
ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS								CEILING			REMARKS
				NORTH		EAST		SOUTH		WEST		MATL	FIN.	HGT.	
				MATL	FIN.	MATL	FIN.	MATL	FIN.	MATL	FIN.				
	MULTIPURPOSE PUBLIC SPACE	HARDWOOD	6" WOOD								WOOD	V GRV	14'-0"	ALL WALLS 4" WHITE CROWN MOLD, CHAIRRAIL TO MATCH EXISTING, AT 48" AFF, STAINED. WHITE T&G BEADBOARD BELOW RAIL, 5/8" GWB ABOVE RAIL TO CEILING.	
	GATHERING PLACE	HARDWOOD	6" WOOD								WOOD	V GRV	14'-0"		
	OFFICE 1	CPT TILE	6" WOOD	GW8	P	GW8	P	GW8	P	GW8	P	ACT	24"x24"	12'-0"	SIMILAR TO SHAW 9"X36" CHALET TILE 5T232 COLOR 19720 MOUNTAIN TOP
	OFFICE 2	CPT TILE	6" WOOD	GW8	P	GW8	P	GW8	P	GW8	P	ACT	24"x24"	12'-0"	SIMILAR TO SHAW 9"X36" CHALET TILE 5T232 COLOR 19720 MOUNTAIN TOP
	OFFICE 3	CPT TILE	6" WOOD	GW8	P	GW8	P	GW8	P	GW8	P	ACT	24"x24"	12'-0"	SIMILAR TO SHAW 9"X36" CHALET TILE 5T232 COLOR 19720 MOUNTAIN TOP
	CONFERENCE ROOM	HARDWOOD	6" WOOD								WOOD	V GRV	12'-0"	SAME WALL TRIM AND CEILING FINISH AS MULTIPURPOSE AND GATHERING AREAS	
	BATHROOM 1	HARD TILE	VINYL	GW8	P	GW8	P	GW8	P	GW8	P	ACT	24"x24"	10'-0"	2"x2" MOSAIC COLOR TBD
	BATHROOM 2	HARD TILE	VINYL	GW8	P	GW8	P	GW8	P	GW8	P	ACT	24"x24"	10'-0"	2"x2" MOSAIC COLOR TBD
	BATHROOM CORRIDOR	HARDWOOD	6" WOOD	GW8	P	GW8	P	GW8	P	GW8	P	ACT	24"x24"	8'-0"	
	STORAGE	VINYL	VINYL	GW8	P	GW8	P	GW8	P	GW8	P	ACT	24"x24"	7'-0"	

**WINDOW SCHEDULE**

Size	Description	Remarks
01	M.O. 32-1/2" wide X 68" hi	All first floor windows shall be replaced with double hung, 1-3/4" wood sash in a 1 over 1 configuration. The dimensions for each unit shall be confirmed by the supplier. They must be replaced from the interior in a manner that is compatible with the structural repairs that will take place in the existing jamb pockets.
02	M.O. 32-1/2" wide X 44" hi	
03	M.O. 38-1/2" wide X 68" hi	
04	M.O. 38-1/2" wide X 68" hi	
05	M.O. 28-1/2" wide X 68" hi	The existing Cast Stone lintels and sills and the brick jambs must remain intact. One Cast Stone lintel on the East elevation will require removal and replacement with a new cast stone lintel.
06	M.O. 28-1/2" wide X 68" hi	
07	M.O. 28-1/2" wide X 68" hi	
08	M.O. 28-1/2" wide X 68" hi	
09	M.O. 38-1/2" wide X 68" hi	
10	M.O. 38-1/2" wide X 68" hi	
11	M.O. 38-1/2" wide X 68" hi	
12	M.O. 38-1/2" wide X 68" hi	
13	M.O. 38-1/2" wide X 68" hi	
14	M.O. 38-1/2" wide X 68" hi	
15	M.O. 38-1/2" wide X 68" hi	THIS GROUP OF 4 ATTIC WINDOWS ARE EXISTING FIXED SASH OF UNKNOWN SIZE. THEY WILL NEED TO BE REMOVED FROM THE FRAMES TO BE EVALUATED FOR RESTORATION. IT WILL REQUIRE THAT EXISTING PAINT AND/OR FILM BE REMOVED FROM OLD GLASS, REPAIRING DAMAGED STICKING AS NEEDED, REGLAZING EXISTING GLASS, AND REPLACING SASH BACK IN EXISTING FRAMES IN A WATER-TIGHT MANNER. A1 AND A2 HAVE 4 FIXED SASH EACH AND A3 AND A4 ARE SINGLE CURVED SASH. THESE 4 WINDOWS SHALL BE COVERED AS AN ALLOWANCE ITEM. REFER TO BID DOCUMENTS TO SEE COST VALUE
16	M.O. 38-1/2" wide X 68" hi	
17	M.O. 38-1/2" wide X 68" hi	
18	M.O. 38-1/2" wide X 68" hi	
19	M.O. 38-1/2" wide X 68" hi	
20	M.O. 38-1/2" wide X 68" hi	
21	M.O. 38-1/2" wide X 68" hi	
22	M.O. 58" wide X 116-1/2" hi	
23	M.O. 38-1/2" wide X 68" hi	
24	M.O. 38-1/2" wide X 68" hi	
25	M.O. 38-1/2" wide X 68" hi	
26	M.O. 38-1/2" wide X 68" hi	
27	M.O. 38-1/2" wide X 68" hi	
28	M.O. 38-1/2" wide X 68" hi	
A1		
A2		
A3		
A4		



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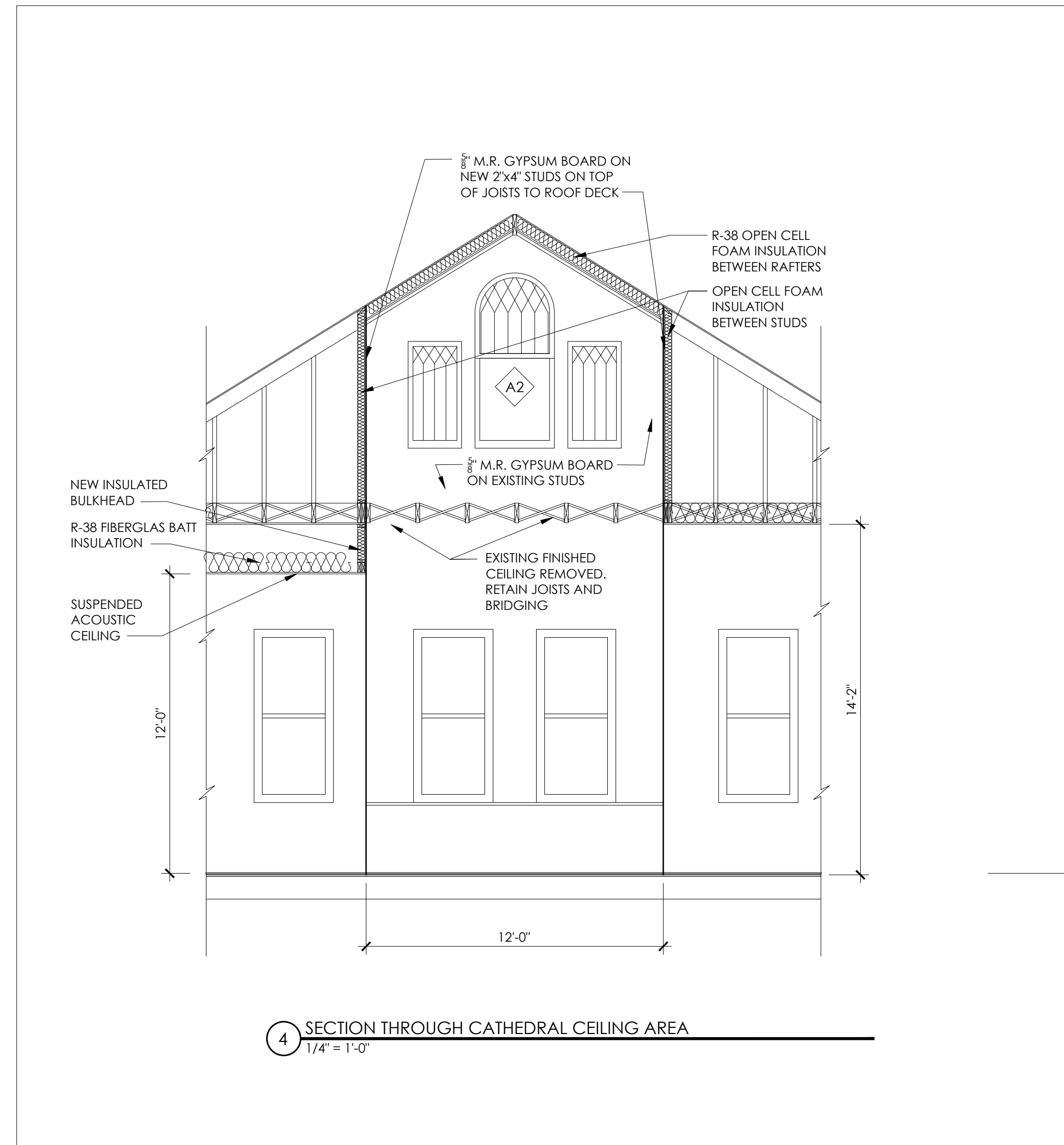


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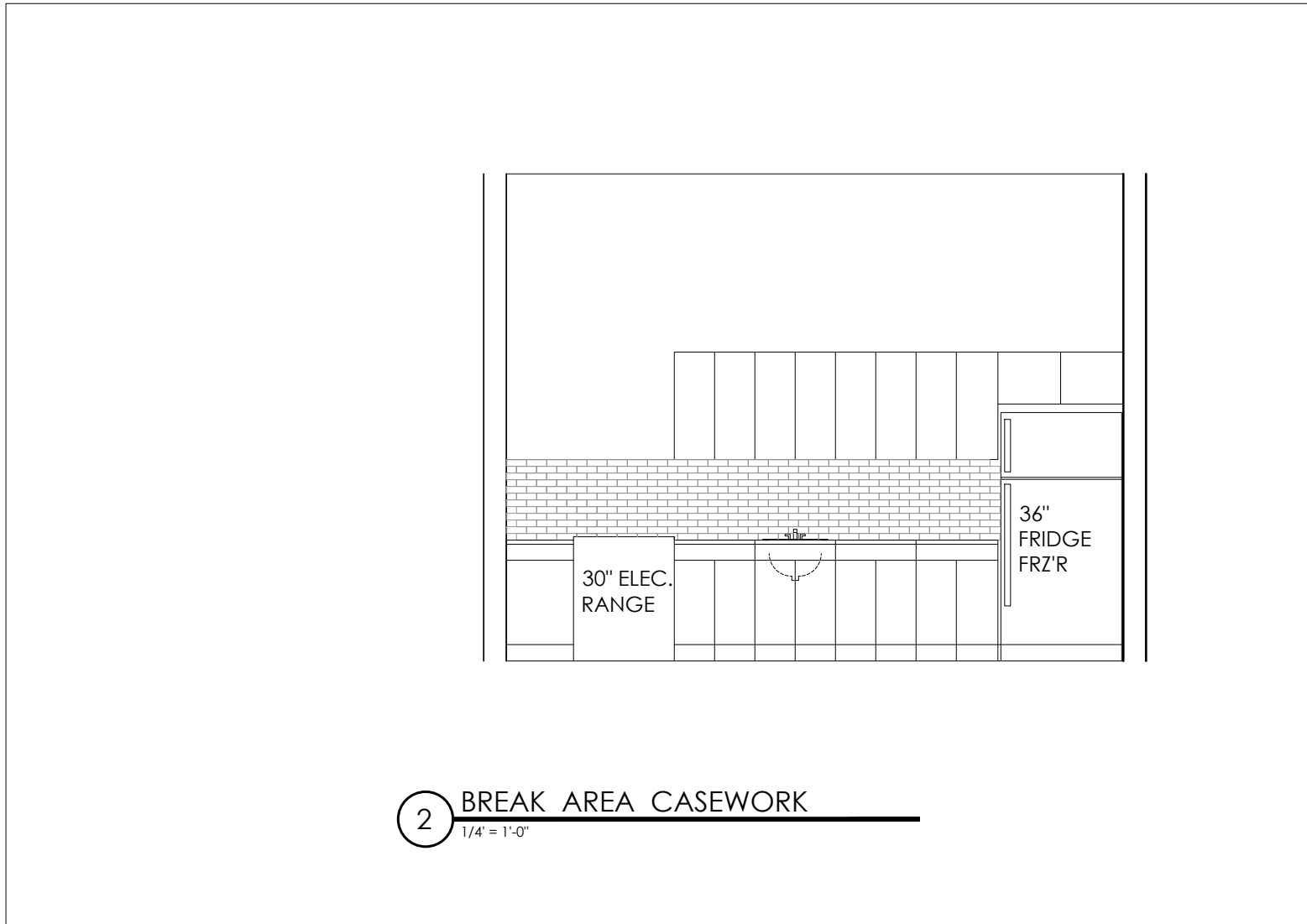
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DATE  
06/05/2024  
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GPT  
PROJECT NO.  
2023-01  
SHEET TITLE  
SCHEDULES & BUILDING SECTIONS  
SHEET  
A.3

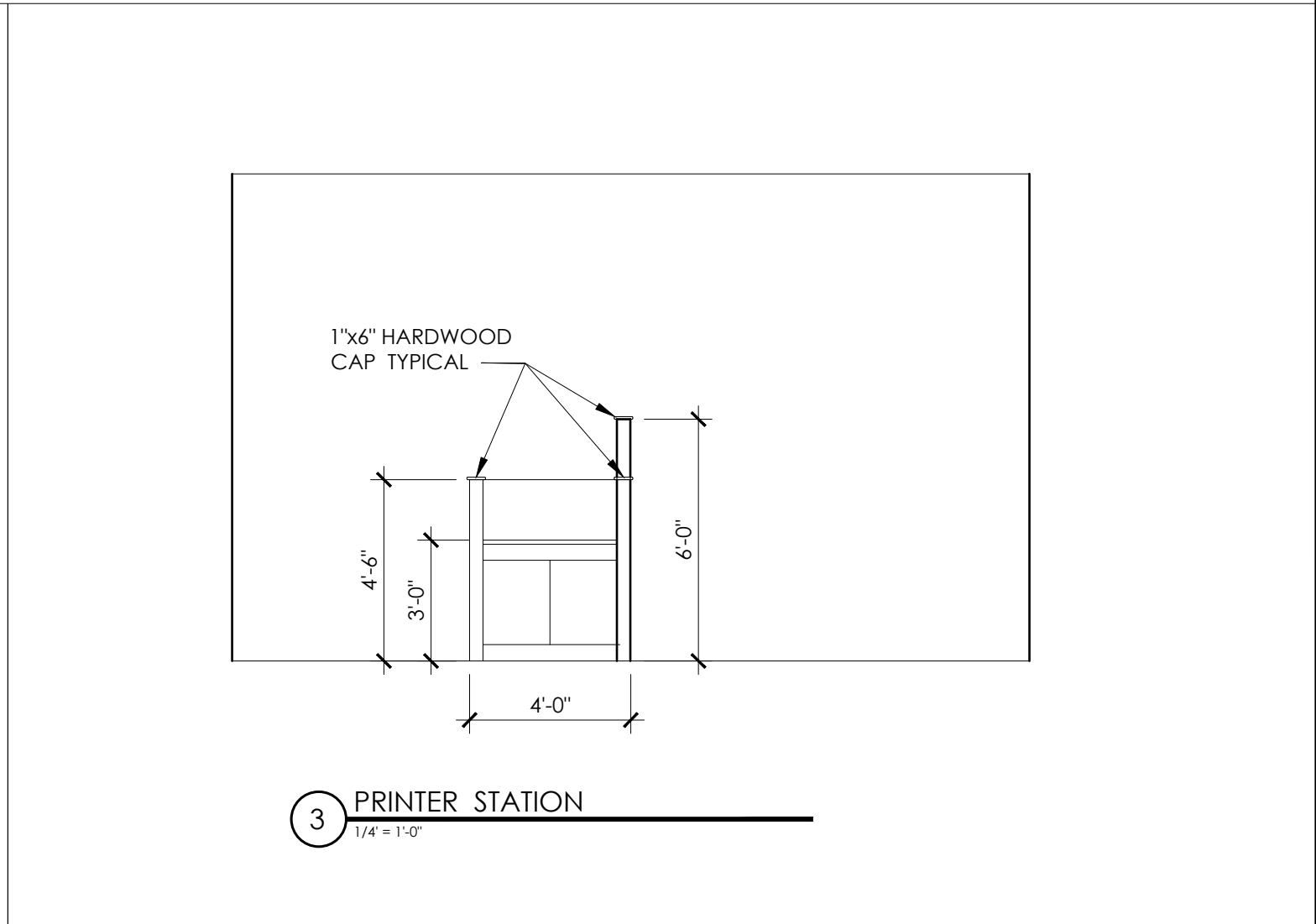
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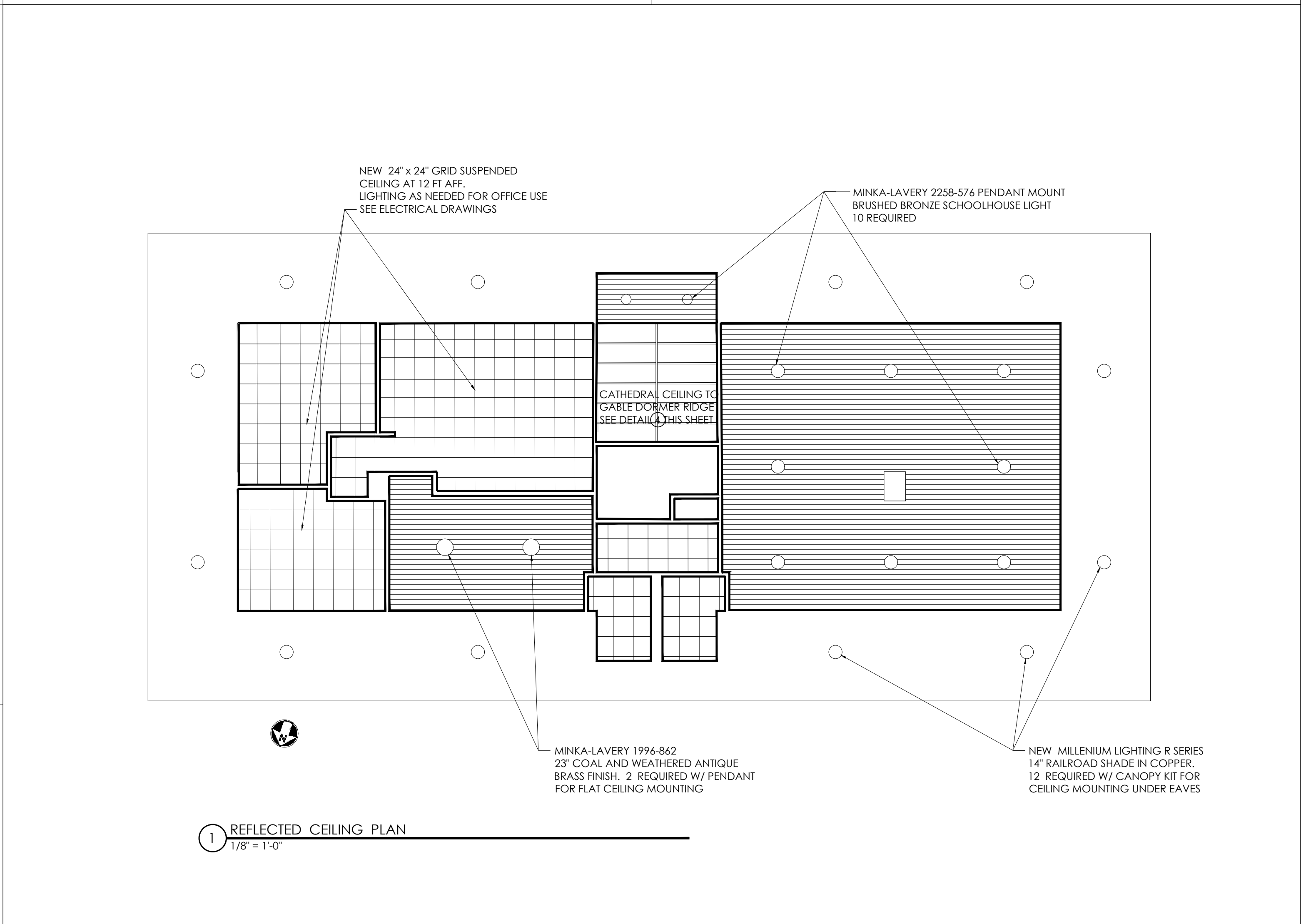
**4 SECTION THROUGH CATHEDRAL CEILING AREA**  
 1/4" = 1'-0"



**2 BREAK AREA CASEWORK**  
 1/4" = 1'-0"

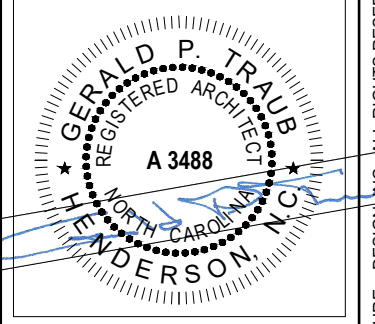


**3 PRINTER STATION**  
 1/4" = 1'-0"



**1 REFLECTED CEILING PLAN**  
 1/8" = 1'-0"

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 4890 Thomas Road  
 Henderson, NC 27537  
 (919) 271-6098 (mobile)  
 jenny@traubarchitecture.com



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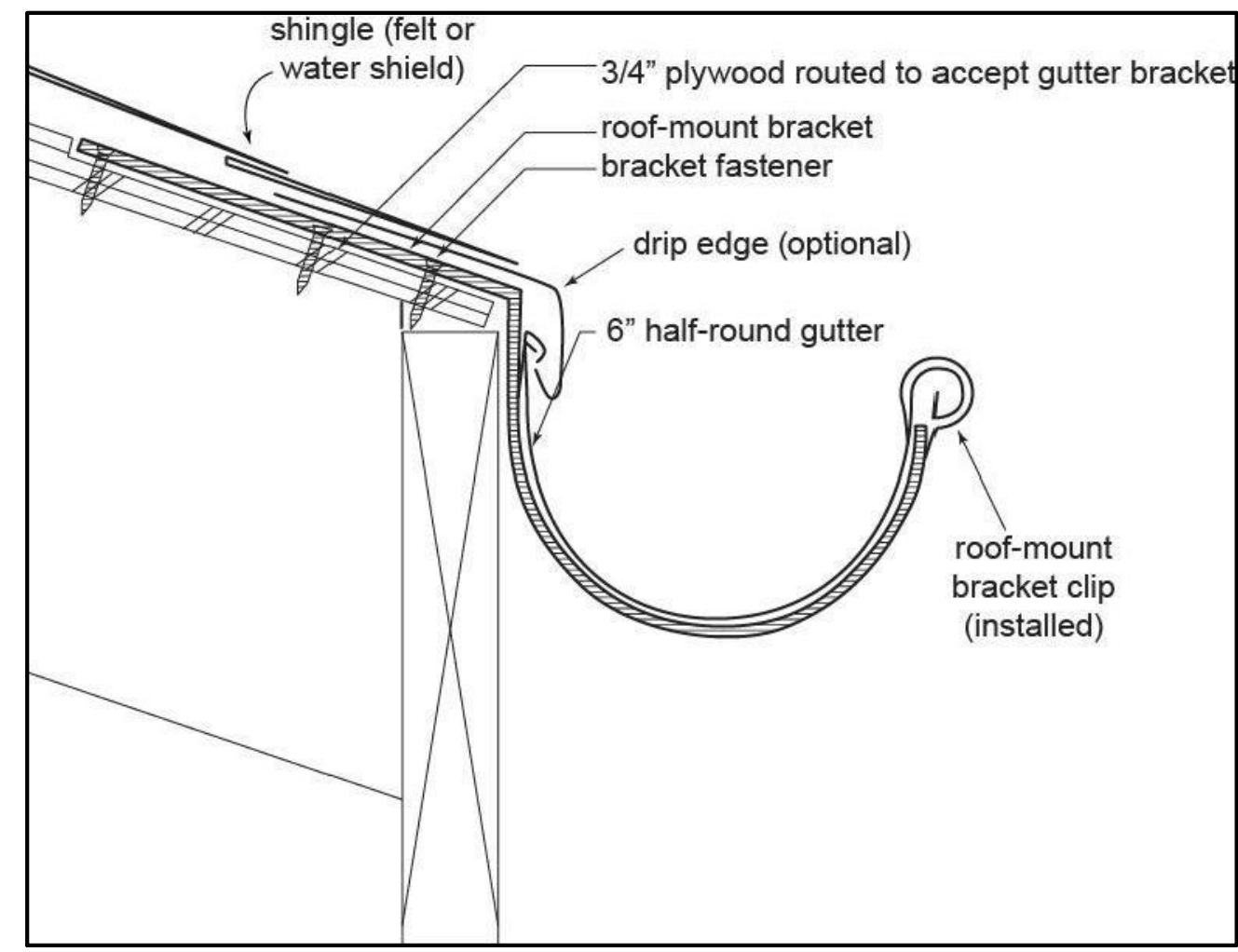
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DATE: 06/05/2024  
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 PROJECT NO.: 2023-01  
 SHEET TITLE: REFLECTED CEILING CASEWORK

SHEET:  
**A.4**

TRAUB ARCHITECTURE + DESIGN, INC.

