

Bid Addendum 03



CLARK NEXSEN
421 N. Harrington Street, Suite 600
Raleigh, NC 27603
Phone: 919-828-1876

Project: Maritime Museum Education Center,
Beaufort, NC – Construction Phase Services

Date: July 25, 2024

SCO#: 24-27956-01A

Prepared by: Allan Kram, AIA

CN #: 10145-01

This ADDENDUM is to be a part of the contract documents and modifies and takes precedence over the original bid documents, as noted below and in any attached documents. Original items of the plans and specifications that have been modified, amended, voided, or suspended through previous addendums, shall remain in effect. It is the responsibility of the Bidder to notify and/or distribute this ADDENDUM to those sub-bidders who have received prints or digital files. The Bidder is to acknowledge receipt of this ADDENDUM in the space provided on the Bid Form.

DRAWING MODIFICATIONS

1. Sheet GI001:
 - a. Added Sheet C2.04 to Index
 - b. Removed reference to Sheet PS2.01 from Index
2. Sheet C0.00:
 - a. Added Sheet C2.04 to Index
 - b. Removed reference to Sheet PS2.01 from Index
3. Added Sheet C2.04 – ADD ALTERNATES PLAN

PROJECT MANUAL MODIFICATIONS

1. Refer to the “Form of Proposal”
 - a. REPLACE section in its entirety
2. Refer to Specification Section 012300 – Alternates
 - a. REPLACE Section in Paragraph 3.1:
C. Alternate No. 2A: PV + 90-MINUTE BATTERY BACKUP FOR PANEL “MPD” (ALTERNATE NO. 2A)
 1. Base Bid: No PV Panel. GDS, inverter, and lights with integral batteries.
 2. Alternate: Integrated Battery system that stores solar energy for back up protection as shown on electrical drawings and specified in section “PHOTOVOLTAIC COLLECTORS (ADD ALTERNATE NO. 1, NO. 2 & NO. 2A)” specification 263100
 - b. REPLACE Section in Paragraph 3.1:
F. Alternate No. 5: Not Used
 - c. ADD to Paragraph 3.1:
M. Alternate No. 12: Add Gravel at the Overflow Parking Lot in the area North of West Beaufort Road Extension
 1. Base Bid: Fine grading at 1 overflow lot.
 2. Alternate: Add gravel at 1 overflow lot.
 - d. ADD to Paragraph 3.1:

Bid Addendum 03



N. Alternate No. 13: Add Gravel at the Overflow Parking Lot in the area South of West Beaufort Road Extension and to the West

1. Base Bid: Fine grading at 1 overflow lot.
2. Alternate: Add gravel at 1 overflow lot.
3. Refer to Specification Section 074113.16 FL - Standing-Seam Metal Roof Panels, Paragraph 2.3 A
 - a. ADD 5. Sentrigard

GENERAL

1. As a reminder about the Request for Substitutions process: All Requests for Substitutions are to be submitted by a General Contractor registered to bid on the project. Vendors who contact Designer with requests will be directed to contact Chris Franchi at Sharpe Co. printers to request a list of registered bidders by email at cfranchi@sharpeco.net or by telephone at 919-573-5034.

REQUEST FOR SUBSTITUTION

1. A request was made for substitution of the electrically operated folding partition with Kwik Wall Series 3050 Electric.
 - a. RESPONSE: This request is rejected.
2. A request was made for substitution of the metal roofing panel system with Sentrigard Metal Roofing Systems.
 - a. RESPONSE: This substitution is acceptable.

QUESTIONS AND ANSWERS

1. **QUESTION:** I am in need of clarification on alternates # 5, 6, 7. The alternates have been given with unclear guidelines to what is the base bid. #5 states the base bid is to grade overflow lots. #6 Reads that no work is to be completed on the North side of West Beaufort Road. This would mean no grading at overflow lots when #5 says there is to be grading at overflow lots. #7 has the same issues with contradictory statements as to what is the base bid. To bid this project we will need a clear definition of the base bid. Preferably alternates would be shown on the plans or clearly defined. Please label overflow lots as we are referencing multiple overflow lots in the write up and they are all labeled the same.
 - a. RESPONSE: Alternate #5 has been revised to NOT USED, and Alternates #12 and #13 have been added to break up the graveled area into north and south sections that correspond to the graded areas included in Alternates #6 and #7, respectively. Civil Sheet C2.04 ADD ALTERNATES has been added, and all Civil related Alternates have been labeled therein so that the base bid is clearly defined. See also PROJECT MANUAL MODIFICATIONS and ATTACHMENTS of this Addendum.