**MOUNTING BRACKET DETAIL FOR HALF ROUND INSTALLATION:**



2 HALF ROUND GUTTER & ROUND DOWNSPOUT  
N.T.S.

**INSTALLATION INSTRUCTIONS**

**Step 1:** REMOVE old gutters and inspect fascia board. REPLACE IF NEEDED. Tack a string to fascia board and level. Drop string along 1/4 in. per 20 ft. and retack string. This is sloped toward downspout. (Fig. A)

**Step 2:** Assemble gutter. Begin at opposite downspout side of gutter run. Snap end cap to gutter and solder. (Fig. B)

**Step 3:** Join two gutter sections. Rivet and solder (recommended) or use gutter connectors. (Fig. C)

**Step 4:** Decide which hanger you will use.

**(Fig. D) Roof Mount Hanger** (1 every 2 ft of gutter) Installed on roof (not fascia) under shingles. Used for new construction or when fascia board not available. Use Hanger Bending Tool to install.

**(Fig. E) Fascia Mount Hanger** (1 every 2 ft of gutter) Installed on fascia board.

**Step 5: Attaching Corners/Miters** If turning a corner with a gutter, use an inside or outside corner/miter. (Fig. F)

Solder (recommended) to connect corners/miters to gutter OR use gutter connector. (For VMZinc®, solder only)

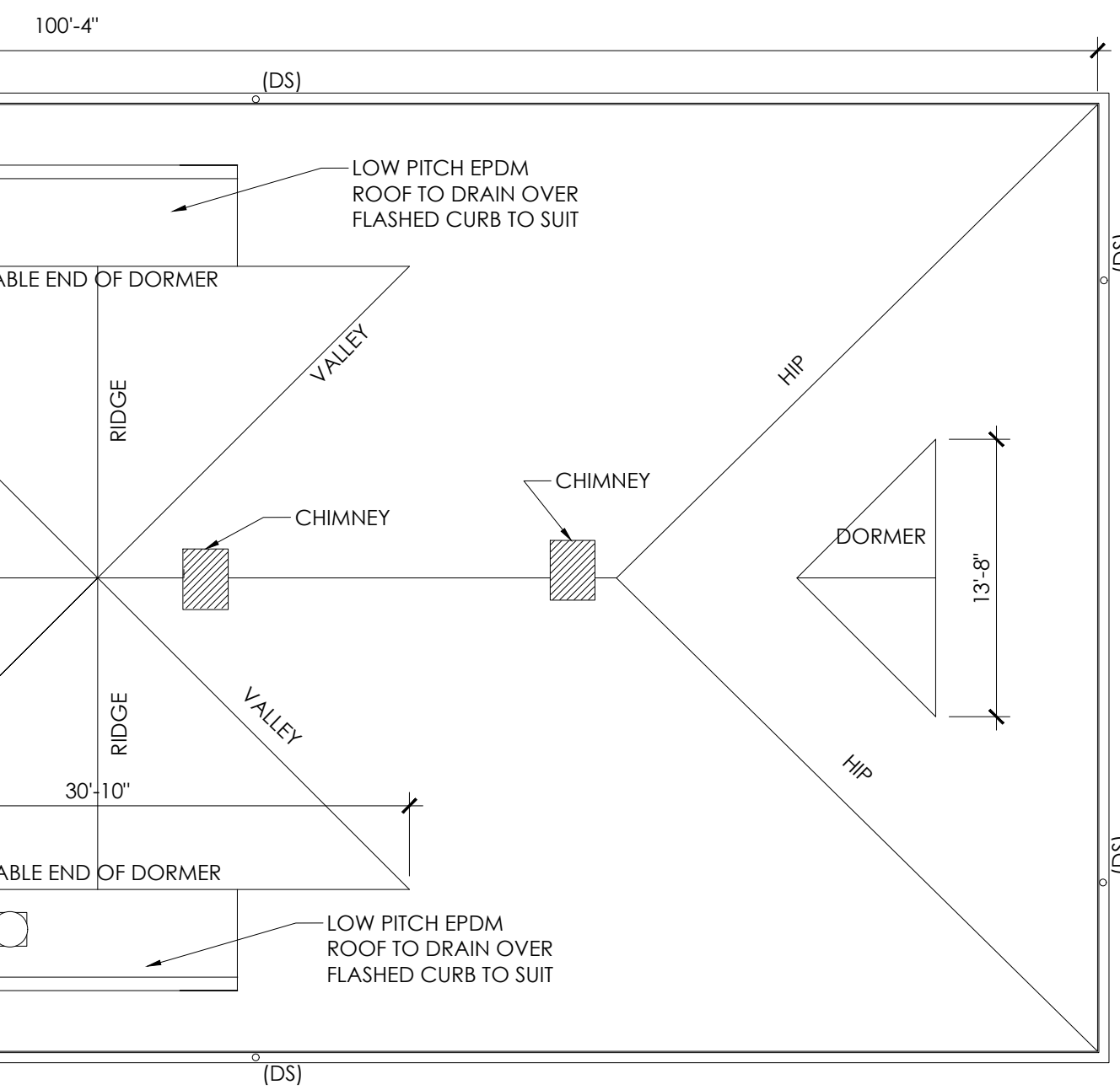
**Step 6: Attaching Spout and/or Elbows** Each downspout and elbow has one end expanded. Parts are joined by fitting the larger end of one over the smaller end of the other, forcing them together tightly. (Fig. G)

Downspouts should be set approximately 1 inch from building. Attach a front or side elbow at the downspout's bottom to direct water away from foundation.

**Step 7: Attaching Downspout** Fasten downspouts against wall. (Fig. H)

Use 1 bracket at top; 1 bracket at bottom; and 1 every 10 ft.

**Step 8: Installing Drip Edge** Help direct roof runoff into gutters (optional). To install, lift shingles and insert drip edge under shingles. Push back until drip edge projects approx. 1/2 in. beyond fascia. Nail under shingles every 5 ft. (Fig. I)



6" HALF ROUND GUTTER WITH 4" DOWNSPOUTS

Existing roof drainage to be replaced with new copper gutters and downspouts.

Downspouts shall be installed in configuration similar to existing.

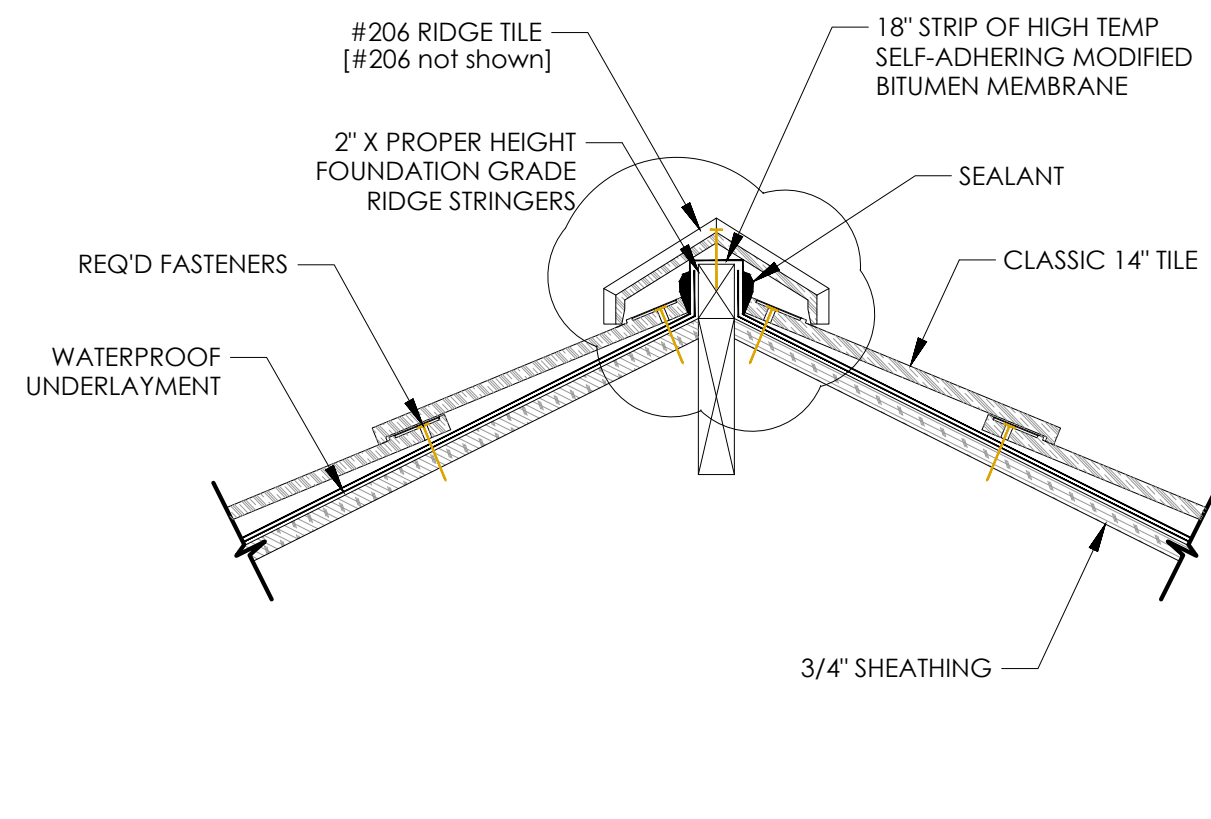
*Before commencing any Gutter and Downspout work, the Contractor shall ensure that existing terra cotta subsurface drainage is functional with the capacity to adequately drain roof runoff at a rate of 6" of rain per hour*

ROOF PITCH IS +/- 8:12 ALL OVER

ROOF FIELD MATERIAL TO BE LUCOVICI CLASSIC 14" IN CLAY RED RANGE

VALLEY AND EDGE TILES SHALL BE AS SHOWN IN DETAILS. HIP AND RIDGE TO BE CIRCULAR COVER TILES, SERIES 102/206 AND FINIALS AS REQUIRED.

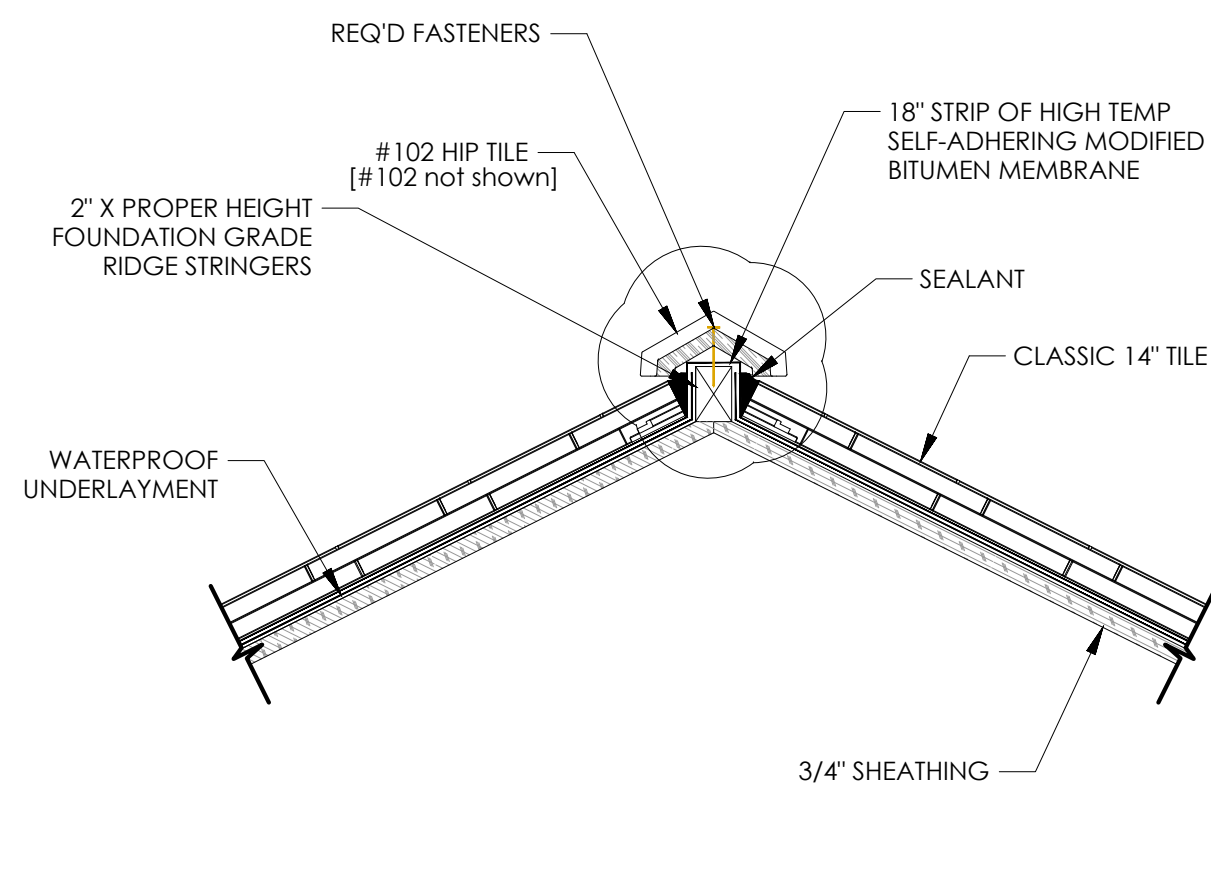
1 ROOF PLAN  
1/8" = 1'-0"



3 SECTION AT #206 RIDGE  
SCALE 1-1/2" = 1'

**GENERAL NOTES:**

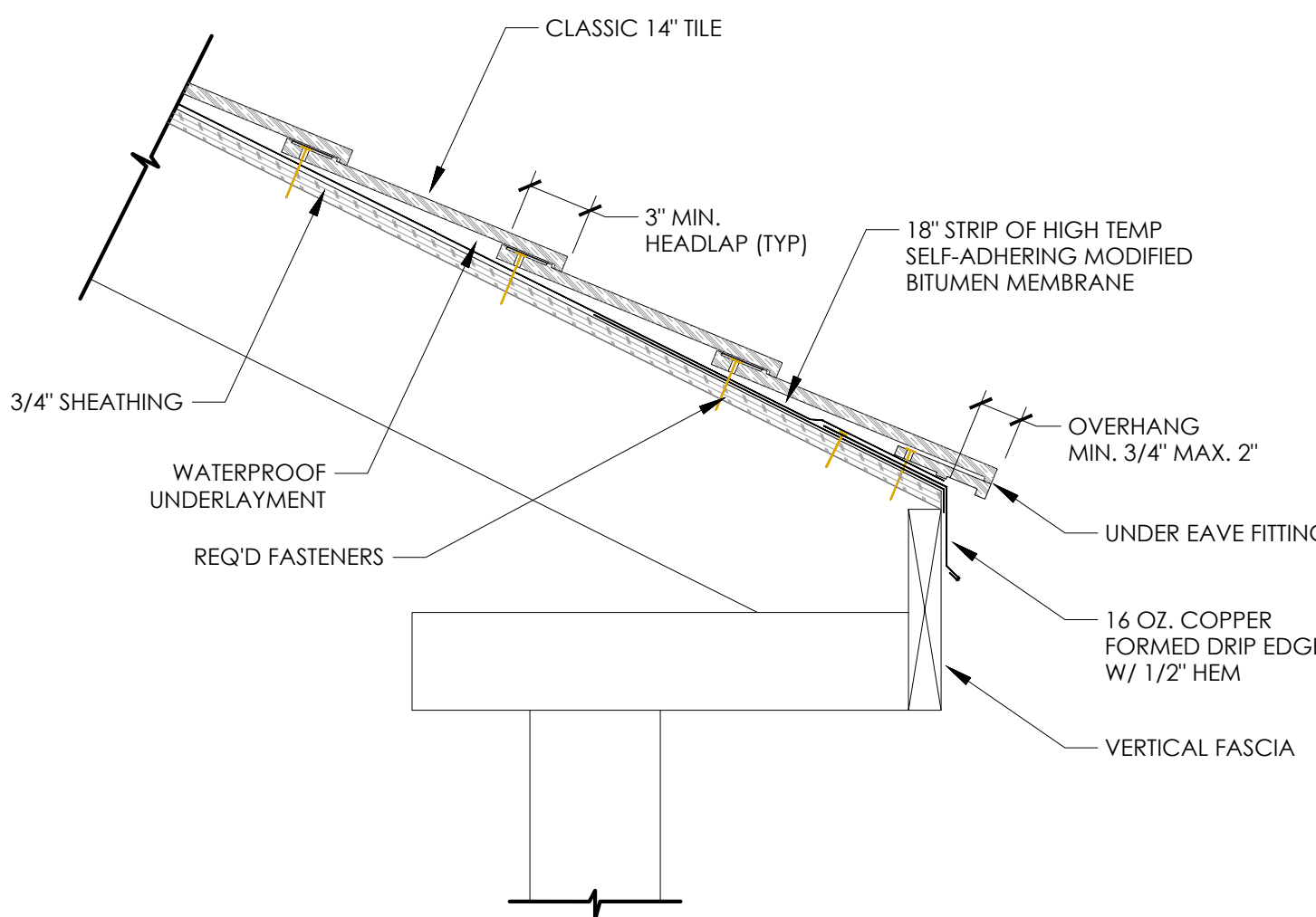
1. THIS IS A PROTOTYPICAL DETAIL FOR REVIEW. MODIFICATIONS MAYBE REQUIRED TO MEET PROJECT SPECIFIC REQUIREMENTS.
2. MINIMUM 1-1/4" HEADLAP REQUIRED.
3. A BEAD OF SEALANT SHOULD BE APPLIED BETWEEN THE LAP OF EACH RIDGE TILE.



4 SECTION AT #102 HIP  
SCALE 1-1/2" = 1'

**GENERAL NOTES:**

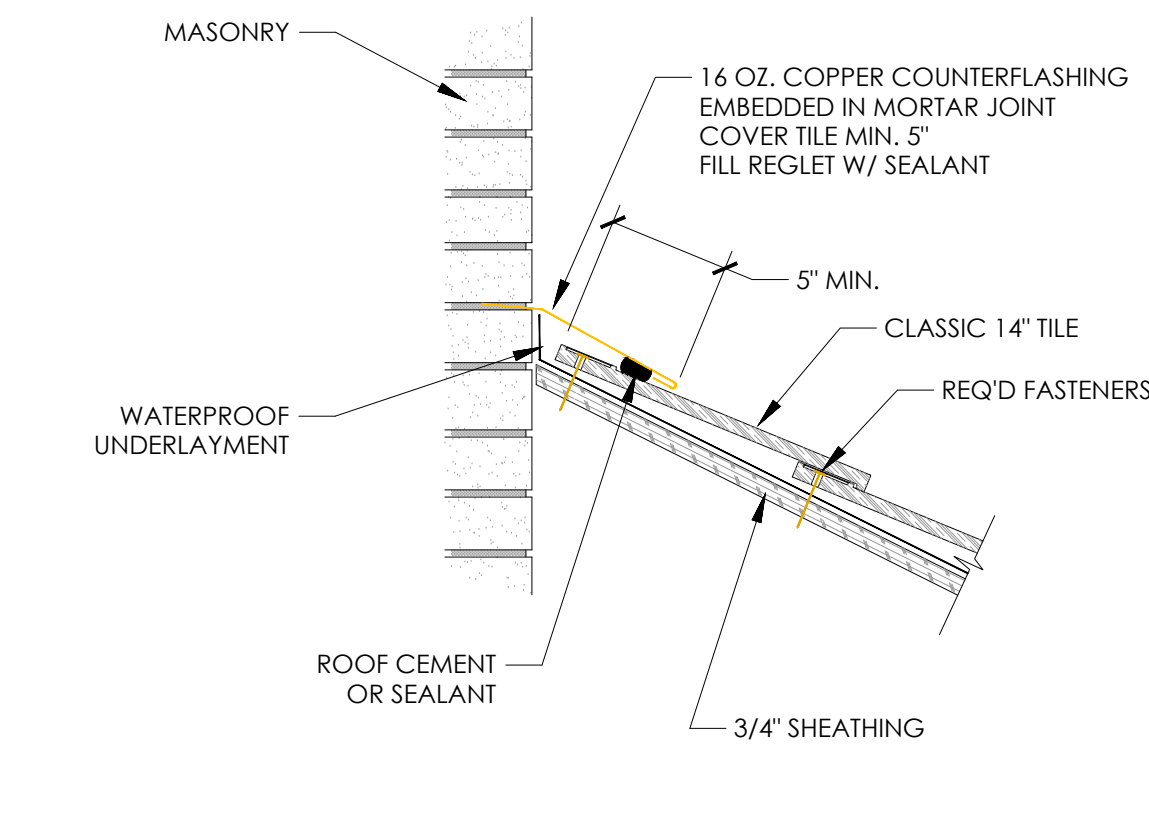
1. THIS IS A PROTOTYPICAL DETAIL FOR REVIEW. MODIFICATIONS MAYBE REQUIRED TO MEET PROJECT SPECIFIC REQUIREMENTS.
2. MINIMUM 2" HEADLAP REQUIRED.
3. A BEAD OF SEALANT SHOULD BE APPLIED BETWEEN THE LAP OF EACH HIP TILE.



5 SECTION AT EAVE WITH UNDER EAVE  
SCALE 1-1/2" = 1'

**GENERAL NOTES:**

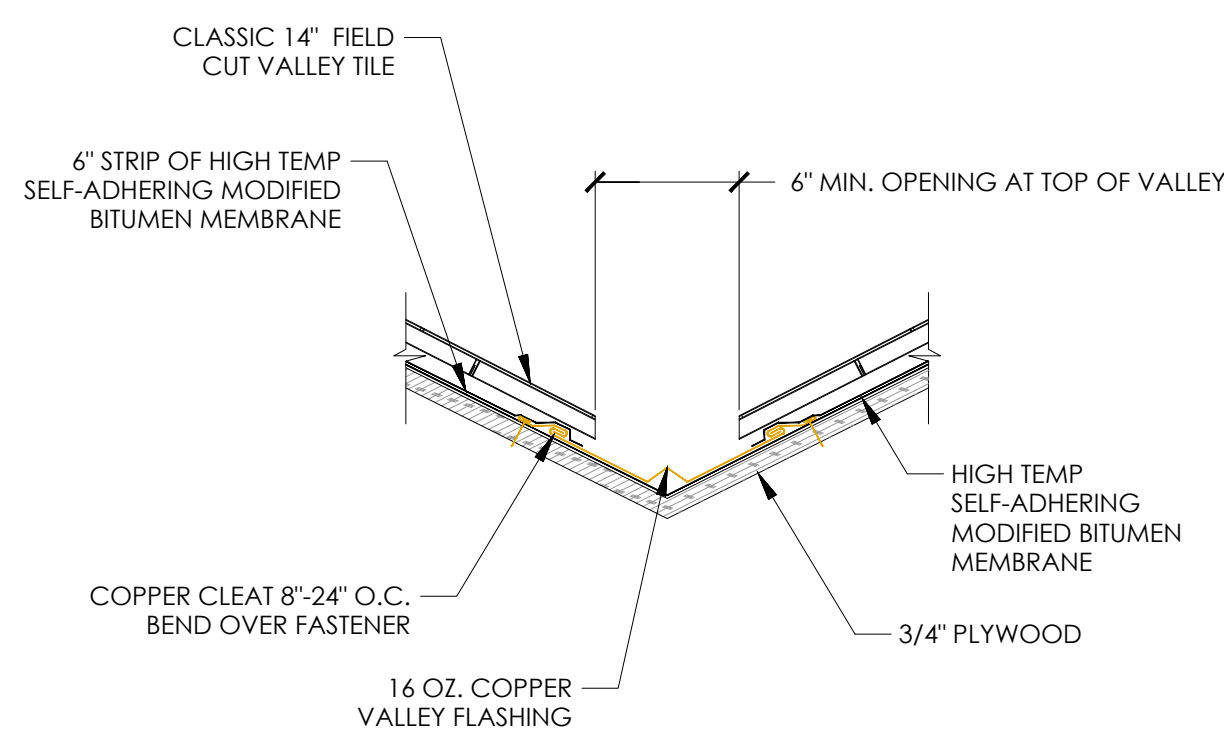
1. THIS IS A PROTOTYPICAL DETAIL FOR REVIEW. MODIFICATIONS MAYBE REQUIRED TO MEET PROJECT SPECIFIC REQUIREMENTS.
2. MINIMUM 3" HEADLAP REQUIRED.



6 SECTION AT HEAD WALL  
SCALE 1-1/2" = 1'

**GENERAL NOTES:**

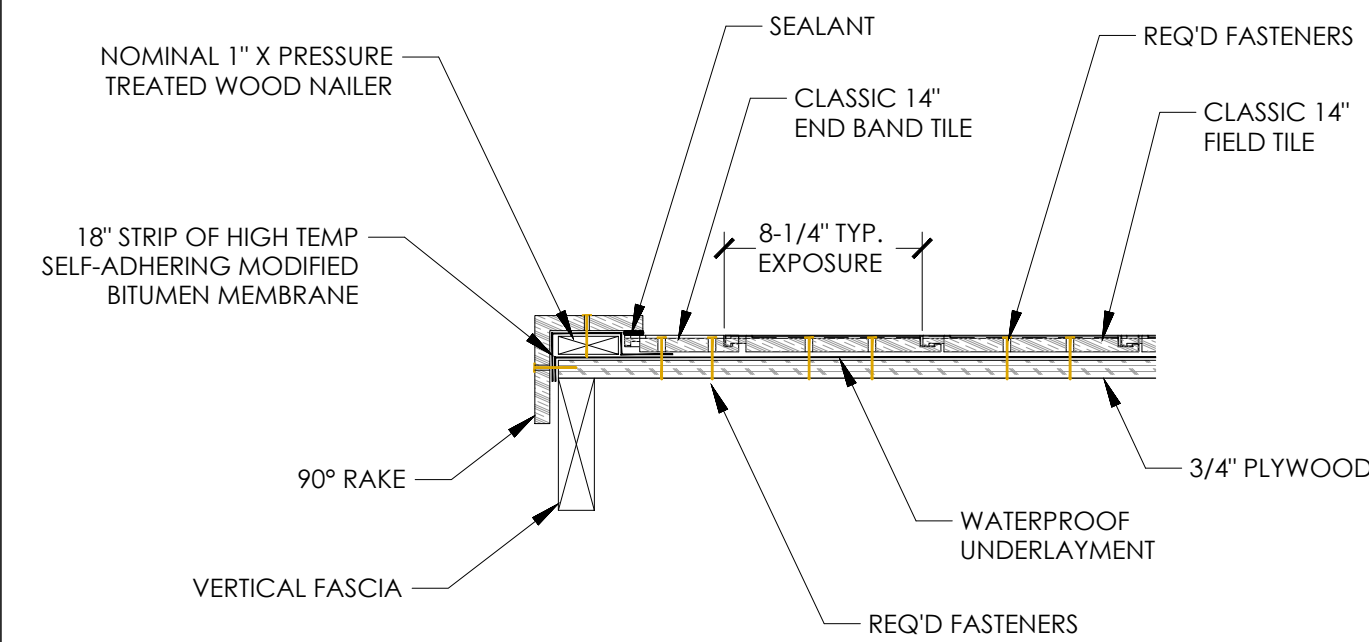
1. THIS IS A PROTOTYPICAL DETAIL FOR REVIEW. MODIFICATIONS MAYBE REQUIRED TO MEET PROJECT SPECIFIC REQUIREMENTS.



7 SECTION AT FIELD CUT VALLEY  
SCALE 1-1/2" = 1'

**GENERAL NOTES:**

1. THIS IS A PROTOTYPICAL DETAIL FOR REVIEW. MODIFICATIONS MAYBE REQUIRED TO MEET PROJECT SPECIFIC REQUIREMENTS.
2. DO NOT PENETRATE COPPER VALLEY FLASHING. ATTACH SMALL CUT VALLEY TILES WITH COPPER WIRE AND TIE OFF TO A FASTENER PLACED ABOVE COPPER VALLEY FLASHING.
3. CUT VALLEY TILE MUST PROVIDE A MINIMUM 4" OVERLAP OF COPPER VALLEY FLASHING.
4. EXPOSURE OF THE COPPER VALLEY FLASHING SHOULD INCREASE 1" PER 8" RUN TOWARDS THE EAVE.



8 SECTION AT RAKE EDGE WITH 90° RAKE  
SCALE 1-1/2" = 1'

**GENERAL NOTES:**

1. THIS IS A PROTOTYPICAL DETAIL FOR REVIEW. MODIFICATIONS MAYBE REQUIRED TO MEET PROJECT SPECIFIC REQUIREMENTS.
2. WATERPROOF UNDERLAYMENT TURNED DOWN 1" OVER VERTICAL FASCIA.

TRAUB ARCHITECTURE + DESIGN, INC.  
4890 Thomas Road  
Henderson, NC 27537  
(919) 271-6098 (mobile)  
jeny@traubarchitecture.com



**SANFORD TRAIN DEPOT RESTORATION**  
106 Charlotte Ave, Sanford, NC 27330  
CITY of SANFORD, NORTH CAROLINA

REVISIONS


DATE  
06/05/2024

DRAWN BY  
GPT

PROJECT NO.  
2023-01

SHEET TITLE  
ROOF PLAN  
&  
DETAILS

SHEET

A.5

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ELECTRICAL SYMBOL LEGEND

Table of electrical symbols and their corresponding descriptions, including circuit conductors, junction boxes, switches, receptacles, outlets, and sensors.

GENERAL ELECTRICAL NOTES

- 1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2020 EDITION OF THE NATIONAL ELECTRICAL CODE AND ALL LOCAL AND STATE CODES.
2. ALL MATERIAL, DEVICES, APPLIANCES, AND EQUIPMENT SHALL BE NEW AND SHALL CONFORM TO THE STANDARDS OF THE UNDERWRITER'S LABORATORIES, INC., AND THE NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION.

SYSTEM COMMISSIONING NOTES (NCECC C408)

COMMISSIONING REQUIREMENTS ARE NOT REQUIRED FOR THIS BUILDING, PER EXEMPTION UNDER NCECC C408.1, WHICH ALLOWS COMMISSIONING EXEMPTIONS FOR BUILDINGS LESS THAN OR EQUAL TO 10,000 SQUARE FEET OF CONDITIONED SPACE.

LIGHTING FIXTURE SCHEDULE

Table listing lighting fixtures with columns for MARK, MANUF., CATALOG NUMBER, LAMP DATA, VOLTS, BALLAST DATA, INPUT WATTS, MOUNTING, and DESCRIPTION.

NOTES: 1. CATALOG NUMBERS AND MANUFACTURERS ARE TO INDICATE TYPE AND QUALITY OF FIXTURE DESIRED. 2. EXIT AND EMERGENCY LIGHTING FIXTURES SHALL BE CIRCUITED TO AN UNSWITCHED LEG OF THE LOCAL LIGHTING CIRCUIT, UNLESS NOTED OTHERWISE.

LIGHTING SYSTEMS ENERGY CONSERVATION CODE SECTION 405

THIS PROJECT IS CLASSIFIED AS - [ ] RESIDENTIAL [X] COMMERCIAL (SEE BELOW)

LIGHTING POWER DENSITY CALCULATION COMPLIANCE

INTERIOR LIGHTING POWER DENSITY CALCULATION PER TABLE 405.4.2. SEE LIGHTING FIXTURE SCHEDULE FOR FIXTURE INFORMATION. INTERIOR WATTAGE SPECIFIED VS. ALLOWED 1,098 VS. 1,320

DESIGNER STATEMENT:

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DESIGN OF THIS BUILDING COMPLIES WITH THE LIGHTING SYSTEMS REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE, SECTION C405 AND ANY LOCAL AMENDMENTS THEREOF.

SIGNED: [Signature] NAME: PAUL SCOTT TITLE: ELECTRICAL ENGINEER

SECTION 406 COMPLIANCE - [ ] N/A [ ] 406.11 [X] 406.12 [ ] 406.13 [ ] 406.14 [ ] 406.15 [ ] 406.16

EXISTING

Table showing existing electrical panel A load summary with columns for DESCRIPTION, POL, WIRE SIZE, BRK SIZE, CT, and DESCRIPTION.

EXISTING LOADS ARE SHOWN FAINT. 1. PANEL IS EQUAL TO ITC EQ LOAD CENTER. 2. E.C. TO FIELD VERIFY ALL EXISTING CONDITIONS AND LOCATIONS OF EQUIPMENT PRIOR TO BIDDING WORK.

REVISED PANEL "A" LOAD SUMMARY

Table showing revised electrical panel A load summary with columns for LOAD TYPE, kVA CONN, DEM FACT, and kVA DEM.

REVISED

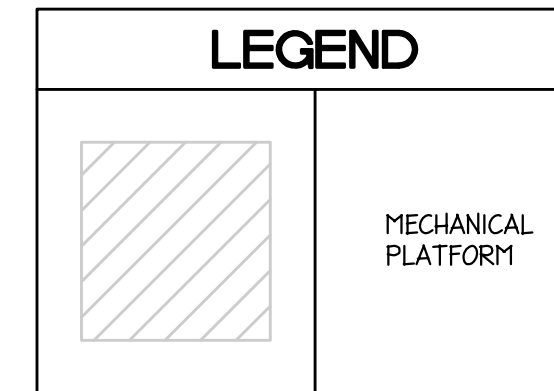
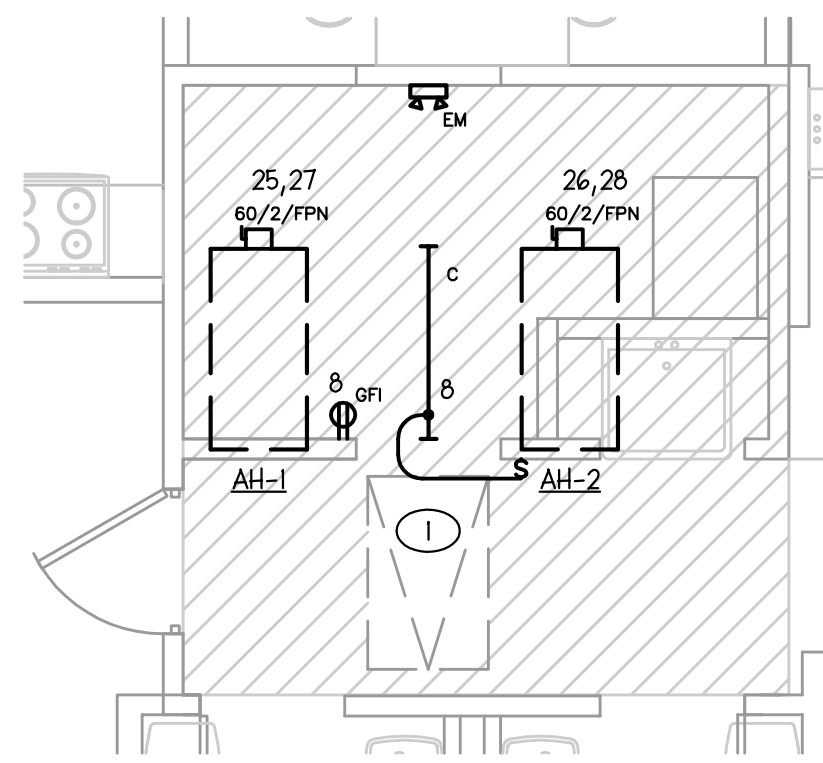
Table showing revised electrical panel A load summary with columns for DESCRIPTION, POL, WIRE SIZE, BRK SIZE, CT, and DESCRIPTION.

EXISTING LOADS ARE SHOWN FAINT; NEW AND/OR REVISED LOADS ARE SHOWN BOLD. 1. PANEL IS EQUAL TO ITC EQ LOAD CENTER. 2. PROVIDE AN UPDATED TYPED DIRECTORY IN ALL PANELBOARDS CLEARLY DESCRIBING THE LOCATION OF AND TYPE OF LOAD BEING SERVED FOR ALL CIRCUITS.

Drawing Sheet List table with columns for # and Title, listing sheets E1, E2, and E3.

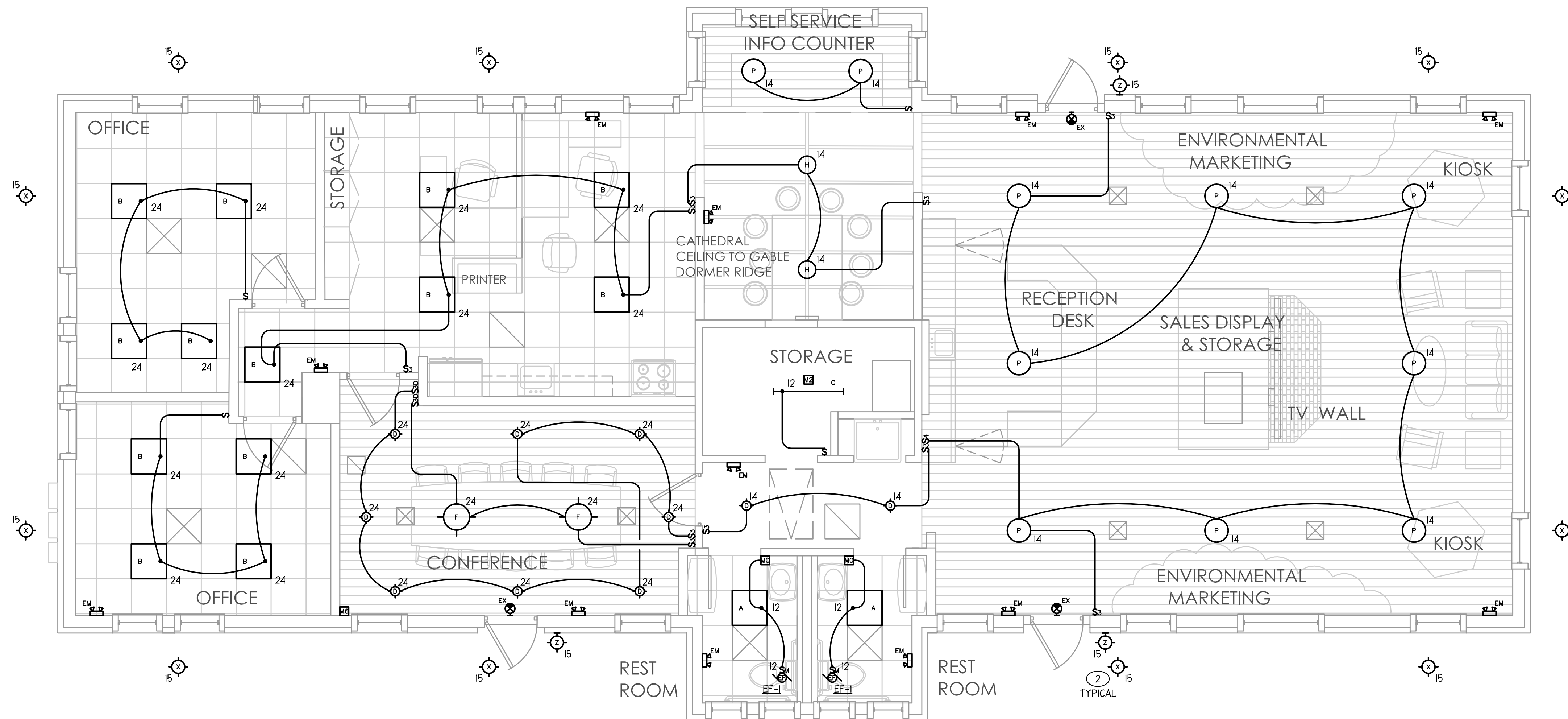
Vertical sidebar containing logos for Traub Architecture + Design, Inc., North Carolina Professional Engineer Seal, and project information including Sanford Train Depot Restoration and City of Sanford, North Carolina.





**NOTE:**  
 ANY CIRCUIT NUMBERS PROVIDED FOR EXISTING DEVICES ARE FOR GUIDANCE ONLY AND SHALL NOT BE RELIED UPON FOR SAFETY PURPOSES. THE INTENT IS FOR EXISTING DEVICES ON THIS PLAN TO REMAIN CIRCUITED AS IS, AND THE CONTRACTOR SHALL ADJUST CIRCUIT ASSIGNMENTS WITHIN A PANEL TO SUIT EXISTING CONDITIONS.

**2** ELECTRICAL - MECHANICAL PLATFORM  
 1/4" = 1'-0"



**1** ELECTRICAL LIGHTING FLOOR PLAN  
 1/4" = 1'-0"

**GENERAL NOTES: (ELECTRICAL LIGHTING PLANS)**

- EXISTING DEVICES ARE SHOWN FAINT. NEW AND/OR RELOCATED DEVICES ARE SHOWN **BOLD**. FIELD VERIFY EXACT LOCATION OF ALL DEVICES PRIOR TO STARTING WORK. EXISTING DEVICES SHALL REMAIN, UNLESS OTHERWISE NOTED.  
 E - EXISTING DEVICE TO REMAIN.  
 B - RELOCATE EXISTING FIXTURE OR DEVICE AND ALL ASSOCIATED CIRCUIT WIRING, SWITCHES, ETC. TO NEW LOCATION AS SHOWN.  
 REM - REMOVE EXISTING DEVICE AND ALL ASSOCIATED WIRING, SWITCHES, ETC.
- EXISTING INFORMATION WAS OBTAINED FROM SITE VISIT DATED 11-16-17 AND 03-10-23. E.C. SHALL VERIFY ALL FIELD CONDITIONS PRIOR TO BEGINNING WORK.
- LIGHTING FIXTURE AND SWITCH LOCATIONS SHALL BE COORDINATED WITH ARCHITECT AND OWNER PRIOR TO INSTALLATION.
- ALL CIRCUITS TO PANEL "A".

**TAGGED NOTES: (ELECTRICAL LIGHTING PLANS)**

- E.C. SHALL PROVIDE A GFI RECEPTACLE, SWITCH AND LIGHT FIXTURE "C" IN THE ATTIC. CONFIRM LOCATIONS WITH ARCHITECT AND OWNER PRIOR TO ROUGH-IN; COORDINATE WITH M.C. TO PROVIDE BEST ILLUMINATION AND ACCESS.
- E.C. SHALL REMOVE EXISTING EXTERIOR LIGHT FIXTURES AND REPLACE WITH NEW LIGHT FIXTURES AS INDICATED; COORDINATE WITH ARCHITECT AND OWNER PRIOR TO BEGINNING WORK.

TRAUB ARCHITECTURE + DESIGN, INC.  
 4800 Thomas Road  
 Raleigh, NC 27612  
 919.271.6098 cell  
 252.431.1849 office

LIGHTHOUSE ENGINEERING  
 200 W. Acorn Street, Suite 100  
 Raleigh, NC 27603  
 919.855.9754

NORTH CAROLINA PROFESSIONAL SEAL  
 No. C-2714  
 PAUL S. SCOTT  
 08/27/23

**SANFORD TRAIN DEPOT RESTORATION**  
 106 Charlotte Ave, Sanford, NC 27330  
 CITY of SANFORD, NORTH CAROLINA

REVISIONS
DATE 08-04-2023
DRAWN BY JRS
PROJECT NO. GTA-1701
ELECTRICAL PLANS - LIGHTING
SHEET E2

TRAUB ARCHITECTURE + DESIGN, INC.

**ELECTRICAL ABBREVIATIONS**

18"	DIMENSION INDICATES HEIGHT ABOVE FINISHED FLOOR AT WHICH CENTER OF DEVICE IS TO BE MOUNTED.
AFF	ABOVE FINISHED FLOOR.
AFG	ABOVE FINISHED GRADE.
E.C.	ELECTRICAL CONTRACTOR.
FPN	FUSE PER EQUIPMENT NAMEPLATE REQUIREMENTS.
G.C.	GENERAL CONTRACTOR.
M.C.	MECHANICAL CONTRACTOR.
P.C.	PLUMBING CONTRACTOR.
WP	INDICATES DEVICE TO HAVE WEATHERPROOF COVER.
UON	UNLESS OTHERWISE NOTED.
NL	NIGHT LIGHT, LIGHT NOT SWITCHED.

E.C. TO FIELD VERIFY ALL EXISTING CONDITIONS AND LOCATIONS OF EQUIPMENT PRIOR TO BIDDING WORK.

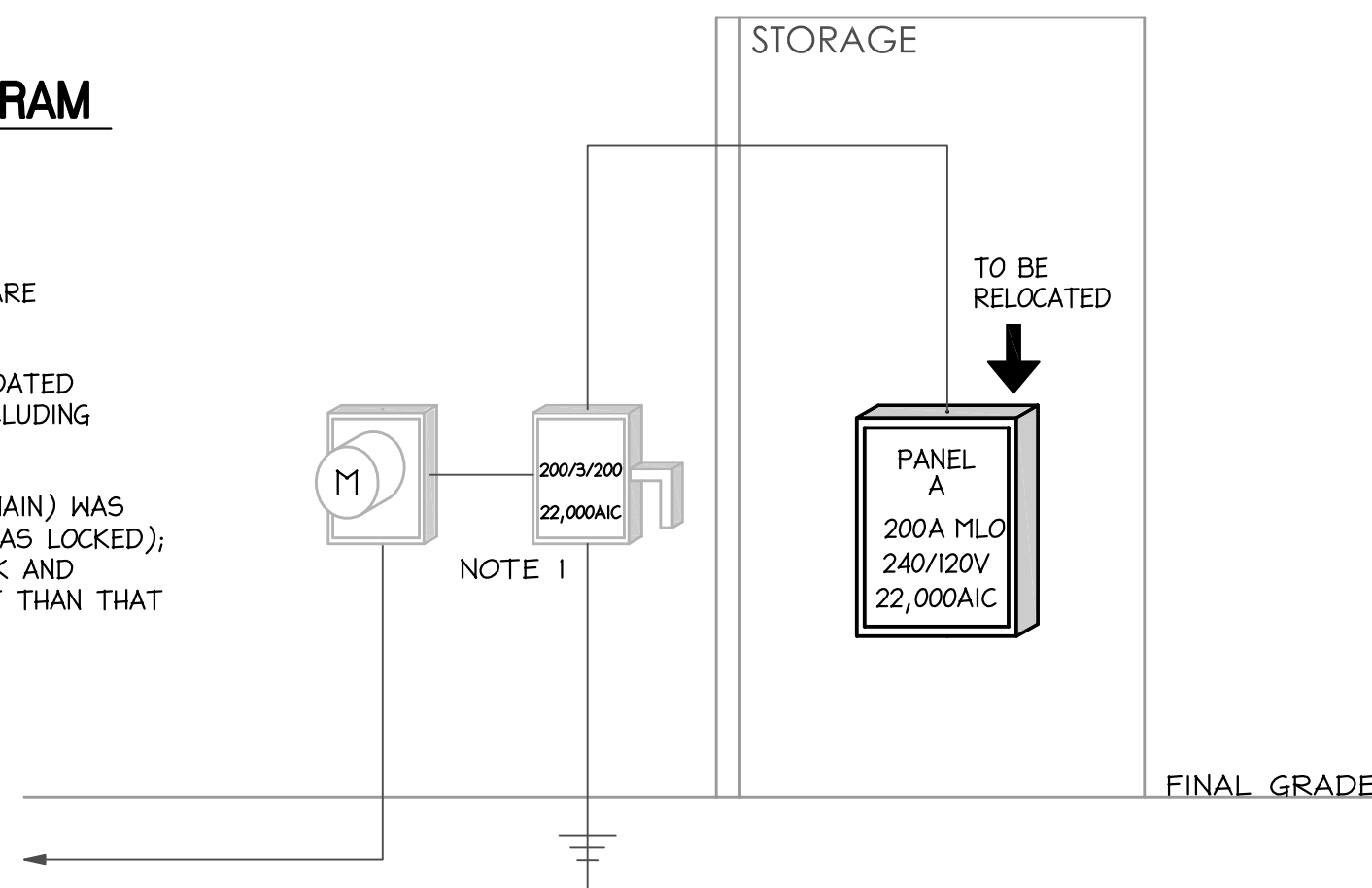
**2 EXISTING POWER RISER DIAGRAM**  
NOT TO SCALE

**EXISTING ELECTRICAL RISER DIAGRAM NOTES:**

ITEMS SHOWN FAINT ARE EXISTING, ITEMS SHOWN BOLD ARE REMOVED AND/OR RELOCATED.