Bid Addendum 03



2. **QUESTION:** Per GI001 Sheet Index, PS2.01 is listed under Civil Sheets. PS2.01 is not included in the plan set.
 - a. **RESPONSE:** Yes. Sheet PS2.01 is not included in the drawing set, and references to it have been deleted from the Sheet Index on GI001 and from the Sheet Index on C0.00.
3. **QUESTION:** I had a question from a millwork contractor. They are asking if there is a specific date for the millwork site delivery?
 - a. **RESPONSE:** No. We will rely on the successful bidder to generate and submit the construction schedule, and it is the General Contractor's responsibility to anticipate and coordinate procurement logistics and any impact on overall schedule.
4. **QUESTION:** Being this location is what I would consider coastal area, are the storefront systems to be Impact Rated?
 - a. **RESPONSE:** Yes. The storefront systems are to be impact rated. Refer to Specifications section 0894423, paragraph 2.1 I.
5. **QUESTION:** Would this structure house people during and after a hurricane, if it is an essential service building?
 - a. **RESPONSE:** No. The structure is not an essential service building and is not designed as refuge for people during or after a hurricane.

ATTACHMENTS

1. Drawing Sheets:
 - a. GI001
 - b. C0.00
 - c. C2.04
2. Specifications Sections:
 - a. "Form of Proposal"
 - b. 012300 – Alternates

END OF ADDENDUM 03

7/25/2024 10:20:50 AM
 \\ssk-dcs\Maritime Education Center\10145_Maritime Education Center_A23.rvt
 100

1 2 3 4 5 6

E

D

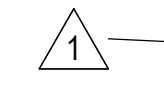
C

B

A

SHEET INDEX

SHEET NUMBER	SHEET NAME	SHEET NUMBER	SHEET NAME
GENERAL		ARCHITECTURAL	
G-001	COVER SHEET	A-001	ARCHITECTURAL LEGEND, NOTES AND ABBREVIATIONS
GI001	SHEET INDEX	AS101	ARCHITECTURAL SITE PLAN
GI002	BUILDING CODE SUMMARY	AE101	FIRST FLOOR PLAN
GI003	UL DESIGNS	AE102	SECOND FLOOR PLAN
GI101	FIRST FLOOR AND SECOND FLOOR LIFE SAFETY PLAN	AE111	FIRST FLOOR REFLECTED CEILING PLAN
		AE112	SECOND FLOOR REFLECTED CEILING PLAN
		AE121	ROOF PLAN
CIVIL		AE201	EXTERIOR ELEVATIONS
C0.00	COVER	AE202	EXTERIOR ELEVATIONS
C0.01	GENERAL NOTES	AE301	BUILDING SECTIONS
C0.02	GENERAL NOTES	AE302	BUILDING SECTIONS
C0.03	BOUNDARY AND TOPOGRAPHIC SURVEY	AE311	WALL SECTIONS
C0.04	BOUNDARY AND TOPOGRAPHIC SURVEY	AE312	WALL SECTIONS
C1.00	OVERALL EXISTING CONDITIONS	AE313	WALL SECTIONS
C1.01	EXISTING CONDITIONS PLAN	AE401	SPECIALTIES AND PLUMBING FIXTURES - MOUNTING HEIGHTS AND CLEARANCES
C1.02	EXISTING CONDITIONS PLAN	AE402	TOILET ROOM PLANS AND ELEVATIONS
C1.03	DEMOLITION PLAN	AE403	TOILET ROOM PLANS AND ELEVATIONS
C1.04	DEMOLITION PLAN	AE404	TOILET ROOM AND KITCHEN PLANS, INTERIOR AND CASEWORK ELEVATIONS
C2.00	OVERALL SITE PLAN	AE405	INTERIOR ELEVATIONS
C2.01	SITE PLAN	AE406	INTERIOR ELEVATIONS
C2.02	SITE PLAN	AE407	INTERIOR ELEVATIONS
C2.03	SIGNAGE AND ACCESS PLAN	AE408	INTERIOR ELEVATIONS
C2.04	ADD ALTERNATE PLAN	AE411	STAIR 001 PLANS AND SECTIONS
C3.01	UTILITY PLAN	AE412	STAIR 002 PLANS AND SECTIONS
C3.02	UTILITY PLAN	AE413	STAIR 001 DETAILS
C4.01	GRADING & DRAINAGE PLAN	AE414	STAIR 002 DETAILS
C4.02	GRADING & DRAINAGE PLAN	AE415	ELEVATOR PLANS AND SECTIONS
C4.03	GRADING ENLARGEMENT	AE416	ELEVATOR DETAILS
C5.01	EROSION CONTROL PLAN (STAGE 1)	AE501	PARTITION TYPES AND DETAILS
C5.02	EROSION CONTROL PLAN (STAGE 1)	AE530	CEILING DETAILS
C5.03	EROSION CONTROL PLAN (STAGE 2)	AE601	DOOR SCHEDULE, DOOR / FRAME TYPES AND DETAILS
C5.04	EROSION CONTROL PLAN (STAGE 2)	AE620	CURTAINWALL ELEVATIONS
C6.00	NC601	AE621	CURTAIN WALL DETAILS
C6.01	EROSION CONTROL NOTES AND DETAILS	AE622	CURTAIN WALL DETAILS
C6.02	EROSION CONTROL & DRAINAGE DETAILS	AE623	INTERIOR STOREFRONT / LOUVER ELEVATIONS AND DETAILS
C7.00	SANITARY FORCE MAIN PLAN & PROFILE	AE701	CASEWORK PLANS, SECTIONS AND DETAILS
C9.00	SITE DETAILS	AE702	CASEWORK PLANS, SECTIONS AND DETAILS
C9.01	SITE DETAILS	AE801	SITE DETAILS
C9.02	SANITARY SEWER AND WATER DETAILS	AE802	3D VIEWS