EXISTING INFORMATION WAS OBTAINED FROM SITE VISIT DATED 05-20-20. E.C. SHALL VERIFY ALL FIELD CONDITIONS INCLUDING LOCATIONS OF ALL ELECTRICAL PANELS AND EQUIPMENT.

- AMPERAGE OF EXISTING DISCONNECT (200A, TO REMAIN) WAS BASED ON SITE VISIT INVESTIGATION (EQUIPMENT WAS LOCKED); E.C. SHALL CONFIRM SIZE PRIOR TO BEGINNING WORK AND NOTIFY ENGINEER IF SPECIFICATIONS ARE DIFFERENT THAN THAT LISTED ON THE DRAWINGS.

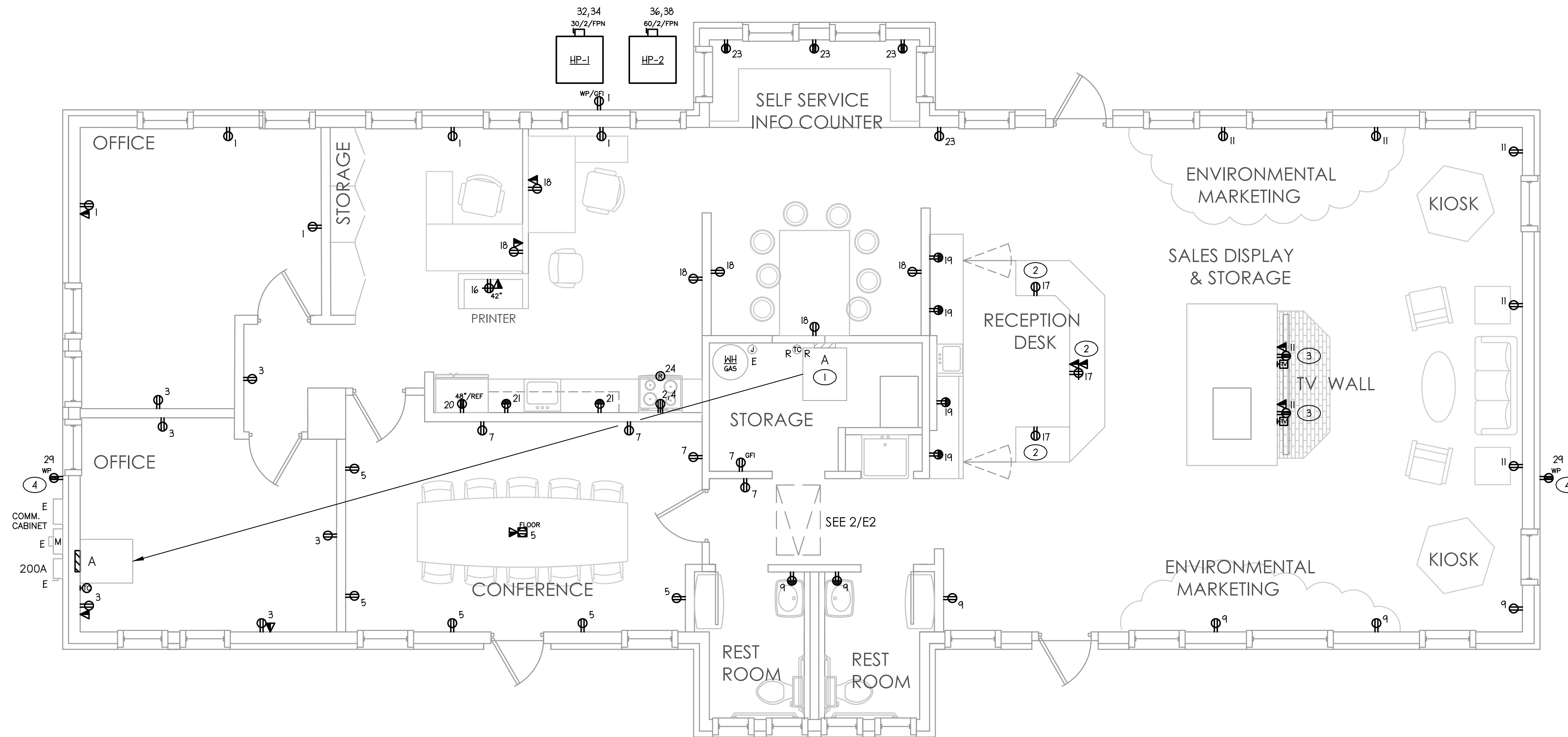
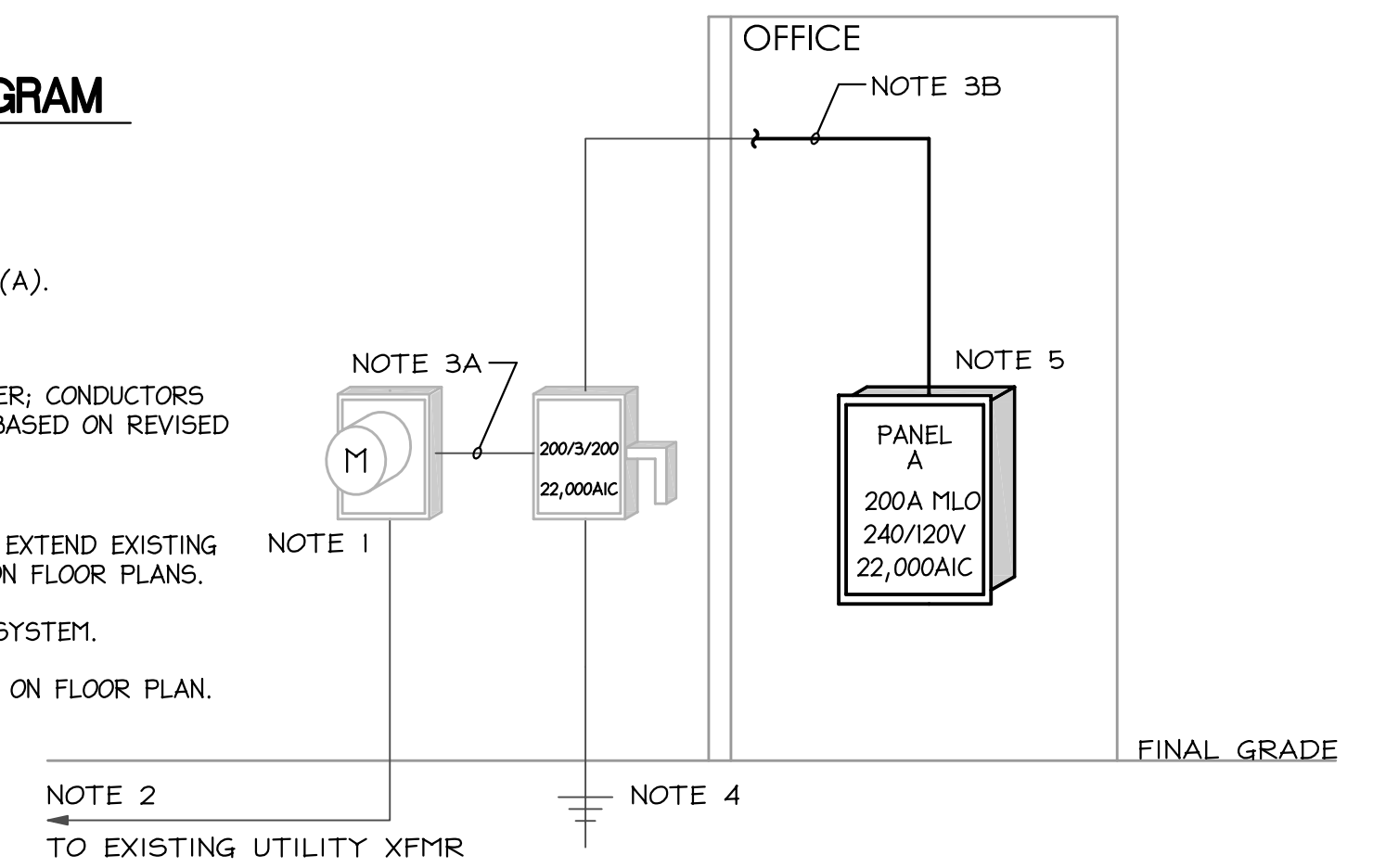


**3 REVISED POWER RISER DIAGRAM**  
NOT TO SCALE

**REVISED POWER RISER DIAGRAM NOTES:**

SERVICE EQUIPMENT SHALL BE LABELED PER NEC 110.24(A).

- EXISTING METER BASE.
- EXISTING SERVICE LATERAL CONDUCTORS TO METER; CONDUCTORS SHALL BE REVIEWED BY UTILITY FOR ADEQUACY BASED ON REVISED BUILDING OCCUPANCY.
- EXISTING 3#3/0 (CU), #6 CU. GND IN 2" CONDUIT; EXTEND EXISTING FEEDER TO NEW PANEL LOCATION AS INDICATED ON FLOOR PLANS.
- EXISTING #4 CU. GND TO GROUNDING ELECTRODE SYSTEM.
- EXISTING PANEL TO BE RELOCATED AS INDICATED ON FLOOR PLAN.



**ELECTRICAL DEMOLITION NOTES**

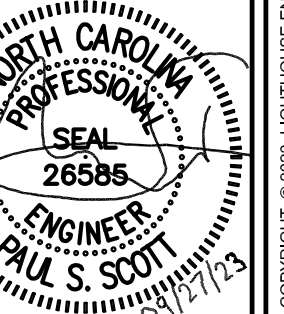
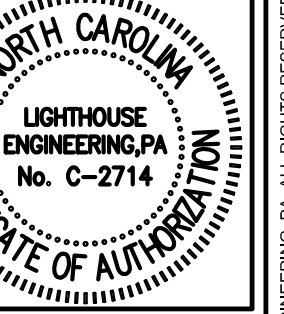
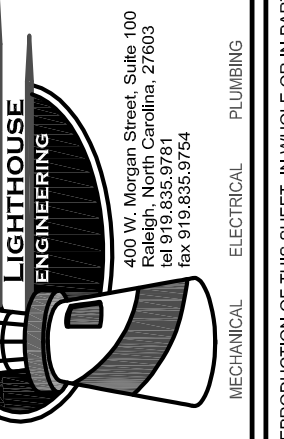
- DRAWINGS ARE BASED ON EXISTING PLANS AND NON-DESTRUCTIVE FIELD INVESTIGATIONS. THE CONTRACTOR SHALL VISIT THE EXISTING BUILDING AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS. THE CONTRACTOR SHALL EXAMINE RELATED DRAWINGS TO AVOID CONFLICTS.
- PROVIDE ELECTRICAL DEMOLITION WORK AS NECESSARY TO INSTALL NEW WORK. ELECTRICAL CONTRACTOR SHALL REROUTE AND RECONNECT ANY CIRCUITS THAT WILL REMAIN IN USE BUT INTERFERES WITH NEW CONSTRUCTION.
- MATERIAL BEING REMOVED UNDER DEMOLITION (AND NOT TO BEING RELOCATED) SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED COMPLETELY FROM THE SITE, UNLESS OTHERWISE NOTED.
- EXISTING CONDUITS THAT WILL NOT BE REUSED SHALL BE REMOVED IN CEILING PLENUMS AND WALLS. OTHERS MAY BE ABANDONED BELOW FLOOR SLABS. CONTRACTOR SHALL REMOVE ALL WIRING FROM ABANDONED CONDUITS. CUT-OFF ABANDONED CONDUITS BELOW FLOOR AND GROUT FLUSH WITH NON-CONTRACTING GROUT.
- ABANDONED DEVICES SHALL BE REMOVED WITH THE JUNCTION BOX. WALLS SHALL BE PATCHED TO MATCH ADJACENT SURFACES.
- CONTRACTOR SHALL EXERCISE CARE IN REMOVING DEMOLITION ITEMS AND SHALL REPAIR OR REPLACE AT HIS COST ANY DAMAGE CAUSED TO EXISTING CONSTRUCTION AND EQUIPMENT TO REMAIN.
- SCHEDULE WORK IN EXISTING BUILDING AT TIME CONVENIENT TO OWNER.
- DEVICES TO BE REMOVED AND NOT REINSTALLED SHALL HAVE JUNCTION BOXES, CONDUCTORS, CONDUIT AND ALL ASSOCIATED APPURTENANCES REMOVED BACK TO LAST ACTIVE DEVICE OR PANELBOARD.

**1 ELECTRICAL POWER - FLOOR PLAN**  
1/4" = 1'-0"

**TAGGED NOTES: (ELECTRICAL POWER PLANS)**

- EXISTING ELECTRICAL PANEL AND TIMECLOCK TO BE RELOCATED; EXTEND EXISTING WIRING AS REQUIRED. FURF-OUT AROUND ELECTRICAL PANEL SO THAT PANEL IS RECESSED MOUNTED. COORDINATE WITH ARCHITECT. PROVIDE LOCKABLE COVER FOR ELECTRICAL PANEL AND TIMECLOCK.
- COORDINATE EXACT LOCATION AND MOUNTING HEIGHT WITH OWNER AND MILLWORK PROVIDED.
- COORDINATE EXACT LOCATION, REQUIREMENTS AND MOUNTING HEIGHT WITH MANUFACTURER AND MILLWORK PROVIDED.
- PROVIDE RECEPTACLE AT EAVES FOR EXTERIOR PLUG-IN LIGHTING; COORDINATE FINAL LOCATION WITH OWNER PRIOR TO ROUGH-IN.

TRAUB ARCHITECTURE + DESIGN, INC.  
4870 Thomas Road  
Sanford, NC 27330  
919.271.4695 cell  
252.431.1849 office



**SANFORD TRAIN DEPOT RESTORATION**  
106 Charlotte Ave, Sanford, NC 27330  
CITY of SANFORD, NORTH CAROLINA

REVISIONS


DATE  
08-04-2023

DRAWN BY  
JRS

PROJECT NO.  
GTA-1701

ELECTRICAL  
PLANS -  
POWER

SHEET  
E3

TRAUB ARCHITECTURE + DESIGN, INC.

**HVAC GENERAL NOTES**

- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIAL AND EQUIPMENT IN STRICT ACCORDANCE WITH THE 2018 NORTH CAROLINA MECHANICAL CODE, ALL STATE AND LOCAL CODES AND STANDARDS, AND PER MANUFACTURER'S DIRECTIONS.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL NECESSARY PERMITS, LICENSE, INSPECTIONS, APPROVALS, AND FEES.
- THE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES BEFORE INSTALLATION OF ANY MATERIALS OR EQUIPMENT.
- THESE DRAWINGS ARE DIAGRAMMATIC AND SHOW GENERAL LOCATION AND ARRANGEMENT OF ALL MATERIALS AND EQUIPMENT. THE DRAWINGS SHALL BE FOLLOWED AS CLOSELY AS BUILDING CONSTRUCTION AND ALL OTHER WORK WILL PERMIT.
- DO NOT SCALE DRAWINGS FOR MEASUREMENTS.
- ALL DUCT DIMENSIONS SHOWN ARE INTERIOR DUCT DIMENSIONS.
- ALL PENETRATIONS THROUGH EXTERIOR WALLS & ROOF SHALL BE FLASHED & COUNTERFLASHED IN A WATERPROOF MANNER (COLOR TO MATCH EXTERIOR).
- SEAL ALL PENETRATIONS OF RATED WALLS WITH FIRE DAMPER OR SEALANT MATERIAL APPROVED BY LOCAL CODE. TO BE INSTALLED PER MFG. INSTRUCTIONS.
- ALL SUSPENDED MATERIALS AND EQUIPMENT SHALL BE INDIVIDUALLY SUPPORTED FROM THE BUILDING STRUCTURE. DO NOT SUSPEND ITEMS FROM THE CEILING OR ITS SUPPORT SYSTEM.
- INSTALL ALL CONTROL DEVICES, INCLUDING THERMOSTATS AND SWITCHES, 4'-0" ABOVE FINISHED FLOOR FROM TOP OF DEVICE. PROVIDE THE REQUIRED DEVICE(S) FOR ALL SYSTEMS WHETHER LOCATED ON THE PLANS OR NOT.
- LOCATE CEILING DIFFUSERS IN ACCORDANCE WITH ARCHITECTURAL REFLECTED CEILING PLANS (IF PROVIDED).
- PROVIDE MANUFACTURER'S RECOMMENDED CLEARANCES AROUND MECHANICAL UNITS FOR MAINTENANCE AND FILTER REMOVAL.
- ALL PIPING AND DUCTWORK LOCATIONS SHALL BE COORDINATED W/ WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS, TO AVOID INTERFERENCE.
- ALL SUPPLY, RETURN AND OUTSIDE AIR DUCTS SHALL BE INSULATED AS FOLLOWS:  

CONDITIONED SPACES	R-6 MINIMUM
NON-CONDITIONED SPACES	R-8 MINIMUM

 CONCEALED SHEET METAL DUCT MAY BE EXTERNALLY INSULATED WITH MINERAL FIBER BOARD OR BLANKET OR MAY BE INTERNALLY INSULATED WITH DUCT LINER. THE FIRST 15' FROM THE AIR HANDLER SHALL BE INTERNALLY LINED.
- CERTIFIED TEST AND BALANCE CONTRACTOR SHALL BALANCE SYSTEM TO AIR QUANTITIES INDICATED ON PLANS AND PROVIDE OWNER'S REPRESENTATIVE WITH COMPLETE BALANCE REPORT. IF BALANCING DAMPERS ARE NOT PROVIDED IN RETURN DUCTWORK, CONTRACTOR SHALL BALANCE SUPPLY SIDE TO AIR QUANTITIES INDICATED ON PLANS AND SHALL BALANCE OUTSIDE AIR AND RETURN AIR FLOWS AT THE AIR HANDLER TO AIR QUANTITIES INDICATED IN THE SCHEDULE. PROVIDE NEW AIR FILTERS FOR EACH UNIT.
- AS REQUIRED BY LOCAL CODES, MECHANICAL CONTRACTOR SHALL PROVIDE U.L. LISTED FIRE DAMPERS WHERE REQUIRED FOR FIRE PROTECTION REQUIREMENTS OF THE HVAC SYSTEM & THE UL ASSEMBLY.
- PROVIDE 1 YEAR WARRANTY ON ALL EQUIPMENT AND 5 YEAR WARRANTY ON ALL COMPRESSORS.
- ALL INTAKE OPENINGS SHALL BE LOCATED A MINIMUM OF 10'-0" FROM ALL EXHAUST LOCATIONS.
- CONDENSATE DRAIN PIPING AND FITTINGS SHALL BE SCHEDULE 40 PVC WHEN LOCATED IN NON-PLENUM LOCATIONS. PIPING TO BE SCHEDULE 40 CPVC RATED FOR PLENUM INSTALLATION OR PVC WRAPPED WITH PLENUM RATED INSULATION WHEN LOCATED IN PLENUM LOCATIONS. DRAINS FROM AIR HANDLING UNITS SHALL BE TRAPPED.
- A COMPLETE SYSTEM OF SEISMIC RESTRAINTS SHALL BE DESIGNED BY MASON INDUSTRIES & SEALED BY THEIR REGISTERED ENGINEER & INSTALLED BY THIS CONTRACTOR, AS REQ'D BY APPLICABLE CODES FOR THE LOCALE OF THIS PROJECT.
- ALL MAIN DUCTWORK SHALL BE GALVANIZED SHEET METAL CONSTRUCTED IN ACCORDANCE WITH SMACNA STANDARDS. RUNOUTS FROM MAIN BRANCH DUCTS MAY BE FLEXIBLE DUCT CONFORMING TO THE REQUIREMENTS OF UL 181 FOR CLASS I FLEXIBLE AIR DUCTS.
- THE MECHANICAL CONTRACTOR SHALL PROVIDE REFRIGERANT AND LOW VOLTAGE CONTROL LINES FROM THE CONDENSER(S) TO THE AIR HANDLING UNIT(S). COORDINATE ROUTING AND INSTALLATION WITH THE GENERAL CONTRACTOR. SIZE REFRIGERANT LINES PER MANUFACTURER'S REQUIREMENTS.
- ELECTRICAL CONTRACTOR TO PROVIDE ALL HIGH VOLTAGE ELECTRICAL WIRING, CONDUIT, DISCONNECT SWITCHES, FUSES, ETC. TO SPLIT SYSTEM UNIT(S). ALL FINAL ELECTRICAL CONNECTIONS ARE BY ELECTRICAL CONTRACTOR.
- OUTSIDE AIR DUCTWORK SHALL BE WRAPPED WITH 1 1/2" FIBERGLASS DUCT WRAP WITH VAPOR BARRIER.
- REFRIGERANT PIPING, NOT SHOWN ON PLANS, SHALL BE SIZED & INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, INSTALLATION INSTRUCTIONS AND LOCAL CODES.
- MECHANICAL CONTRACTOR SHALL VERIFY LOCATION OF ALL PENETRATIONS FOR RELIEF HOODS, OUTSIDE AIR HOODS, LOUVERS, AND WALL CAPS WITH ARCHITECT & OWNER PRIOR TO INSTALLATION.
- MECHANICAL CONTRACTOR SHALL PAINT ALL RELIEF HOODS, INTAKE HOODS, LOUVERS, AND VENT CAPS. CONFIRM COLOR WITH ARCHITECT & OWNER PRIOR TO INSTALLATION.
- ALL CUTTING AND PATCHING OF WALLS AND FLOORS FOR MECHANICAL EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR.
- M.C. SHALL CONSULT OWNER OR OWNER'S REPRESENTATIVE WITH REGARD TO ALL DEMO/REMOVED EQUIPMENT FOR DISPOSAL OR RESALE.

**SYSTEM COMMISSIONING NOTES (NCECC C408)**

COMMISSIONING REQUIREMENTS ARE NOT REQUIRED FOR THIS BUILDING, PER EXEMPTION UNDER NCECC C408.1, WHICH ALLOWS COMMISSIONING EXEMPTIONS FOR BUILDINGS LESS THAN OR EQUAL TO 10,000 SQUARE FEET OF CONDITIONED SPACE. THIS BUILDING CONTAINS 2,400 SQUARE FEET OF CONDITIONED SPACE.

**SPLIT SYSTEM HEAT PUMP UNIT SCHEDULE**

AIR HANDLING UNIT DATA														HEAT PUMP					ELECTRICAL DATA			NOTES
UNIT TAG	AREA SERVED	MANUF. MODEL	FAN DATA			COOLING		HEAT		AUX.		ELECTRICAL DATA			GENERAL DATA			ELECTRICAL DATA				
			FAN CFM	ESP (# OF WG)	MOTOR (HP)	OA (CFM)	TOTAL (MEH)	SENS. (MEH)	TOTAL (MEH)	HEAT (KW/240)	VOLTAGE (V/PH)	MCA (A)	MOCF (A)	UNIT TAG	MANUF. MODEL	TONNAGE	SEER 2	HSPF 2	VOLTAGE (V/PH)	MCA (A)		MOCF (A)
AH-1	OFFICES	CARRIER FVACNF002	950	0.50"	1/2	200	28.8	21.6	17.2	8	240/1Ø	48.5	50	HP-1	CARRIER 25SCA530	2.5	14.3	7.8	240/1Ø	18.2	30	1-13
AH-2	MAIN LOB.	CARRIER FVACNF005	1300	0.50"	1/2	200	40.0	30.0	25.2	10	240/1Ø	58.5	60	HP-2	CARRIER 25SCA542	3.5	15.2	7.8	240/1Ø	24.7	40	1-13

**NOTES:**

- COOLING CAPACITIES ARE RATED IN ACCORDANCE WITH ARI STANDARD 210/240 AT 95°F AMBIENT OUTDOOR AIR TEMP., 80°F DRY BULB, 67°F WET BULB ENTERING AIR TEMP., AND AIR QUANTITY LISTED BY MFG. UNITS ABOVE 5 TONS ARE RATED IN ACCORDANCE WITH ARI STANDARD 340.
- REFRIG. PIPING TO BE SIZED PER TOTAL INSTALL. EQUIV. LENGTH. LONG-LINE APP. TO BE PROVIDED WHENEVER MFG. RECOMM. LENGTHS ARE EXCEEDED, INCL. LIQ. LINE SOLENOID VALVES, ACCUMULATOR, ETC. MAX T.E.L. IS PER MFG.
- PROVIDE SINGLE POINT ELECTRICAL CONNECTION FOR AIR HANDLING UNIT.
- PROVIDE 3 SETS OF NEW FILTERS FOR EACH UNIT. PROVIDE ONE AT INSTALLATION, ONE PRIOR TO AIR BALANCE AND ONE AT TURNOVER TO OWNER.
- SYSTEMS SHALL HAVE A MINIMUM 14.3 SEER2 AND 7.5 HSPF2 RATING.
- PROVIDE MANUFACTURER'S 7-DAY PROGRAMMABLE THERMOSTAT W/ HUMIDITY CONTROLS AND MANUAL OVERRIDE.
- PROVIDE BI-FLOW TVX FOR HEAT PUMP OPERATION.
- AHU TO USE HORIZONTAL APPLICATION.
- RETURN AIR THROUGH DUCTED GRILLE(S).
- RUN CONDENSATE TO EXTERIOR DOWN TO GRADE, AWAY FROM FOOT TRAFFIC, TOWARDS STORM RUN-OFF. IF NOT POSSIBLE FOR A GRAVITY RUN, PROVIDE CONDENSATE PUMP.
- OUTDOOR THERMOSTAT TO LOCK-OUT ELECTRIC HEAT WHEN TEMPERATURE IS 40°F OR HIGHER. PROVIDE UNIT WITH EMERGENCY HEAT OVERRIDE OPTION.
- LOW AMBIENT KIT DOWN TO 0°F.
- CATALOG NUMBERS AND MANUFACTURERS ARE TO INDICATE TYPE AND QUALITY OF UNIT DESIRED. SUBMIT CUTSHEETS OF THESE AND ALTERNATE MANUFACTURERS FOR ARCHITECT AND OWNER APPROVAL PRIOR TO PURCHASE OF ANY UNITS. INFORMATION ON ALTERNATE UNITS PROPOSED BY THE CONTRACTOR SHALL INCLUDE THE ADD/DUCT ASSOCIATED WITH ACCEPTANCE OF THAT UNIT (OR THE ALTERNATE PACKAGE AS A WHOLE).