C9.04	WATER DETAILS		
PS1.00	GRINDER PUMP STATION DETAILS		
PS2.00	GRINDER PUMP STATION SPECIFICATIONS		
		INTERIORS	
LANDSCAPE		IN101	FIRST FLOOR FINISH PLAN
L3.00	OVERALL LAYOUT AND MATERIALS PLAN	IN102	SECOND FLOOR FINISH PLAN
L3.01	LAYOUT AND MATERIALS PLAN ENLARGEMENT	IN 601	FINISH LEGEND & SCHEDULE
L3.02	LAYOUT AND MATERIALS PLAN ENLARGEMENT	IG101	FIRST FLOOR SIGNAGE PLAN
L3.03	MATERIALS AND FINISH SCHEDULE	IG102	SECOND FLOOR SIGNAGE PLAN
L4.00	SITE DETAILS	IG501	SIGNAGE DETAILS AND NOTES
L4.10	SITE DETAILS	IF101	FIRST FLOOR FURNITURE PLAN
L4.20	SITE DETAILS	IF102	SECOND FLOOR FURNITURE PLAN
L7.00	OVERALL PLANTING PLAN		
L7.01	ENLARGED PLANTING PLAN		
L8.00	LIGHTING PLAN		
		PLUMBING	
STRUCTURAL		PE000	PLUMBING LEGEND, SCHEDULES AND DETAILS
S-001	GENERAL NOTES	PE001	PLUMBING SCHEDULES
S-002	GENERAL NOTES	PE101	LEVEL ONE AND ROOF PLUMBING PLANS
SB101	FOUNDATION PLAN	PE102	LEVEL ONE ENLARGED PLUMBING PLAN
SB102	SLAB PLAN	PE103	LEVEL TWO PLUMBING PLANS
SB301	FOUNDATION SECTIONS	PE201	ISOMETRICS
SB501	FOUNDATION TYPICAL DETAILS	PE300	PLUMBING DETAILS
SB502	FOUNDATION TYPICAL DETAILS		
SB502	FOUNDATION TYPICAL DETAILS	FIRE PROTECTION	
SF101	SECOND FLOOR & LOW ROOF FRAMING PLAN	FA101	FIRST & SECOND FLOOR FIRE ALARM PLAN
SF102	HIGH ROOF FRAMING PLAN	FX101	FIRST FLOOR FIRE SUPPRESSION PLAN
SF301	FLOOR FRAMING SECTIONS	FX102	SECOND FLOOR FIRE PROTECTION PLAN
SF311	ROOF FRAMING SECTIONS		
SF312	ROOF FRAMING SECTIONS	MECHANICAL	
SF501	FRAMING TYPICAL DETAILS	M-001	MECHANICAL LEGEND
SF502	FRAMING TYPICAL DETAILS	MH101	FIRST FLOOR HVAC FLOOR PLAN
SF503	FRAMING TYPICAL DETAILS	MH102	SECOND FLOOR HVAC FLOOR PLAN
		MP101	FIRST FLOOR PIPING FLOOR PLAN
		MP102	SECOND FLOOR PIPING FLOOR PLAN
		M-501	DETAILS
		M-601	SCHEDULES
		M-602	SCHEDULES
		M-701	DIAGRAMS AND SECTIONS
		M-801	CONTROLS
		ELECTRICAL	
		E-001	ELECTRICAL LEGEND, NOTES AND ABBREVIATIONS
		ES101	SITE POWER, LIGHTING AND TELECOM
		ES401	ENLARGED SITE PLAN - POWER AND TELECOM
		ES402	ELECTRICAL SITE DETAILS
		EG101	LIGHTNING PROTECTION PLAN
		EG501	LIGHTNING PROTECTION DETAILS
		EG502	LIGHTNING PROTECTION AND GROUNDING DETAILS
		EL101	FIRST & SECOND FLOOR LIGHTING PLANS
		EL601	LIGHTING FIXTURE SCHEDULE
		EP101	FIRST & SECOND FLOOR POWER PLANS
		EP401	ENLARGED POWER PLANS
		EP601	EQUIPMENT CONNECTION SCHEDULE & POWER DETAILS
		EP701	RISER DIAGRAMS
		TELECOM	
		TT101	FIRST & SECOND FLOOR TELECOM PLAN



MARITIME HERITAGE FOUNDATION
 THE NORTH CAROLINA MARITIME MUSEUM

Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ # : 10145

SCO ID # : 24-27956-01A

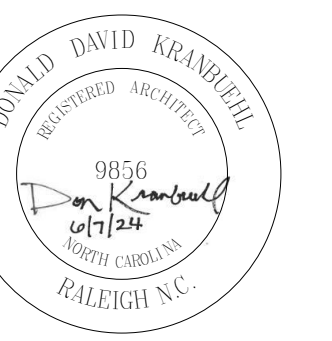
DESIGNER

CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600
 RALEIGH, NORTH CAROLINA 27603
 919-928-1876

CLARK NEXSEN LICENSE NUMBER C-1028

PROFESSIONAL SEAL



SUBMITTAL

JUNE 7, 2024

BID DOCUMENTS

REVISIONS

1 07.25.24 ADDENDUM 03

KEY PLAN

SHEET

SHEET INDEX

GI001

DESIGN: DDK
 DRAWN: AST/WMP/MCK
 REVIEW: MB

CN 10145

BID DOCUMENTS BEAUFORT MARITIME EDUCATION CENTER

SURVEY BENCHMARK

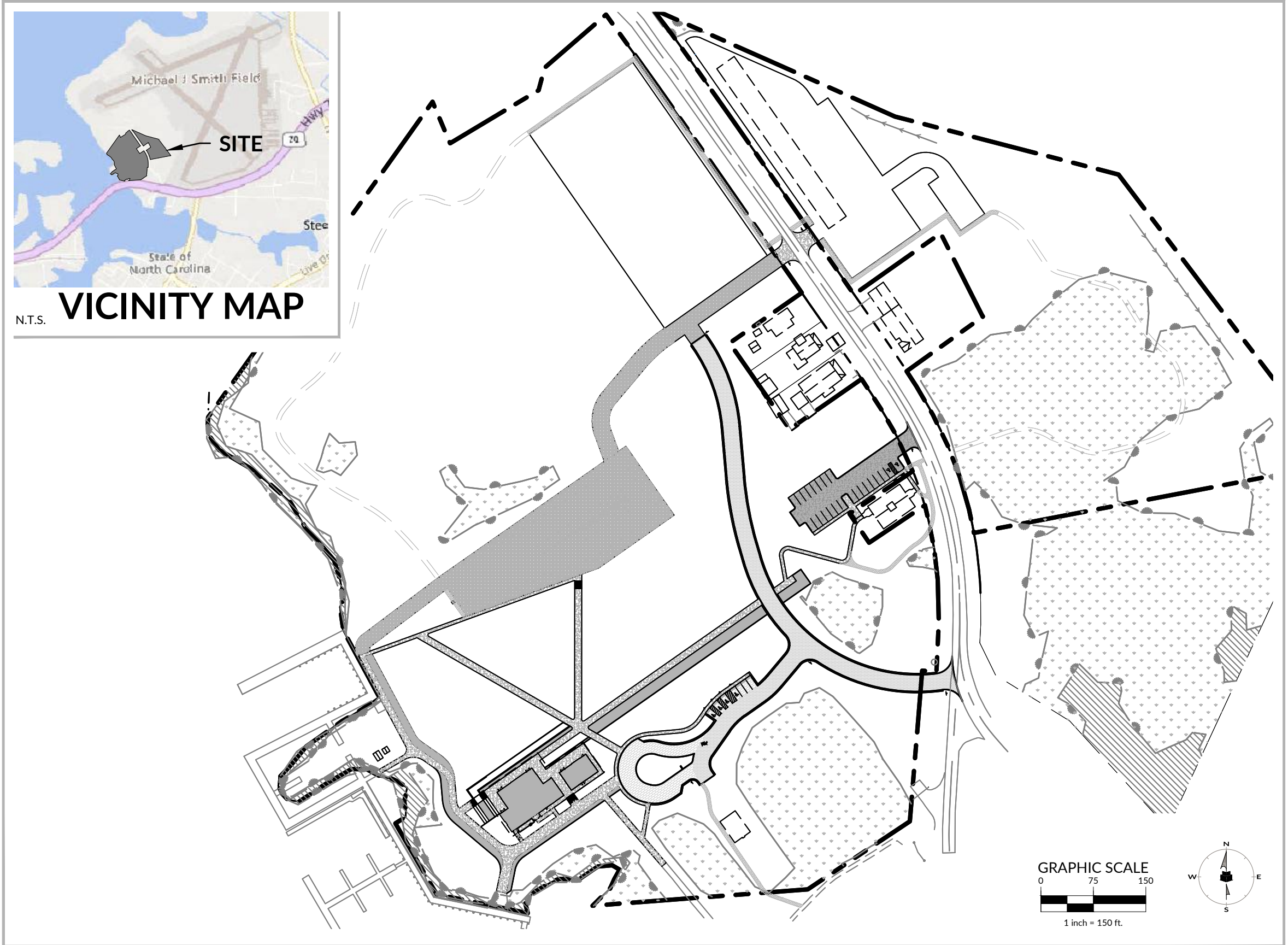
BENCHMARK IS LOCAL TO SITE.
SEE SHEET C1.00 FOR BENCHMARK INFORMATION.
VERTICAL DATUM BASED ON NAVD 88.

PARCEL DATA

PIN:	730613140379000	PIN:	730613144542000
OWNER:	STATE OF NORTH CAROLINA	OWNER:	CAROLINA CAY MARITIME FDN INC
ADDRESS:	293 WEST BEAUFORT RD EXT BEAUFORT, NC 28516	ADDRESS:	275 WEST BEAUFORT RD EXT BEAUFORT, NC 28516
ZONING:	B-W	ZONING:	R-20
AREA:	25.54 AC	AREA:	0.12 AC
DEED REF:	802-480	DEED REF:	1572-152
PIN:	730613147310000		
OWNER:	STATE EXEMPTION		
ADDRESS:	N/A		
ZONING:	B-W		
AREA:	3.27 AC		
DEED REF:	0870-00577		

293 WEST BEAUFORT RD EXT. | BEAUFORT, NC | CARTERET COUNTY

JUNE 7, 2024



NOTES

- ENTIRE PROJECT DRAINS TO THE NEWPORT RIVER.
- THE PUBLIC UTILITY EASEMENT PROPOSED WILL BE CONVEYED TO THE TOWN AS A PART OF THE FINAL PLAT PROCESS.
- THE TOWN OF BEAUFORT RECOMMENDS A TRAFFIC IMPACT ANALYSIS (TIA) BE PERFORMED PRIOR TO INITIATION OF THE FUTURE MUSEUM BUILDING PHASE.
- ALL PVIOUS HARDSCAPE SURFACES ARE TO BE MAINTAINED BY THE DEVELOPER AND PROPERTY OWNER. THE TOWN OF BEAUFORT IS NOT RESPONSIBLE FOR REPAIRS TO PAVERS, PVIOUS PAVEMENT, ETC.