**FAN SCHEDULE**

UNIT NO.	SERVICE	AREA SERVED	CFM	S.P.	RPM	TYPE & ARRANGEMENT	MIN. MOTOR HP & VOLTAGE	MANUFACTURER & MODEL NO.	DRIVE	CONTROL SCHEME	REMARKS
EF-1	EXHAUST	UNITS	80	0.10"	MFG	CEILING	43 WATTS/0.4 A 120/1Ø	BROAN MODEL A80	DIRECT	LIGHTS	1-4

**NOTES:**

- SCREEN
- BACKDRAFT DAMPER
- COLOR BY ARCHITECT
- INTEGRAL DISCONNECT SWITCH

**DIFFUSER SCHEDULE**

SYMBOL	CFM	NECK SIZE	MODULE SIZE	FRAME TYPE	PATTERN	DAMPER	MATERIAL	SERVICE	FINISH	MANUFACTURER & MODEL NO.	NOTES
(A)	AS NOTED	AS NOTED	12x12	SURFACE	4-WAY	YES	STEEL	SUPPLY	NOTE 2	TITUS TDC	1-3
(B)	AS NOTED	AS NOTED	12x12	SURFACE	FIXED	NO	STEEL	RETURN	NOTE 2	TITUS PAR	1-3
(C)	AS NOTED	AS NOTED	24x24	SURFACE	FIXED	NO	STEEL	RETURN	NOTE 2	TITUS PAR	1-3
(D)	AS NOTED	AS NOTED	24x24	LAY-IN	FIXED	NO	STEEL	RETURN	NOTE 2	TITUS PAR	1-3
(E)	AS NOTED	AS NOTED	24x24	LAY-IN	4-WAY	YES	STEEL	SUPPLY	NOTE 2	TITUS TDC	1-3
(F)	AS NOTED	AS NOTED	AS NOTED	SURFACE	ADJ.	YES	STEEL	SUPPLY	NOTE 2	TITUS 300RS	1-3

**NOTES:**

- DIFFUSER DESIGNATIONS ON PLANS AS FOLLOWS:  
 DIFFUSER OR NECK SIZE:  $\frac{8x4}{75}$  (A) DIFFUSER TYPE AS NOTED ABOVE
- FINISH TO MATCH / BE ABLE MATCH CEILING OR WALL OR DOOR.
- FACTORY INSULATION BACKING ON GRILLES EXPOSED TO NON-CONDITIONED AREAS. ALTERNATELY, FIELD SUPPLY AND INSTALL.

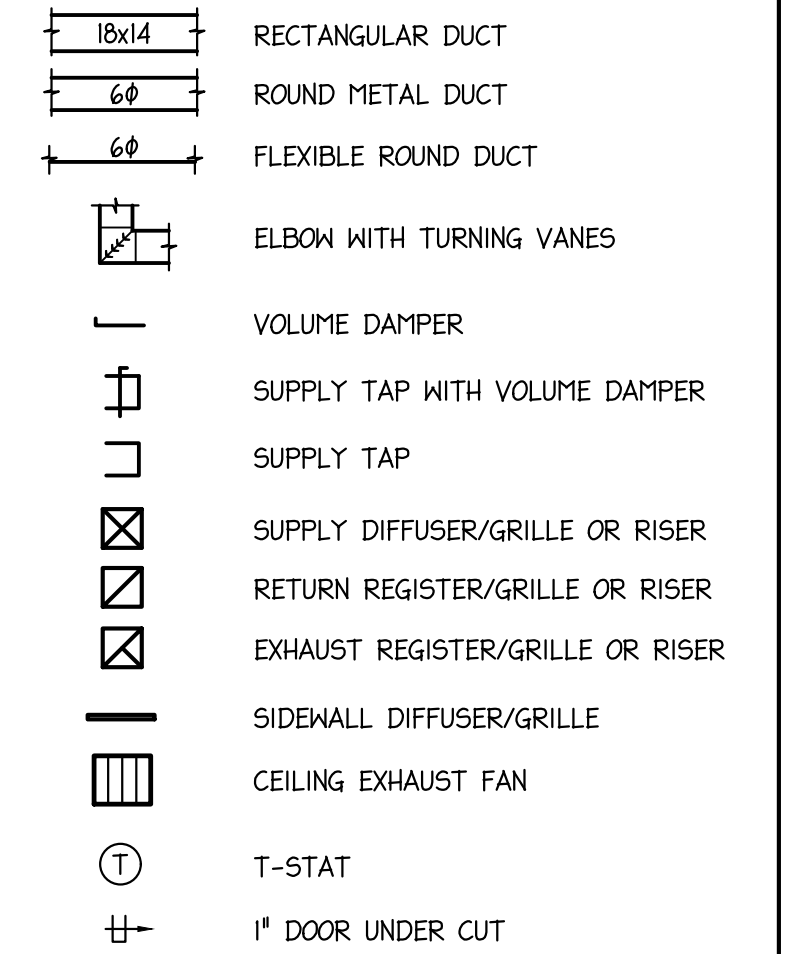
**GRAVITY VENTILATOR SCHEDULE**

UNIT DESIG.	AREA SERVED	FUNCTION	MANUFACTURER & MODEL #	CFM	MOUNTING	PRESSURE DROP	NOTES
GV-1	OA INTAKE	INTAKE	GREENHECK GRSI-8	200	ROOF	0.06"	1-4

**NOTES:**

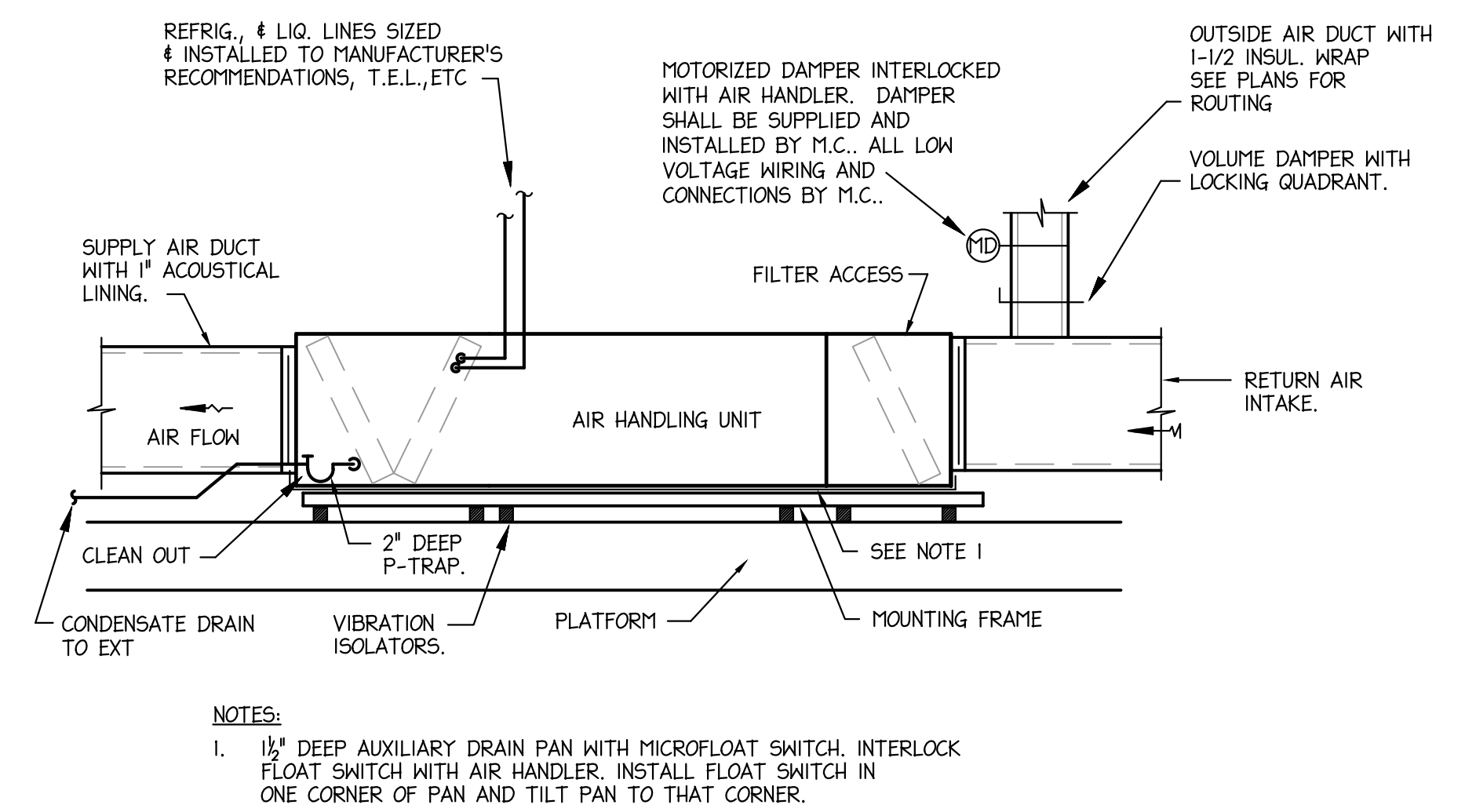
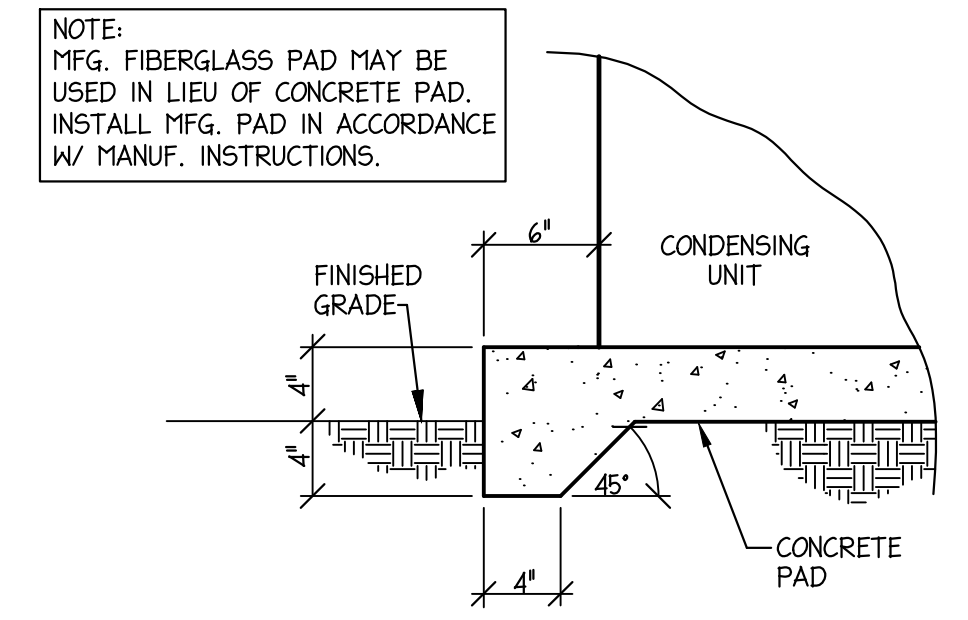
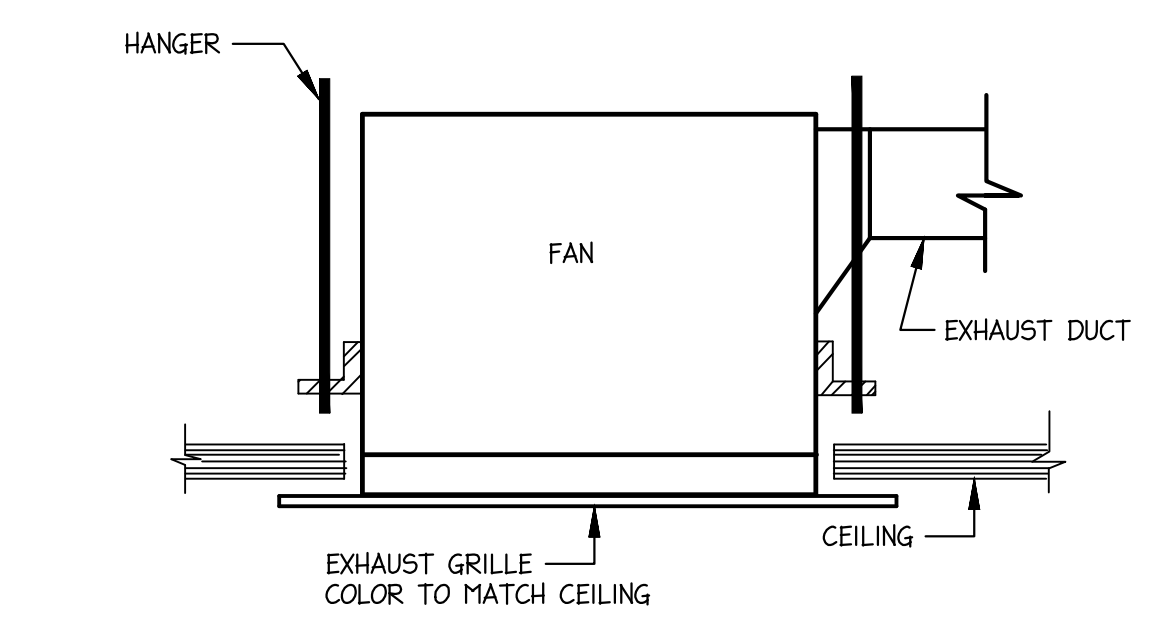
- PROVIDE FACTORY MANUFACTURED ROOF CURB.
- COLOR TO MATCH ROOF.
- INSTALL W/ BACKDRAFT DAMPER.
- INSTALL W/ INSECT SCREEN.

**MECHANICAL LEGEND**



**Drawing Sheet List**

#	Title
M1	MECHANICAL LEGEND, NOTES, & SCHEDULES
M2	MECHANICAL PLANS



TRAUB ARCHITECTURE + DESIGN, INC.  
4890 Thomas Road  
Henderson, NC 27537  
919.271.6098 cell  
252.431.1849 office

LIGHTHOUSE ENGINEERING, PA  
400 W. Morgan Street, Suite 200  
Wilmington, NC 28403  
919.733.0094

NORTH CAROLINA STATE OF AUTHORITY  
LIGHTHOUSE ENGINEERING, PA  
No. C-2714

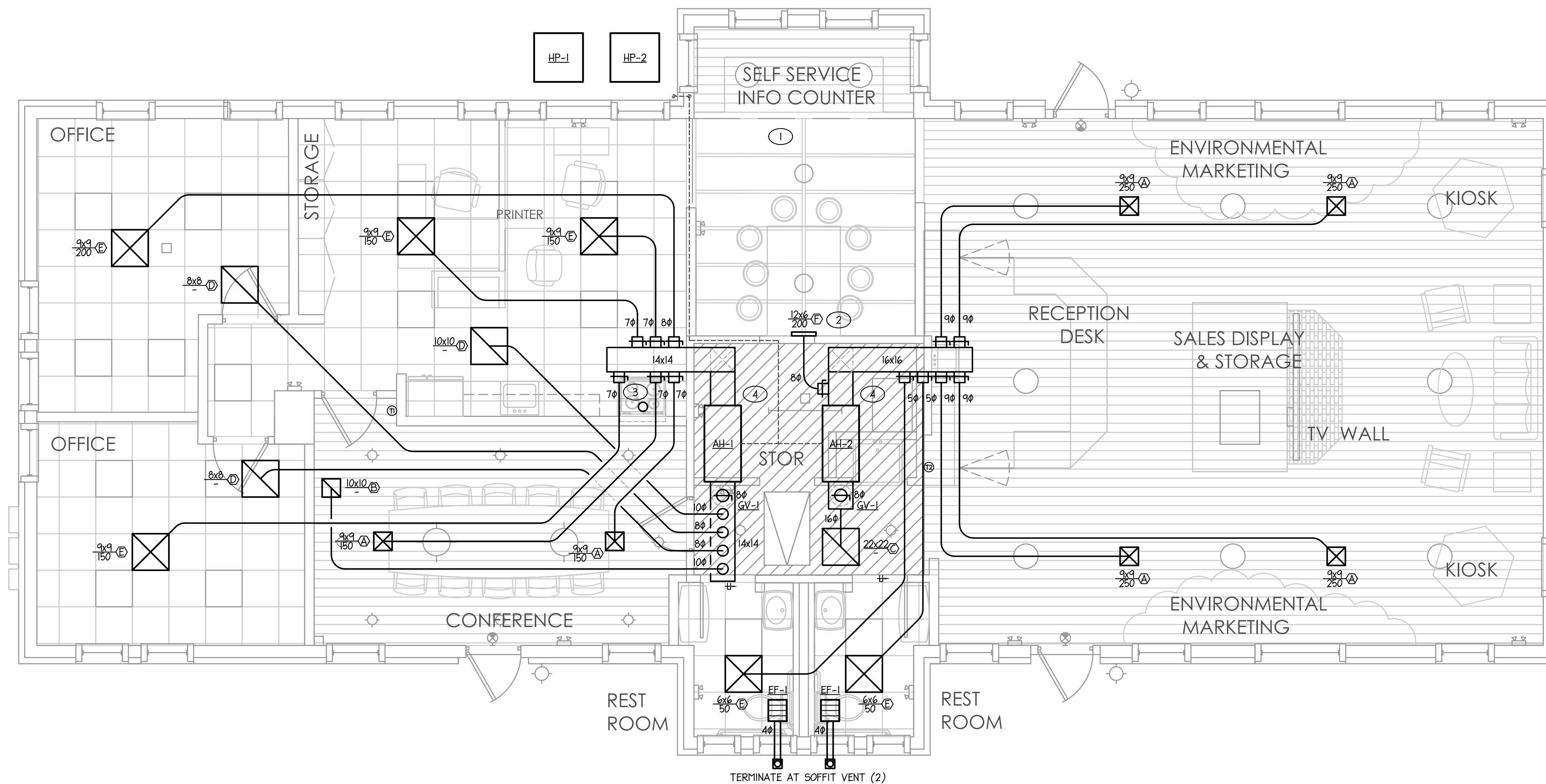
NORTH CAROLINA PROFESSIONAL SEAL  
SEAL 28385  
SCOTT A. BROWN  
11/23

**SANFORD TRAIN DEPOT RESTORATION**  
106 Charlotte Ave, Sanford, NC 27330  
CITY of SANFORD, NORTH CAROLINA

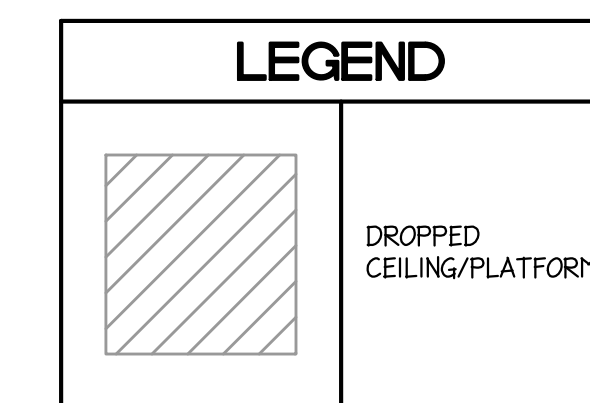
REVISIONS

DATE	08-04-2023
DRAWN BY	SDT
PROJECT NO.	GTA-1701
MECHANICAL LEGEND, NOTES, & SCHEDULES	
SHEET	M1

TRAUB ARCHITECTURE + DESIGN, INC.



1 FLOOR PLAN  
1/4" = 1'-0"



- TAGGED NOTES - THIS SHEET**
- ① DOUBLE HEIGHT SPACE.
  - ② ADJUST DIFFUSER FINS TOWARDS WALLS, WINDOWS, AND OCCUPANTS.
  - ③ RANGE HOOD EXHAUST TO ROOF CAP. CONFIRM DUCT SIZE AND GAUGE WITH MFG. REGS.
  - ④ AIR HANDLERS ARE LOCATED IN A DROPPED CEILING CAVITY WITH MECHANICAL PLATFORM. DUCTWORK TO ROUTE UP INTO ATTIC SPACE.
  - ⑤ OA DUCT TO TERMINATE AT GV-1 ON ROOF. PLACE MIN. 10' AWAY FROM EXHAUST TERMINATIONS.

MECHANICAL VENTILATION CALCULATIONS											
HVAC Unit	Location	Zone	Occupant Density (People/1000 sf)	Outdoor Air CFM/Person (Rp)	Zone Population (Pz)	Zone Outdoor Air (Ra)	Floor Area (Az)	Initial Zone Outdoor Airflow (Vbz)	Zone Area Distribution Effectiveness (Ez)	Required Zone Outdoor Airflow (Voz)	Design Zone Outdoor Airflow (CFM)
AH-1	Offices	Office	5	5	3.65	0.06	730	62.1	0.8	77.6	
		Conference	50	5	13	0.06	260	80.6	0.8	100.8	200
										178.3	
AH-2	Lobby	Entry/Lobby	10	5	11.7	0.06	1170	128.7	0.8	160.9	200

Calculations are based on the 2018 NCMC Table 403.3,  $Vbz = RpPz + RaAz$ ,  $Voz = Vbz/Ez$

TRAUB ARCHITECTURE + DESIGN, INC.  
4890 Thomas Road  
Henderson, NC 27537  
919.271.6998 cell  
252.431.1849 office

LIGHTHOUSE ENGINEERING  
400 W. Morgan Street, Suite 100  
Sanford, NC 27330  
Tel: 919.233.9199  
www.lighthouse-engineering.com

NORTH CAROLINA  
Lighthouse Engineering, P.A.  
No. C-2714  
STATE OF AUTHORITY

NORTH CAROLINA  
Professional Engineer  
Scott A. Brown  
No. 28385

**SANFORD TRAIN DEPOT RESTORATION**  
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CITY of SANFORD, NORTH CAROLINA

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PROJECT NO.  
GTA-1701

MECHANICAL PLANS

SHEET  
M2

TRAUB ARCHITECTURE + DESIGN, INC.

**PLUMBING GENERAL NOTES**

- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIAL AND EQUIPMENT IN STRICT ACCORDANCE WITH THE 2018 NORTH CAROLINA PLUMBING CODE AND ALL STATE AND LOCAL CODES, STANDARDS, AND PER MANUFACTURER'S DIRECTIONS.
- ALL PLUMBING FIXTURES AND PLUMBING SYSTEM EQUIPMENT SHALL BE PROVIDED COMPLETE WITH ALL ACCESSORIES, HANGERS, VALVES, STOPS, TAILPIECES, TRAPS, FAUCETS, STRAINERS, ETC. SEE FIXTURE SCHEDULE.
- FURNISH AND INSTALL COMPLETE SYSTEMS OF SOIL, WASTE, VENT, HOT AND COLD WATER PIPING FROM ALL PLUMBING FIXTURES, AND/OR OTHER EQUIPMENT.
- CLEANOUT PLUGS SHALL BE INSTALLED IN ACCORDANCE WITH PLUMBING CODE REQUIREMENTS. PROVIDE CLEANOUTS AT THE BASE OF ALL WASTE STACKS, AT EVERY FOUR 45 DEGREE TURNS, AND AT EVERY 100 FEET. CLEANOUTS SHALL BE PLACED IN READILY ACCESSIBLE LOCATIONS.
- ALL SOIL, WASTE, AND VENT LINES SHALL BE CONCEALED IN THE BUILDING CONSTRUCTION.
- COPPER PIPING SHALL BE PROTECTED AGAINST CONTACT WITH MASONRY OR DISSIMILAR METALS. ALL HANGERS, SUPPORTS, ANCHORS, AND CLIPS SHALL BE COPPER OR COPPER PLATED. WHERE COPPER PIPING IS CARRIED ON IRON TRAPEZE HANGERS WITH OTHER PIPING, SATISFACTORY AND PERMANENT ELECTROLYTIC ISOLATION MATERIAL SHALL PROTECT THE COPPER AGAINST CONTACT WITH OTHER METALS.
- WHERE COPPER PIPING IS SLEEVED THROUGH MASONRY, SLEEVES SHALL BE COPPER OR RED BRASS. WHERE COPPER MUST BE CONCEALED IN A MASONRY PARTITION OR AGAINST MASONRY, CONTACT SHALL BE PREVENTED BY COATING THE COPPER HEAVILY WITH ASPHALTIC ENAMEL AND PROVIDING 1/8" ASPHALT SATURATED FELT BETWEEN THE PIPE AND MASONRY.
- THE PLUMBING CONTRACTOR SHALL COORDINATE CLOSELY WITH THE MECHANICAL AND THE ELECTRICAL CONTRACTORS TO AVOID CONFLICT WITH OTHER TRADES.
- CEILING AREA HAS LIMITED SPACE. CONTRACTOR MUST COORDINATE WITH OTHER TRADES FOR ALL STRUCTURES, PIPING, CONDUIT, DUCTWORK, LIGHTING, ETC. TO PROPERLY BE INSTALLED.
- ALL PIPE INSULATION SHALL RUN CONTINUOUSLY THROUGH FLOORS, WALLS, AND PARTITIONS.
- PROVIDE DRAIN VALVES IN THE HOT AND COLD WATER SYSTEM AT ALL LOW POINTS TO ALLOW FOR COMPLETE DRAINAGE. PROVIDE SHUT-OFF VALVES AT THE BASE OF ALL STACKS.
- PROVIDE BALL VALVES IN ALL BRANCH LINES OF THE HOT AND COLD WATER DISTRIBUTION SYSTEM ON 3/4" AND LARGER CW & HW AND AS SHOWN ON PLANS, RISERS, AND SCHEMATIC DETAILS. PROVIDE SHUT OFF VALVES ON THE FIXTURE SUPPLY TO EACH PLUMBING FIXTURE, APPLIANCE, OR MECHANICAL EQUIPMENT.
- VACUUM BREAKERS SHALL BE PROVIDED FOR ALL FIXTURES TO WHICH HOSES MAY BE ATTACHED. VACUUM BREAKERS SHALL BE PERMANENTLY ATTACHED.
- WASTE AND VENT PIPING SHALL BE AS FOLLOWS:  
BELOW SLAB: PVC PIPE, PVC SOCKET FITTINGS, AND SOLVENT-CEMENTED FITTINGS.  
ABOVE SLAB: PVC PIPE, PVC SOCKET FITTINGS, AND SOLVENT-CEMENTED FITTINGS.
- DOMESTIC WATER PIPING ABOVE SLAB SHALL BE TYPE 'L' COPPER. DOMESTIC WATER PIPING BELOW SLAB SHALL BE TYPE 'K' COPPER. INSULATION IS REQUIRED ON ALL WATER SUPPLY PIPING ABOVE FINISHED FLOOR. INSULATION TO HAVE A MINIMUM R FACTOR OF 6.5 OR PER LOCAL JURISDICTION.
- EXPOSED LAVATORY DRAINS AND HOT WATER LINES MUST BE INSULATED AND COVERED PER ADA REQUIREMENTS.
- ALL PLUMBING VENT LOCATIONS TO BE VERIFIED WITH ARCHITECT BEFORE INSTALLATION.
- ALL PLUMBING LINES REQUIRED TO BE JETTED PRIOR TO TURNOVER.
- PIPING SHOULD BE COORDINATED WITH ALL STRUCTURAL FOOTINGS AND FOUNDATIONS. PIPE SHOULD BE OFFSET TO AVOID CONTACT WITH FOOTINGS AND FOUNDATION WALLS. IF PIPING MUST RUN UNDERNEATH A FOOTING OR THROUGH A FOUNDATION WALL, THE PIPE MUST BE INSTALLED WITH A RELIEVING ARCH OR IN A PIPE SLEEVE.
- INVERT ELEVATIONS SHALL BE ESTABLISHED AND VERIFIED BEFORE WASTE PIPING IS INSTALLED SO THAT PROPER SLOPES WILL BE MAINTAINED.
- THE PLUMBING CONTRACTOR SHALL PROVIDE WATER HAMMER PROTECTION ON ALL WATER DISTRIBUTION PIPING. INSTALLATION OF AIR CHAMBERS OR SHOCK ARRESTORS SHALL BE IN ACCORDANCE WITH PDI-WH201. SEE SHOCK ARRESTOR SCHEDULE (IF PROVIDED).
- REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHTS OF PLUMBING FIXTURES.
- PROVIDE ACCESS DOORS FOR ALL VALVES AND DEVICES REQUIRING ACCESS WHEN LOCATED IN WALLS OR ABOVE INACCESSIBLE CEILING CONSTRUCTION. ACCESS DOORS TO BE RATED WHERE INSTALLED IN RATED ASSEMBLIES.

**PLUMBING LEGEND**

	DOMESTIC COLD WATER PIPING
	DOMESTIC COLD WATER PIPING (UNDRSLAB)
	DOMESTIC HOT WATER PIPING
	VENT PIPING
	WASTE (SANITARY SEWER)
	BALL VALVE
	CHECK VALVE
	PIPE UP
	PIPE DOWN
	FLOOR DRAIN
	CONNECT TO EXISTING

AAV	AIR ADMITTANCE VALVE
ABV	ABOVE
AFF	ABOVE FINISHED FLOOR
BV	BALANCING VALVE
CW	COLD WATER
DN	DOWN
E.C.	ELECTRICAL SUB-CONTRACTOR
FCO	FLOOR CLEAN OUT
FD	FLOOR DRAIN
FR	FROM
FS	FLOOR SINK
G.C.	GENERAL CONTRACTOR
HB	HOSE BIBB
HD	HUB DRAIN
HW	HOT WATER
M.C.	MECHANICAL SUB-CONTRACTOR
P.C.	PLUMBING SUB-CONTRACTOR
SD	STORM DRAINAGE
V	VENT
W	WASTE

**PLUMBING FIXTURE SPECIFICATIONS AND CONNECTION SCHEDULE**

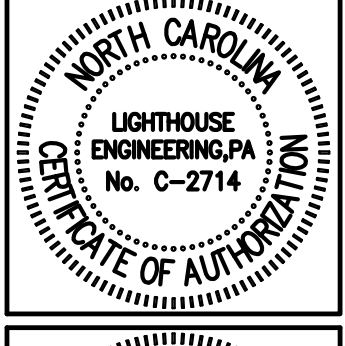
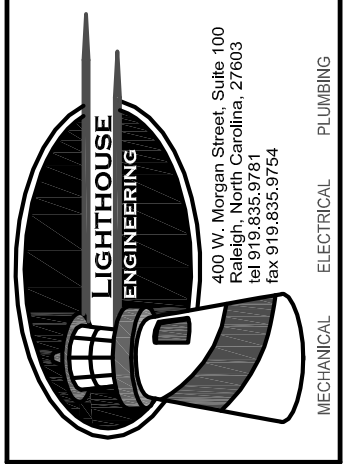
MARK	FIXTURE	TYPE	MANUFACTURER	MODEL NO.	MATERIAL	STYLE	FAUCET/VALVE			DRAIN		SUPPLIES AND STOPS	PIPE SIZES				MOUNTING	REMARKS	
							MANUFACT. MODEL NO.	SPOUT	HANDLES	CENTERS	TYPE		SIZE	WASTE	VENT	CW			HW
P-1	KITCHEN SINK	SINGLE COMP'T	DAYTON	DI25214	STAINLESS STEEL	6 1/2" DEEP 4-HOLE	CFG 47513B	8" SWING	SINGLE LEVER	8"	CRUMB CUP	1 1/2"	McGUIRE 165	1 1/2"	1 1/2"	1 1/2"	1 1/2"	COUNTER TOP	PROVIDE WITH ELKAY LK-35
P-2	REFRIGERATOR BOX	BOTTOM SUPPLY	SPECIALTY PRODUCTS	OB-807	PVC	RECESSED BOX	-	-	-	-	-	-	-	-	1/2"	-	-	WALL	SHUT-OFF VALVE & THREADED CW CONNECTION.
P-3	UTILITY SINK	FLOOR MOUNTED	FIAT	FL-1	MOLDED STRUCTURAL PLASTIC	ONE COMP'T 23" X 22"	FIAT AI DECK TYPE 4" CENTERS	THREADED	TWO HANDLES	6 3/4"	-	-	-	1 1/2"	1 1/2"	1 1/2"	1 1/2"	FLOOR	WHITE BAKED ENAMEL LEGS AND 4" BACK LEDGE.
P-4	KITCHEN SINK	SINGLE COMP'T	DAYTON	DI25214	STAINLESS STEEL	6 1/2" DEEP 4-HOLE	CFG 47513B	8" SWING	SINGLE LEVER	8"	CRUMB CUP	1 1/2"	McGUIRE 165	1 1/2"	1 1/2"	1 1/2"	1 1/2"	COUNTER TOP	PROVIDE WITH ELKAY LK-35

NOTES:  
 1. CATALOG NUMBERS AND MANUFACTURERS ARE TO INDICATE TYPE AND QUALITY OF FIXTURE DESIRED. SUBMIT CUTSHEETS OF THESE AND ALTERNATE MANUFACTURERS FOR ARCHITECT AND OWNER APPROVAL PRIOR TO PURCHASE OF ANY FIXTURES. INFORMATION ON ALTERNATE FIXTURES PROPOSED BY THE CONTRACTOR SHALL INCLUDE THE ADD/DEDUCT ASSOCIATED WITH ACCEPTANCE OF THAT FIXTURE (OR THE ALTERNATE PACKAGE AS A WHOLE).

**Drawing Sheet List**

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P1	PLUMBING LEGEND, NOTES, & SCHEDULES
P2	PLUMBING PLANS

TRAUB ARCHITECTURE + DESIGN, INC.  
 4890 THORNTON ROAD  
 WILSON, NC 27157  
 919.271.4098 cell  
 252.431.1849 office

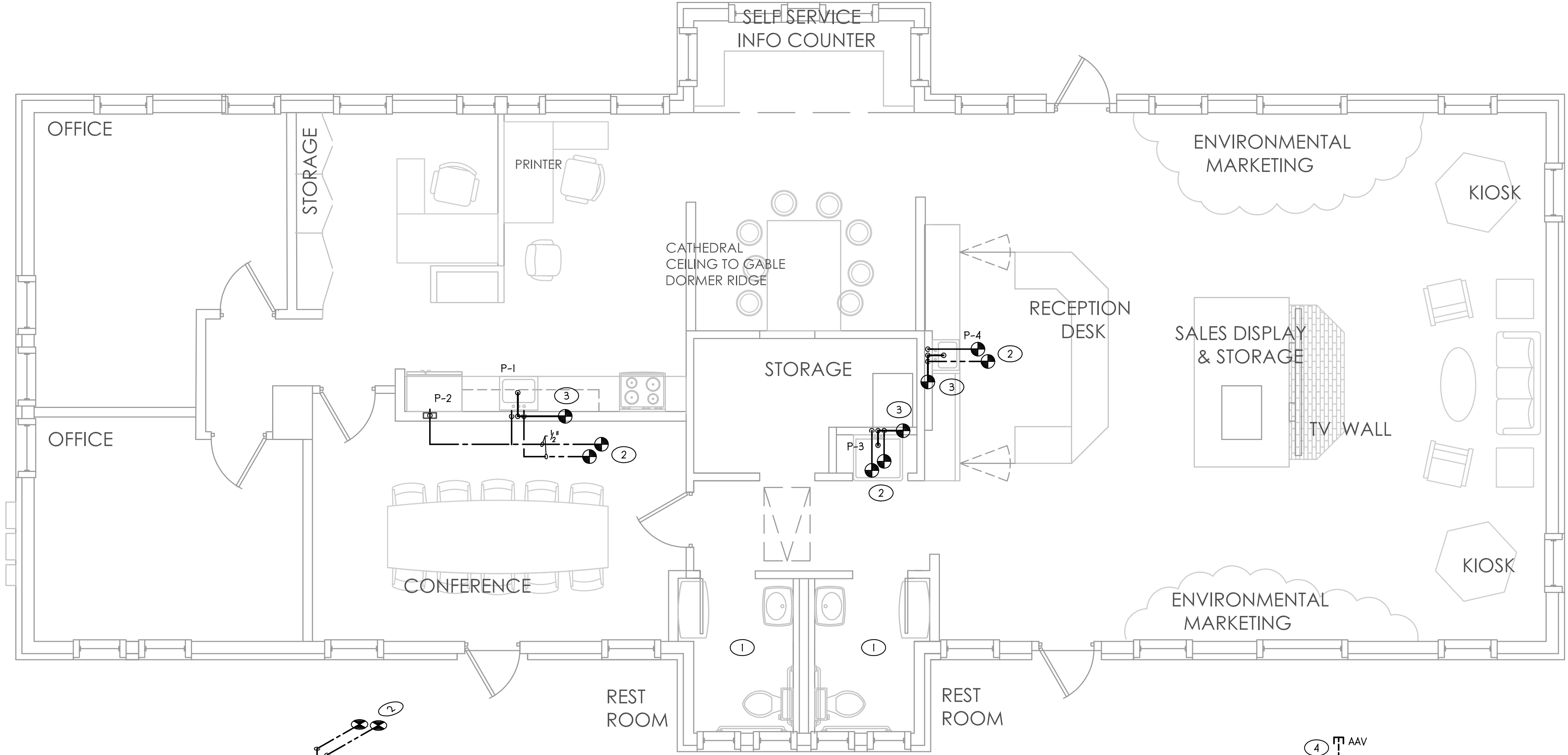


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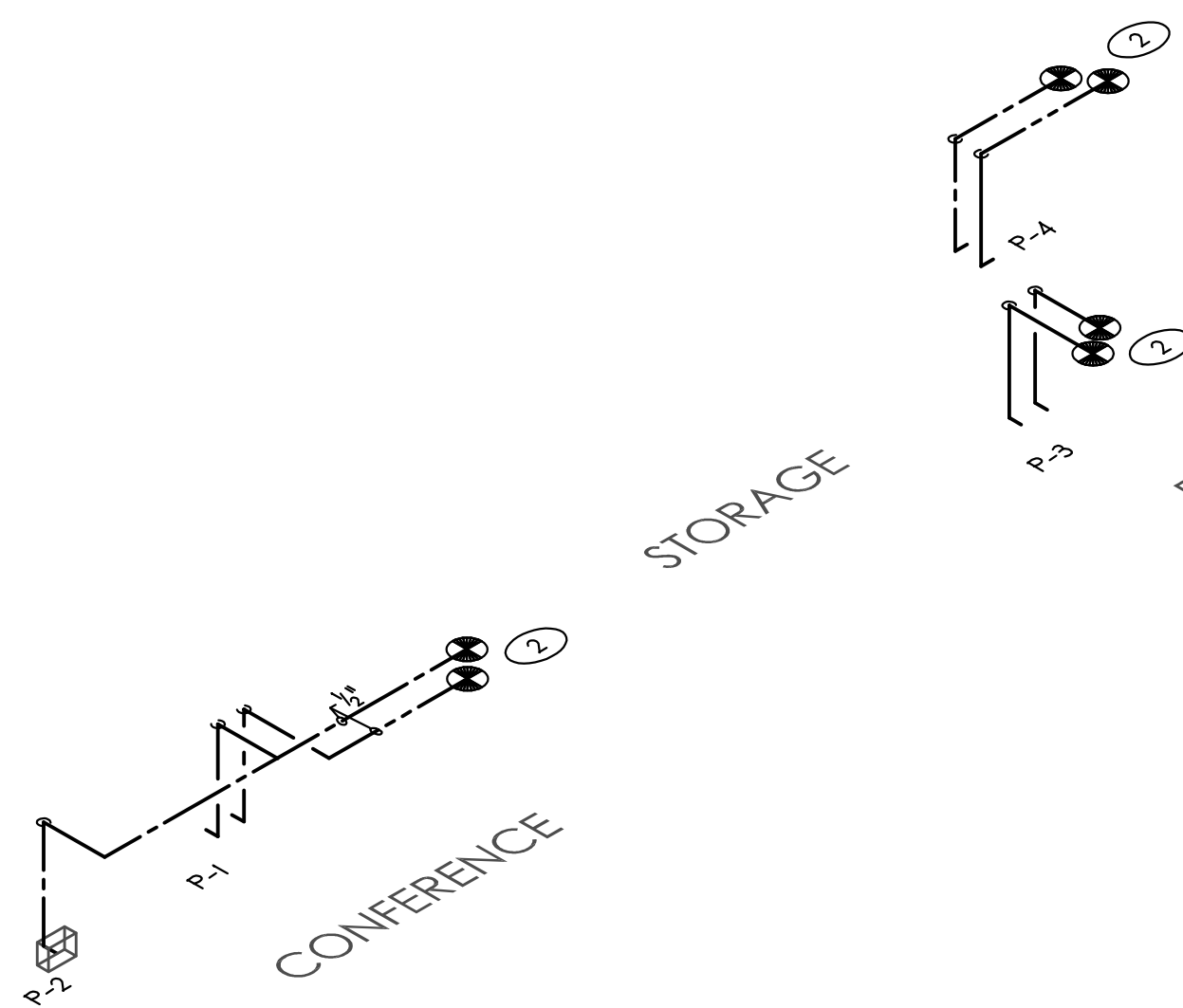
REVISIONS

DATE <b>08-04-2023</b>
DRAWN BY <b>MJP</b>
PROJECT NO. <b>GTA-1701</b>
PLUMBING LEGEND, NOTES, & SCHEDULES
SHEET <b>P1</b>

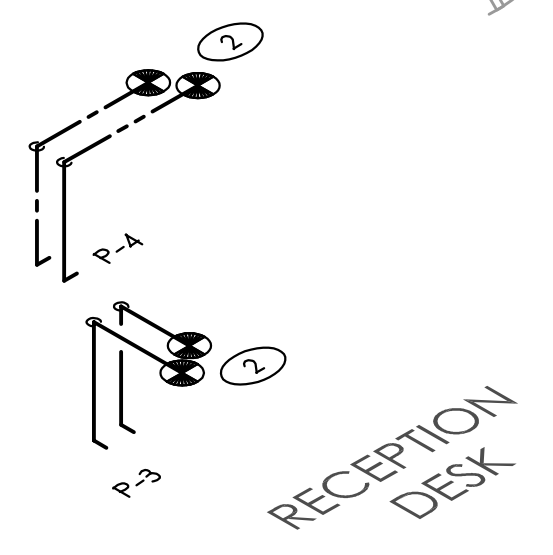
TRAUB ARCHITECTURE + DESIGN, INC.



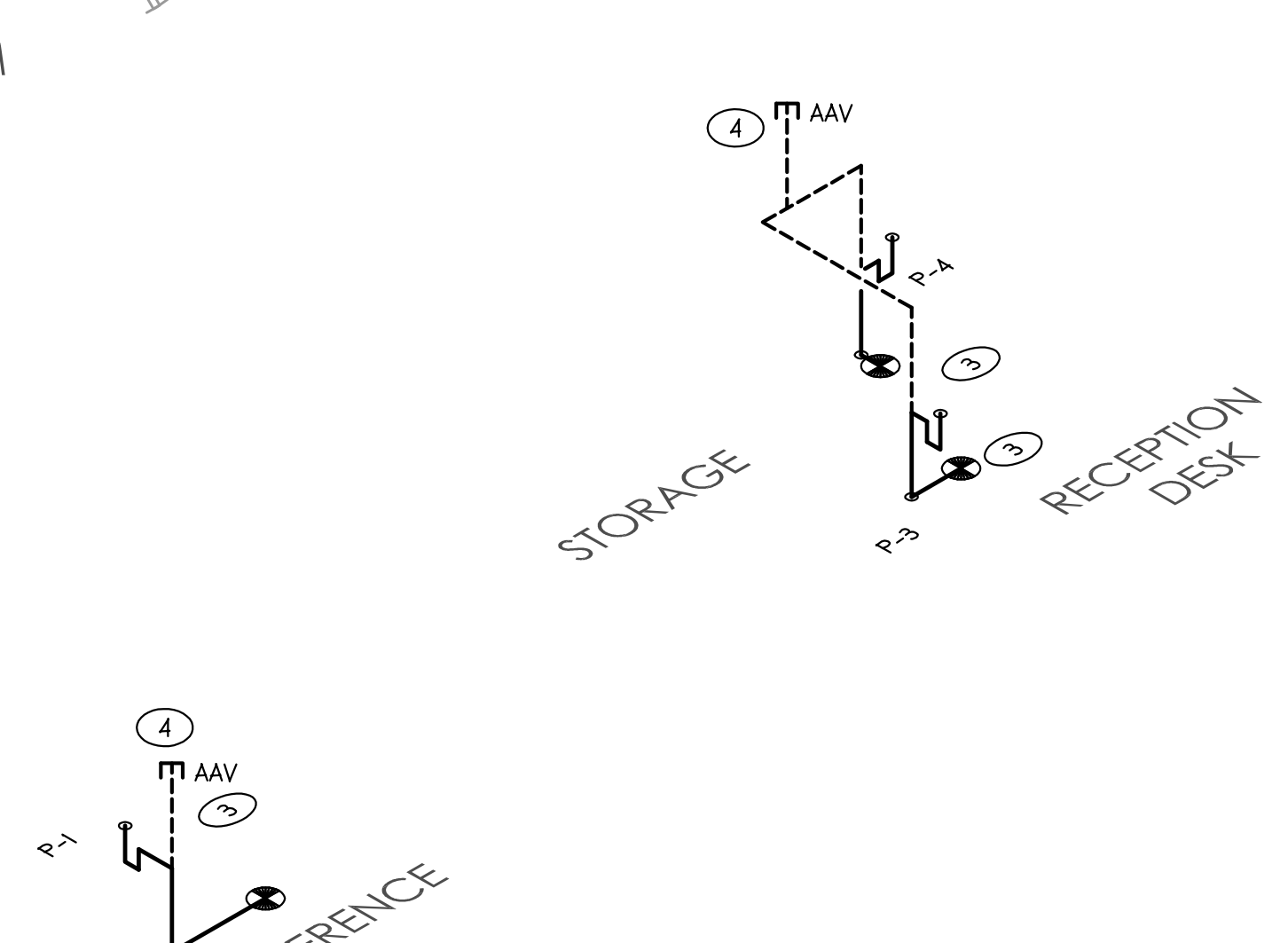
- TAGGED NOTES**
- ① EXISTING FIXTURES TO REMAIN IN THIS AREA
  - ② CONNECT TO EXISTING WATER LINES.
  - ③ CONNECT TO NEAREST EXISTING WASTE AND VENT LINES IN THIS AREA.
  - ④ PROVIDE AIR ADMITTANCE VALVE WITH ACCESS AND INSTALL IN LOCATION THAT ALLOWS AIR TO ENTER VALVE.



**3 DOMESTIC WATER RISER**  
NO SCALE

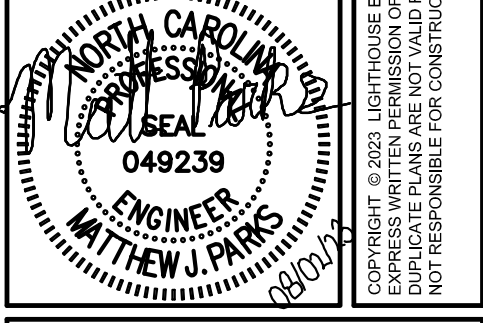
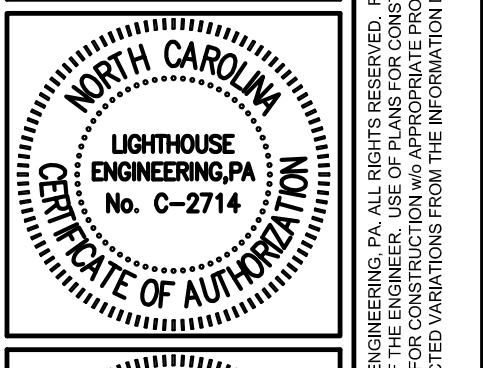
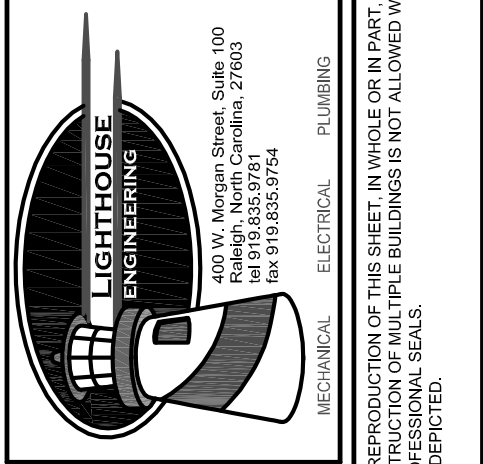


**1 FLOOR PLAN**  
1/4" = 1'-0"



**2 WASTE AND VENT RISER**  
NO SCALE

TRAUB ARCHITECTURE + DESIGN, INC.  
4800 Thomas Road  
Raleigh, NC 27612  
919.271.6098 cell  
252.431.1849 office



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106 Charlotte Ave, Sanford, NC 27330  
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REVISIONS

DATE  
**08-04-2023**

DRAWN BY  
**MJP**

PROJECT NO.  
**GTA-1701**

PLUMBING PLANS

SHEET  
**P2**

TRAUB ARCHITECTURE + DESIGN, INC.



**EXISTING PLAN NOTES:**

- THIS EXISTING FOUNDATION AND FIRST FLOOR FRAMING PLAN IS INTENDED TO DOCUMENT EXISTING CONDITIONS. IT IS NOT DEEMED TO BE ACCURATE OR COMPLETE.
- DUE TO LIMITED ACCESS INCLUDING A VERY LOW CRAWL SPACE, ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE FIELD VERIFIED.
- ALL DIMENSIONS ARE APPROXIMATE AND SHALL BE VERIFIED.
- MEMBER DIMENSIONS ARE ACTUAL, NOT NOMINAL.
- A PLASTIC VAPOR BARRIER AND (2) SUMP PUMPS WERE OBSERVED. THERE WAS MINIMAL STANDING WATER, BUT IT WAS LOWER THAN THE SUMP PUMP ENTRY POINT. THE PUMPS APPEARED TO BE OPERATIONAL, BUT THIS COULD NOT BE VERIFIED. IT IS ASSUMED THAT A SEALED CRAWL SPACE OR SIMILAR ACTION WILL BE TAKEN TO ADDRESS THE WATER INFILTRATION ISSUES.
- THIS PLAN DOES NOT IMPLY ANY STRUCTURAL VERIFICATION OF THE LOAD CAPACITY OF EXISTING MEMBERS. THE INTENT OF THE PLAN IS TO IDENTIFY REPAIR AREAS AND PROVIDE THE REPAIR RECOMMENDATIONS INCLUDED ON THIS PLAN.

**REPAIR AND RESTORATION NOTES:**

- THE BELOW ITEMS CORRESPOND TO THE NUMBERED AND CLOUDED ITEMS SHOWN ON THE PLAN.
- THE FLOOR JOISTS UNDER THE KITCHEN HAVE DETERIORATED AND NEED TO BE REPLACED. REMOVE THE EXISTING FLOOR AND SUBFLOOR IN THE AREA SHOWN AND INSTALL THE NEW FJI FLOOR JOISTS AS SHOWN. THE INSTALLATION OF THE NEW FJI FLOOR JOISTS SHALL BE COORDINATED WITH THE REPAIR TO THE BOTTOM OF THE WALLS THAT IS DETAILED IN REPAIR ITEM 2 BELOW.
  - THE BOTTOM OF THE BALLOON FRAMED STUDS IN THE EXTERIOR WALL AND THE ENDS OF THE EXISTING FLOOR JOISTS ARE DETERIORATED DUE TO WATER INFILTRATION. THE DETERIORATED AREAS SHALL BE REPAIRED ACCORDING TO DETAIL 01/01. THE GENERAL REPAIR DESCRIPTION IS DESCRIBED AS FOLLOWS: SHORE THE EXISTING EXTERIOR WALLS AND CUT OFF THE DETERIORATED BOTTOM OF THE STUDS; INSTALL A NEW PT DOUBLE BAND AS SHOWN ON THE DETAIL. INSTALL A NEW PT PLATE UNDER THE CUT STUDS; SHORE THE EXISTING FLOOR JOISTS AND CUT THE DETERIORATED ENDS OF THE FLOOR JOISTS SO THAT THEY CAN BE ATTACHED TO THE NEW BAND WITH JOIST HANGERS. SHORING IS THE RESPONSIBILITY OF THE CONTRACTOR; AFTER ALL REPAIRS HAVE BEEN COMPLETED, INSTALL NEW PLYWOOD SUBFLOOR.

**REPAIR AND RESTORATION NOTES (CONTINUED):**

- DROPPED GIRDERS (F&2) BEARING ON MASONRY PIERS (MPI) ON CONCRETE FOOTINGS (F2.4) ARE ADDED TO SUPPORT EXISTING 1ST FLOOR WALLS THAT WILL BECOME LOAD BEARING WALLS THAT SUPPORT A NEW MECHANICAL PLATFORM ABOVE THE 1ST FLOOR AND BELOW THE EXISTING ATTIC JOISTS. SEE S102 FOR THE LOCATION AND STRUCTURAL FRAMING FOR THE NEW MECHANICAL PLATFORM. COORDINATE WITH THE ARCHITECTURAL AND MECHANICAL DRAWINGS.

FOOTING SCHEDULE			REINFORCING		NOTES
MR#	SIZE		#		
F2.4	2'-4" X 2'-4" X 12" THICK		(3)	#4'S EACH WAY	MPI PIER FOOTINGS

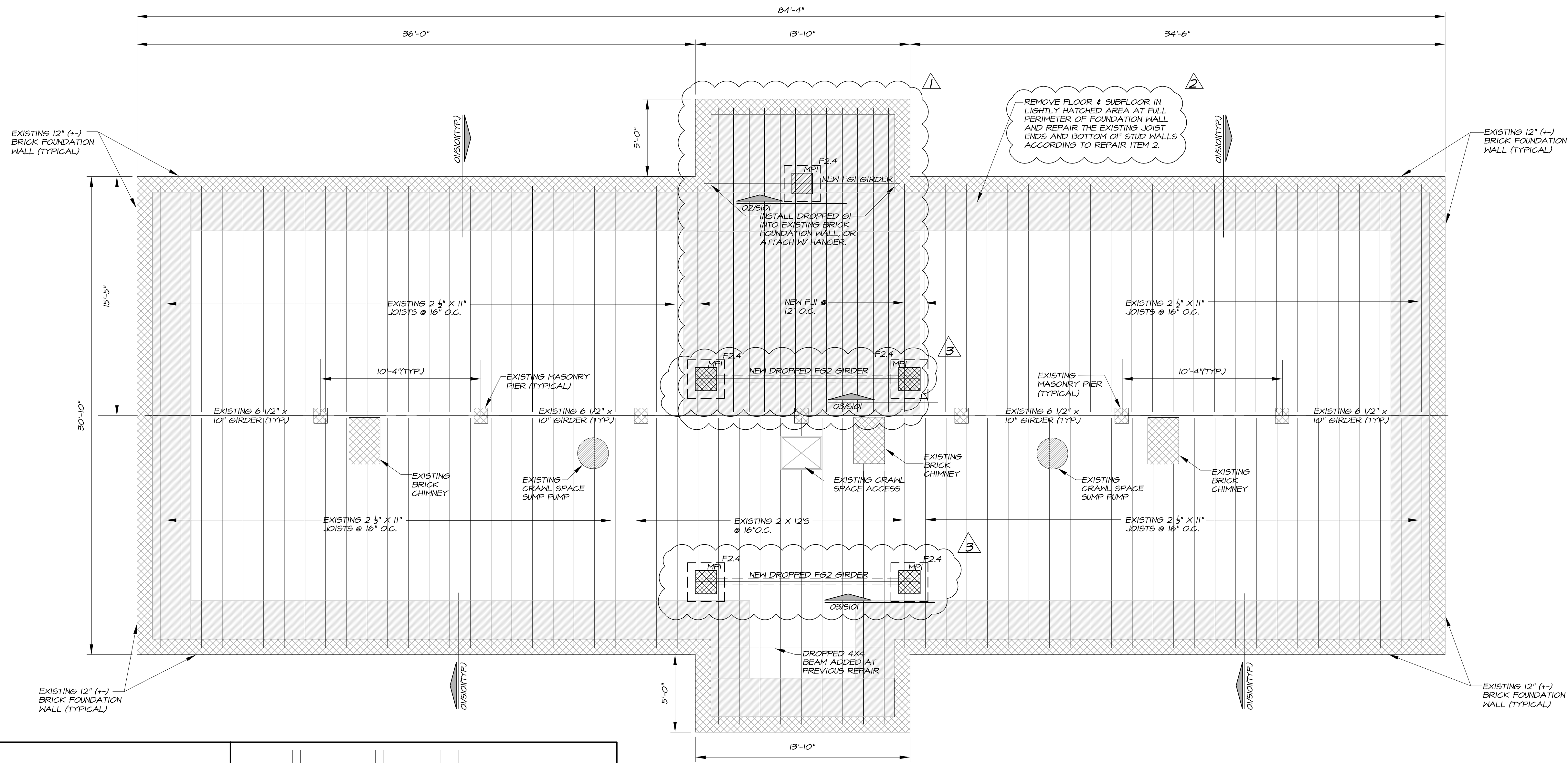
NOTES  
1. REINFORCING TO BE LOCATED 3" CLEAR FROM BOTTOM OF FOOTINGS.

MASONRY PIER SCHEDULE			
MR#	SIZE	REINFORCING	NOTES
MPI	16" X 16" CMU	NONE	1

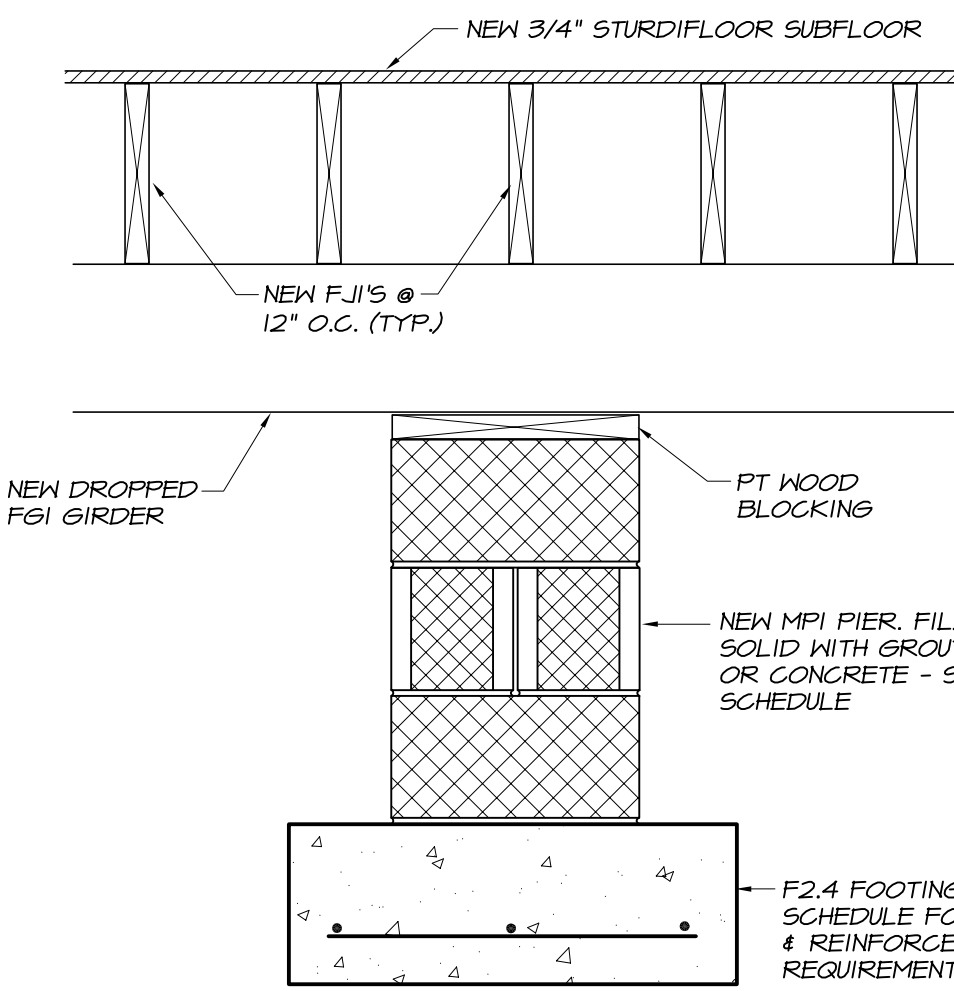
NOTES  
1. FILL SOLID WITH CONCRETE OR GROUT

FLOOR FRAMING SCHEDULE					REACTIONS	
MR#	SIZE	MATERIAL	GRADE	NOTE	R <sub>1L</sub>	R <sub>1S</sub>
FJI	2 X 12	PT SYP	#1	1, 2	0.8	0.8
F&1	(3) 2 X 10	PT SYP	#1	1, 3	3.3	3.3
F&2	(3) 2 X 12	PT SYP	#1	1, 3	2.9	2.9

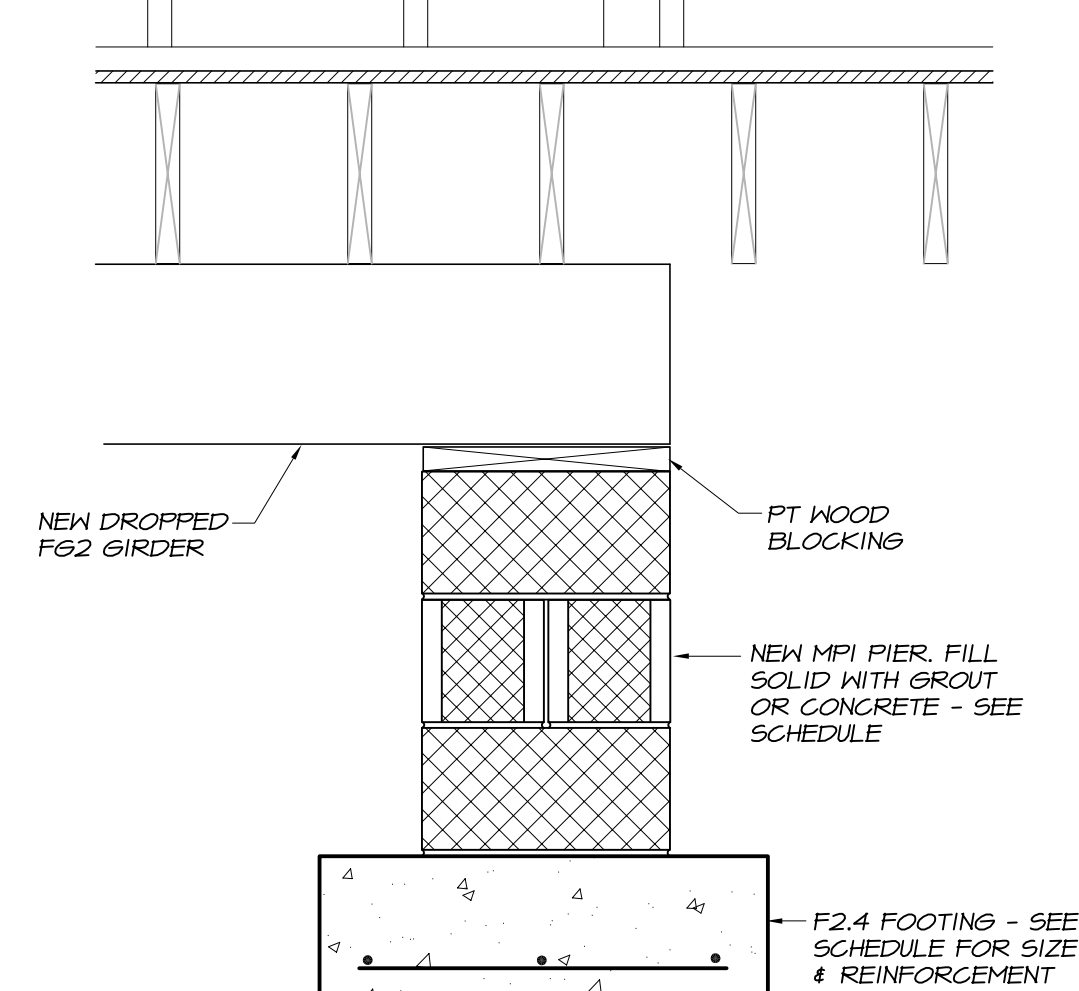
NOTES  
1. SIZE SHOWN IS NOMINAL.  
2. FJI JOISTS ARE SPACED AT 12" O.C.  
3. F&1 AND F&2 GIRDERS ARE DROPPED



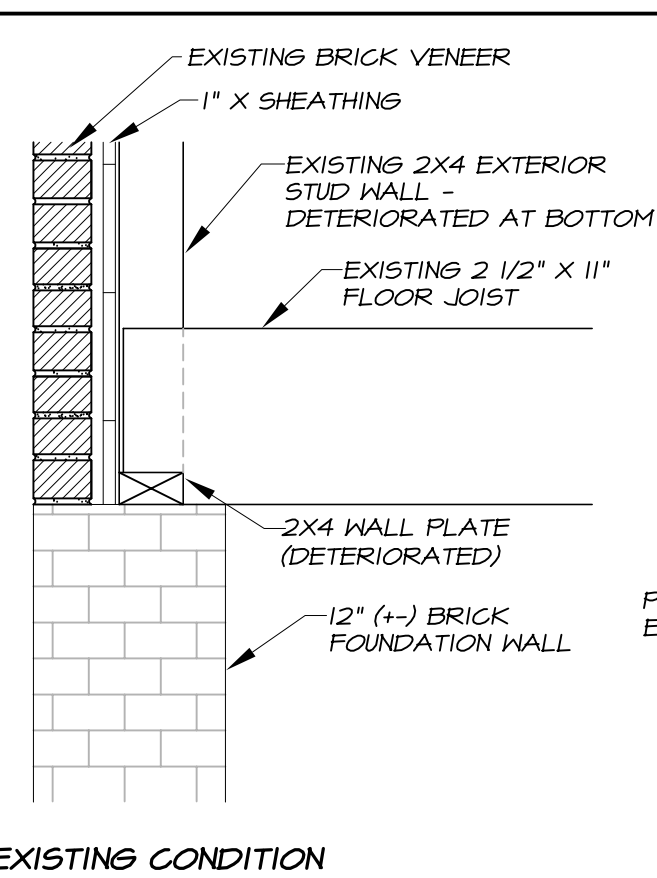
**FOUNDATION/FIRST FLOOR FRAMING PLAN**  
1/4" SCALE



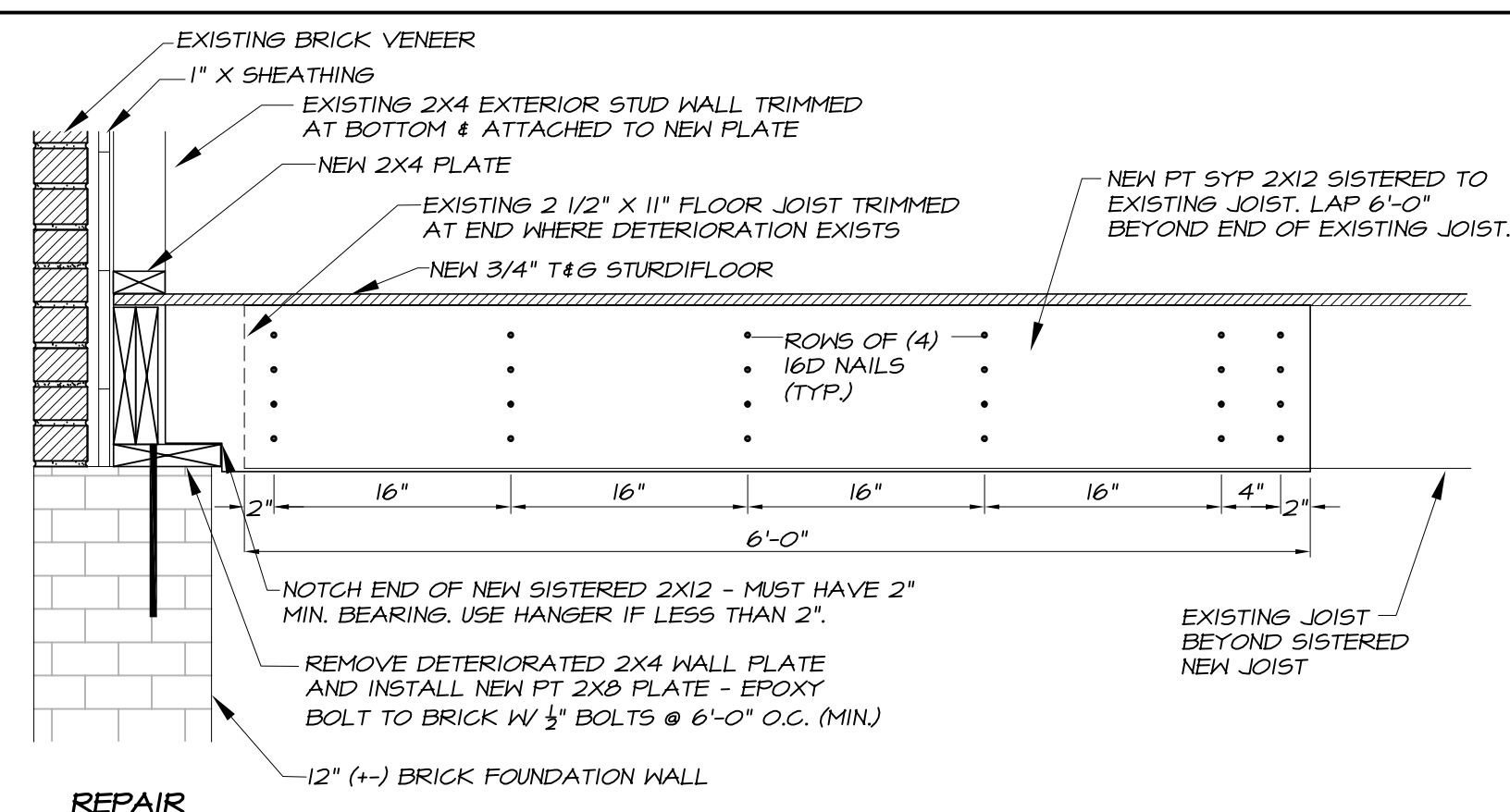
**02 NEW FJI/F&1/F&2 MPI PIER**  
1" SCALE



**03 NEW F&2/F&1 MPI PIER & EXISTING JOISTS**  
1" SCALE



**01 EXTERIOR WALL AT FOUNDATION**  
NO SCALE



CONTRACTOR IS RESPONSIBLE FOR TEMPORARY SHORING OF WALLS AND FLOOR FRAMING WHILE REPAIRS ARE MADE. RECOMMEND REPAIRING THE WALL IN LIMITED SECTIONS BEFORE MOVING TO THE NEXT.

TRAUB ARCHITECTURE + DESIGN, INC.  
4809 Thomas Road  
Henderson, NC 27537  
(919) 271-6098 (mobile)  
jarry@traubarchitecture.com

**LYSAGHT ASSOCIATES**  
structural engineers  
120 St. Mary's Street  
Raleigh, NC 27605  
919.833.0495  
lysaghtassociates.com  
Firm No. C-0621

**NORTH CAROLINA PROFESSIONAL SEAL**  
PE046123  
ENGINEER  
MARK R. BLANKINSHIP  
06/05/24

**SANFORD TRAIN DEPOT RESTORATION**  
106 Charlotte Ave, Sanford, NC 27330  
CITY of SANFORD, NORTH CAROLINA

REVISIONS

DATE	06/05/24
DRAWN BY	MRB
PROJECT NO.	LA-13997
SHEET TITLE	FOUNDATION & 1ST FLOOR FRAMING PLAN
SHEET	S101

TRAUB ARCHITECTURE + DESIGN, INC.



**EXISTING PLAN NOTES:**

- THIS EXISTING FRAMING PLAN IS INTENDED TO DOCUMENT EXISTING CONDITIONS. IT IS NOT DEEMED TO BE ACCURATE OR COMPLETE.
- DUE TO LIMITED ACCESS INCLUDING THROUGH THE DROPPED CEILING AND NO WALKBOARDS IN THE ATTIC, ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE FIELD VERIFIED.
- ALL DIMENSIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED.
- MEMBER DIMENSIONS ARE ACTUAL, NOT NOMINAL.
- LBW = EXISTING 2X4 LOAD-BEARING WALL WITH 4" BRICK VENEER.
- SEE S101 FOR FOUNDATION PLAN WITH REPAIRS.
- THIS PLAN DOES NOT IMPLY ANY STRUCTURAL VERIFICATION OF THE LOAD CAPACITY OF EXISTING MEMBERS. THE INTENT OF THE PLAN IS TO IDENTIFY REPAIR AREAS AND PROVIDE THE REPAIR RECOMMENDATIONS INCLUDED ON THIS PLAN.

**REPAIR AND RESTORATION NOTES:**

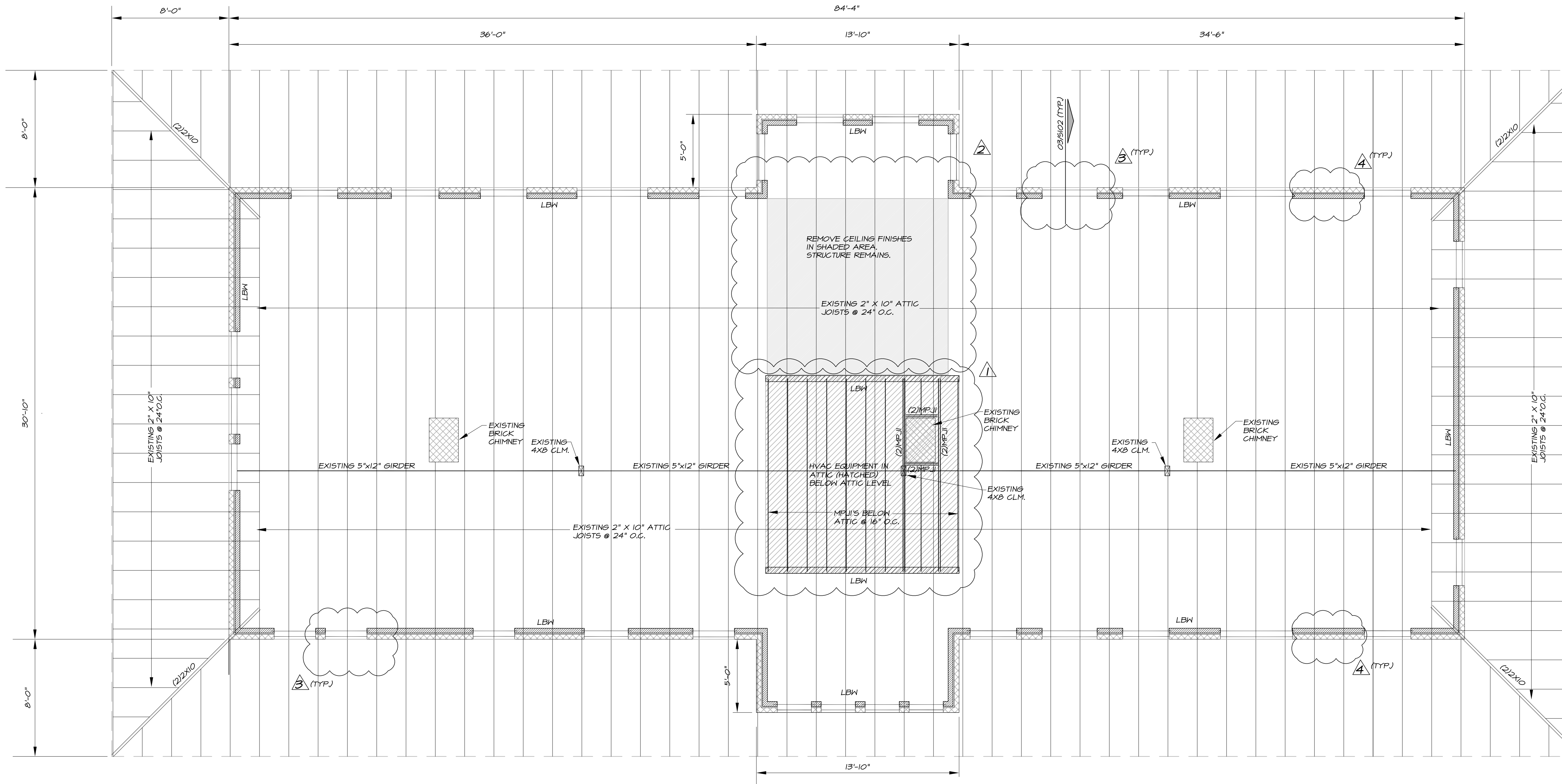
- THE BELOW ITEMS CORRESPOND TO THE NUMBERED AND CLOUDED ITEMS SHOWN ON THE PLAN.
- INSTALL A NEW MECHANICAL PLATFORM THAT IS LOCATED BELOW THE EXISTING ATTIC. THE DISTANCE FROM THE MECHANICAL PLATFORM TO THE BOTTOM OF THE ATTIC JOISTS IS APPROXIMATELY 5'-0". BOTTOM OF THE ATTIC JOISTS. THE NEW MECHANICAL PLATFORM JOISTS (MPJ'S) ARE SYP 2X10'S AS SHOWN ON THE PLANS AND IN THE FRAMING SCHEDULE. THE MPJ JOISTS ARE SUPPORTED BY LOAD BEARING WALLS WHICH ARE SUPPORTED BY NEW GIRDERS AND PIERS. SEE SHEET S101 FOR THE NEW GIRDER, PIER, AND FOOTINGS. COORDINATE THE DIMENSIONS AND LOCATION OF THE MECHANICAL ROOM WITH THE ARCHITECTURAL AND MECHANICAL PLANS.
  - THE EXISTING CEILING FINISHES SHALL BE REMOVED IN THE SHADED AREA AS SHOWN. THE EXISTING ATTIC JOISTS AND ROOF STRUCTURE IN THE AREA SHALL REMAIN UNDISTURBED. SEE ARCHITECTURAL PLANS FOR NON-STRUCTURAL FRAMING AND NEW FINISHES IN THE OPEN CEILING AREA.

**REPAIR AND RESTORATION NOTES (CONTINUED):**

- THE BELOW ITEMS CORRESPOND TO THE NUMBERED AND CLOUDED ITEMS SHOWN ON THE PLAN.
- NEW LINTELS WITH SUPPORTING POSTS SHALL BE ADDED TO EVERY WINDOW/DOOR OPENING FROM THE INTERIOR OF THE BUILDING AS SHOWN ON DETAIL 03/S102. THE PURPOSE OF THE NEW LINTELS IS TO SUPPORT THE EXISTING STONE LINTELS IN THE BRICK VENEER. THE CONTRACTOR SHALL INSTALL A SAMPLE LINTEL SUPPORT AT A WINDOW FOR REVIEW BY THE ARCHITECT & ENGINEER.
  - AFTER INSTALLATION OF THE LINTELS ON THE INTERIOR AND AFTER ALL INTERIOR STRUCTURAL WORK AND WATERPROOFING AND CRAWL SPACE IMPROVEMENTS HAVE BEEN COMPLETED, THE EXTERIOR BRICK VENEER SHALL BE REPAIRED BY REPLACING MISSING AND BROKEN BRICKS AND BY REPAIRING THE MORTAR BY TUCKPOINTING AS SPECIFIED ON SHEET S100. A SAMPLE BRICK BRICK VENEER REPAIR AREA SHALL BE INSTALLED FOR APPROVAL BY THE ARCHITECT PRIOR TO CONTINUING WITH REPAIRS.

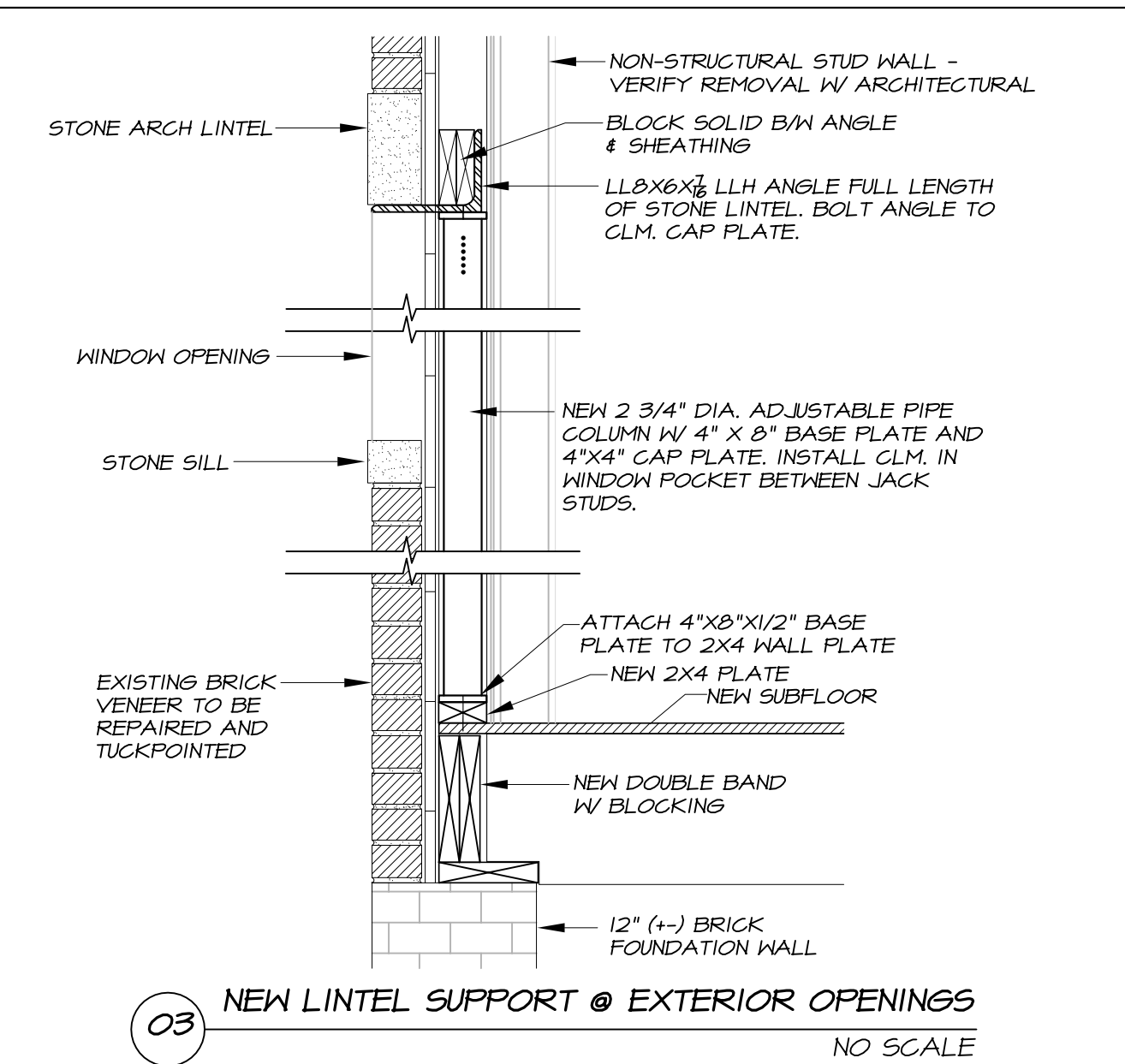
MECHANICAL PLATFORM FRAMING SCHEDULE					REACTIONS	
MK#	SIZE	MATERIAL	GRADE	NOTE	R <sub>1L</sub>	R <sub>1S</sub>
MPJ1	2x10	SYP	No.1	1, 2	0.4	0.4

- SIZE SHOWN IS NOMINAL.
- THE MECHANICAL PLATFORM IS LOCATED APPROXIMATELY 5'-0" BELOW THE BOTTOM OF THE ATTIC JOISTS. SEE ARCHITECTURAL PLANS FOR ELEVATIONS.



NOTE: USE 2X6 STUDS FOR NEW WALLS OVER 10'-0" IN HEIGHT.

ATTIC & MECHANICAL PLATFORM FRAMING PLAN  
1/4" SCALE



TRAUB ARCHITECTURE + DESIGN, INC.  
4809 Thomas Road  
Henderson, NC 27537  
(919) 271-0998 (mobile)  
jarry@traubarchitecture.com

**LYSAGHT ASSOCIATES**  
structural engineers  
120 St. Mary's Street  
Raleigh, NC 27605  
919.833.0495  
lysaghtassociates.com  
Firm No. C-0621

**NORTH CAROLINA PROFESSIONAL SEAL**  
PE046123  
JERRY R. BLANNING  
06/05/24

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**SANFORD TRAIN DEPOT RESTORATION**  
106 Charlotte Ave, Sanford, NC 27330  
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REVISIONS

DATE	06/05/24
DRAWN BY	MRB
PROJECT NO.	LA-13997
SHEET TITLE	ATTIC & MECHANICAL PLATFORM FRAMING
SHEET	S102

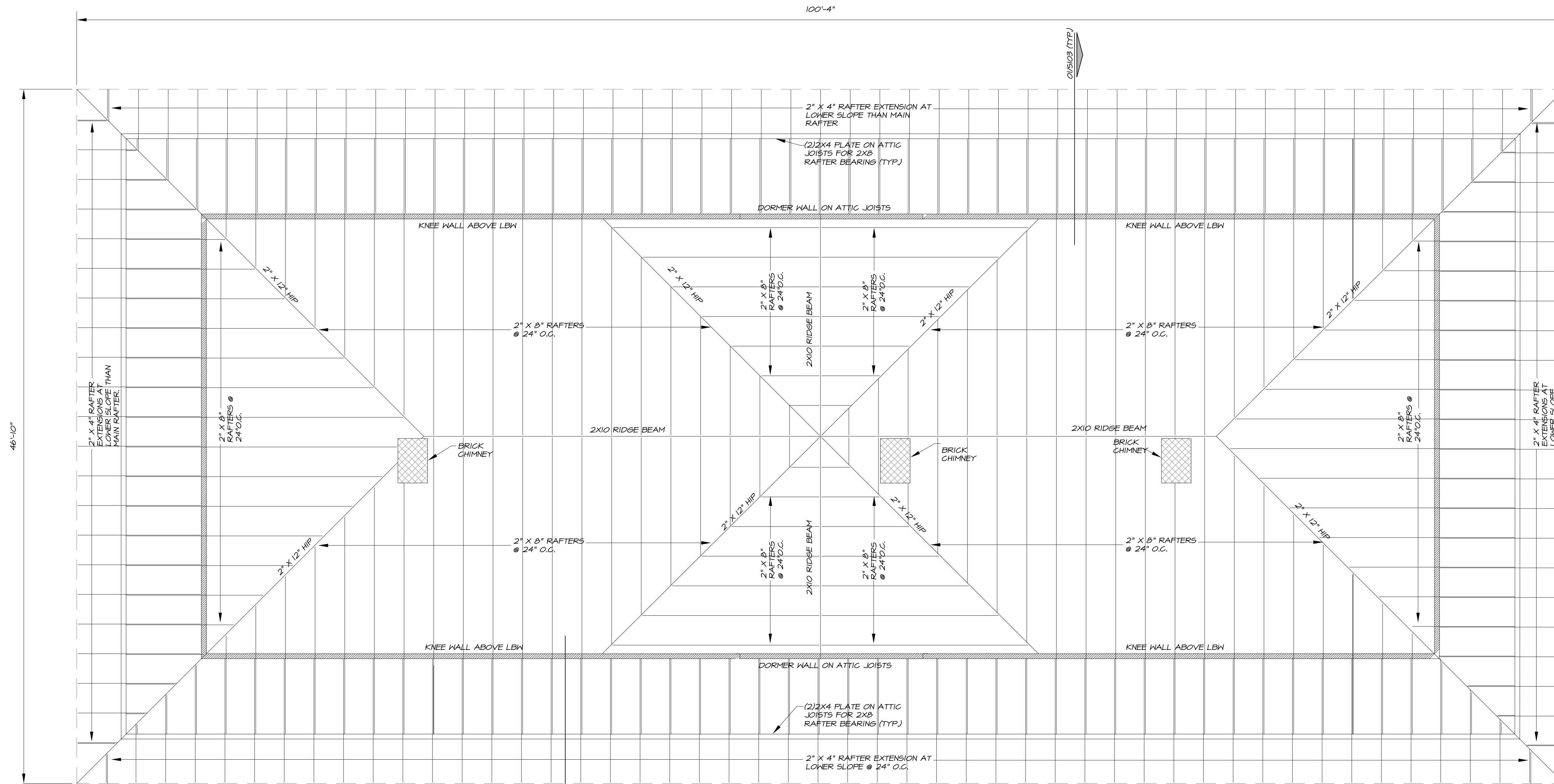
TRAUB ARCHITECTURE + DESIGN, INC.

**EXISTING PLAN NOTES:**

- THIS EXISTING FRAMING PLAN IS INTENDED TO DOCUMENT EXISTING CONDITIONS. IT IS NOT DEEMED TO BE ACCURATE OR COMPLETE.
- DUE TO LIMITED ACCESS INCLUDING THROUGH THE DROPPED CEILING AND NO WALKBOARDS IN THE ATTIC, ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE FIELD VERIFIED.
- MEMBER DIMENSIONS ARE ACTUAL, NOT NOMINAL.
- SEE S101 FOR FOUNDATION PLAN WITH REPAIRS AND S102 FOR THE ATTIC FRAMING PLAN. SHEET S102 SHOWS THE LOAD BEARING WALLS BELOW AND THE WINDOW AND DOOR OPENINGS. THIS ROOF FRAMING PLAN DOES NOT SHOW THE LOAD BEARING WALLS BELOW FOR CLARITY.
- THIS PLAN DOES NOT IMPLY ANY STRUCTURAL VERIFICATION OF THE LOAD CAPACITY OF EXISTING MEMBERS. THE INTENT OF THE PLAN IS TO IDENTIFY REPAIR AREAS AND PROVIDE THE REPAIR RECOMMENDATIONS INCLUDED ON THIS PLAN.
- THERE IS SOME INTERMITTENT RAFTER BRACING THAT IS NOT SHOWN. THE RAFTER BRACING SHALL REMAIN IN PLACE.

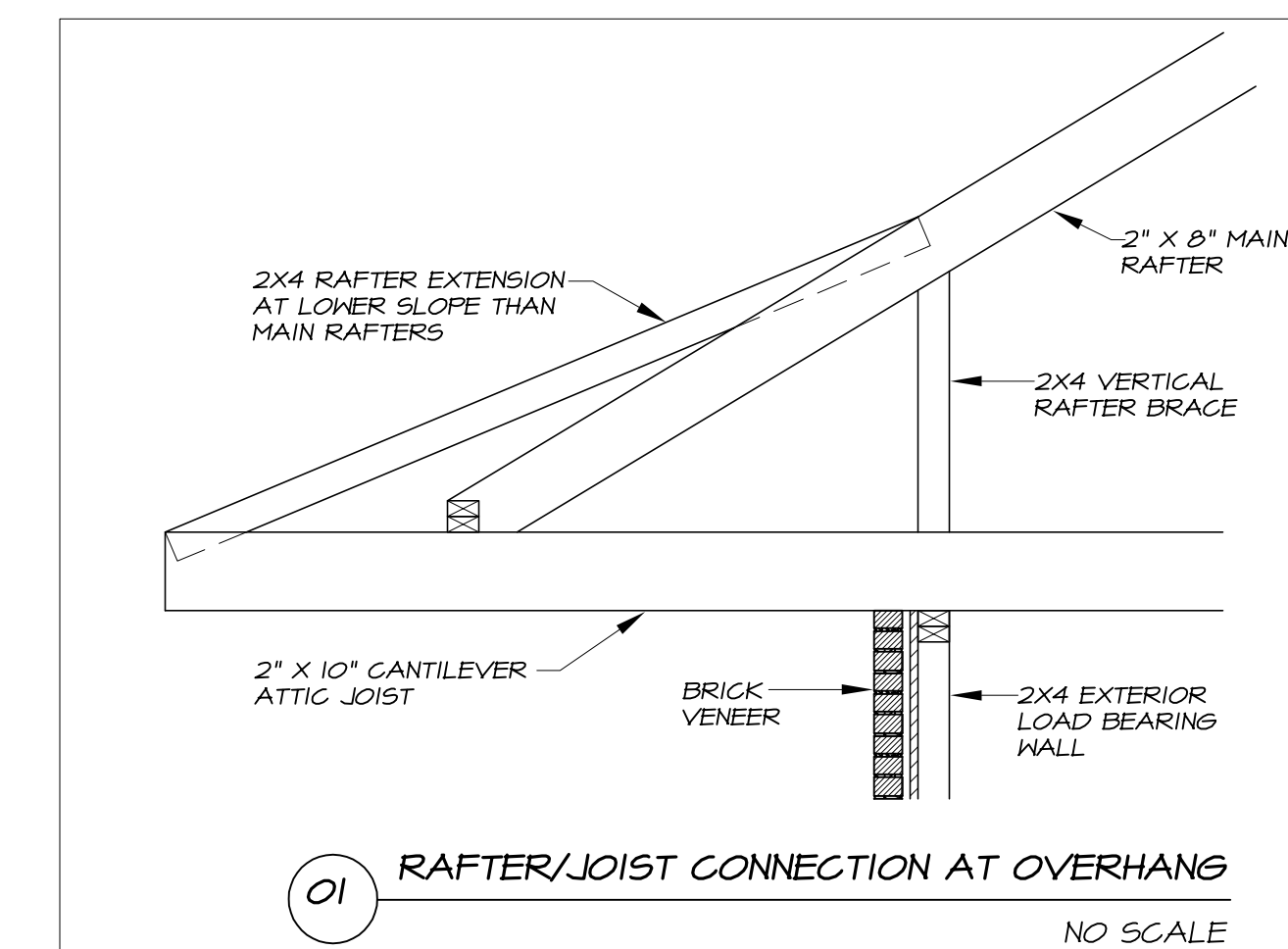
**REPAIR AND RESTORATION NOTES:**

- THE EXISTING ROOF STRUCTURE SHALL REMAIN IN PLACE
- THE EXISTING ROOF MATERIAL SHALL BE REMOVED AND REPLACED. ALL OF THE EXISTING ROOF MATERIAL SHALL BE REMOVED AND ANY DAMAGED ROOF SHEATHING SHALL BE REPLACED AS NEEDED. REPLACE ANY DAMAGED EXISTING ROOF SHEATHING WITH IN-KIND MATERIAL AS REQUIRED. PROVIDE A UNIT PRICE PER LINEAR FOOT FOR REPLACEMENT OF SHEATHING. SEE ARCHITECTURAL PLANS FOR THE SPECIFICATION OF THE NEW ROOFING MATERIAL WHICH WILL BE EQUAL OR SIMILAR TO "CLASSIC 14" INTERLOCKING TILE" MANUFACTURED BY LUDOWICKI. THE HEIGHT OF THE NEW ROOFING MATERIAL SHALL BE @ PSF (+/-). THE CONTRACTOR SHALL SUBMIT MATERIAL DATA AND SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.
- SEE ARCHITECTURAL PLANS FOR ALL NON-STRUCTURAL INFORMATION AND DETAILS.



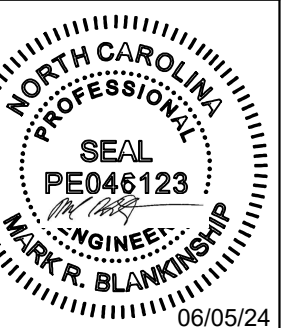
NOTE: USE 2X6 STUDS FOR NEW WALLS OVER 10'-0" IN HEIGHT.

EXISTING ROOF FRAMING PLAN  
1/4" SCALE



TRAUB ARCHITECTURE + DESIGN, INC.  
4809 Thomas Road  
Henderson, NC 27537  
(919) 271-6098 (mobile)  
jarry@traubarchitecture.com

LYSAGHT ASSOCIATES  
structural engineers  
120 St. Mary's Street  
Raleigh, NC 27605  
919.833.0495  
lysa@lysaght.com  
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MRB

PROJECT NO.

LA-13997

SHEET TITLE

ROOF FRAMING PLAN

SHEET

S103

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