SITE DATA TABLE

PARCEL PIN NO.	730613140379000, 730613144542000, 730613147310000
TOTAL PROJECT AREA (ACRES)	28.93 AC
WATERSHED	WHITE OAK
ZONING	B-W (BUSINESS WATERFRONT), R-20 (RESIDENTIAL)
EXISTING USE	EDUCATION
EXISTING BUILDING AREA	2,460 SF (BONEHENGE BUILDING)
PROPOSED USE	EDUCATION
PROPOSED BUILDING AREA	8,688 SF
TOTAL NUMBER OF UNITS	1 EXISTING, 1 PROPOSED, 2 TOTAL
PROPOSED DENSITY	0.07 UNITS PER ACRE
SETBACKS:	
FRONT	30'
SIDE	15'
REAR	15'
MAXIMUM BUILDING HEIGHT	35'
IMPERVIOUS AREAS:	
EXISTING	3.14 AC
PROPOSED	1.97 AC
FUTURE ALLOCATION	1.03 AC
WETLAND AREAS:	
COASTAL WETLANDS	0.76 AC
NON-COASTAL WETLANDS	1.68 AC
TOTAL SITE AREA LESS COASTAL WETLANDS & EXISTING IMPERVIOUS	25.04 AC
IMPERVIOUS PERCENTAGE	12.00 %
PROPOSED AREA OF DISTURBANCE	12.45 AC
PARKING CALCULATIONS:	
SPACES REQUIRED	38 (1 SP/300 SF BUILDING AREA)
SPACES PROVIDED	121 (6 ACCESSIBLE SPACES PROVIDED)
VEHICULAR ACCESS AREA (VAA)	187,893.00 SF
LANDSCAPE CALCULATIONS:	
AREA REQUIRED	22,547.16 SF (SEE L7.00 FOR DETAILED CALCULATIONS)
AREA PROVIDED	130,500 SF (SEE L7.00 FOR DETAILED CALCULATIONS)

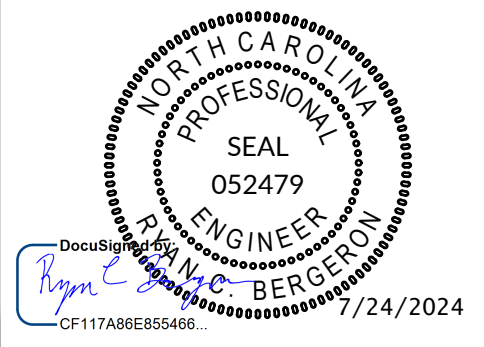
INDEX OF SHEETS

Sheet #	Sheet Title
C0.00	COVER
C0.01	GENERAL NOTES
C0.02	GENERAL NOTES
C0.03	BOUNDARY AND TOPOGRAPHIC SURVEY
C0.04	BOUNDARY AND TOPOGRAPHIC SURVEY
C1.00	OVERALL EXISTING CONDITIONS PLAN
C1.01	EXISTING CONDITIONS PLAN
C1.02	EXISTING CONDITIONS PLAN
C1.03	DEMOLITION PLAN
C1.04	DEMOLITION PLAN
C2.00	OVERALL SITE PLAN
C2.01	SITE PLAN
C2.02	SITE PLAN
C2.03	SIGNAGE AND ACCESS PLAN
C2.04	ADD ALTERNATE PLAN
C3.01	UTILITY PLAN
C3.02	UTILITY PLAN
C4.01	GRADING & DRAINAGE PLAN
C4.02	GRADING & DRAINAGE PLAN
C4.03	GRADING ENLARGEMENT
C5.01	EROSION CONTROL PLAN (STAGE 1)
C5.02	EROSION CONTROL PLAN (STAGE 1)
C5.03	EROSION CONTROL PLAN (STAGE 2)
C5.04	EROSION CONTROL PLAN (STAGE 2)
C6.00	NCG01
C6.01	EROSION CONTROL NOTES & DETAILS
C6.02	EROSION CONTROL & DRAINAGE DETAILS
C7.00	SANITARY FORCE MAIN PLAN & PROFILE
C7.01	WATER PLAN & PROFILE
C9.00	SITE DETAILS
C9.01	SITE DETAILS
C9.02	SANITARY SEWER AND WATER DETAILS
C9.04	WATER DETAILS
PS1.00	GRINDER PUMP STATION DETAILS
PS2.00	GRINDER PUMP STATION DETAILS

CONTACT LIST:

Civil Engineer
Ryan Bergeson
WithersRavenel
219 Station Road, Suite 101
Wilmington, NC 28402
910-256-9277

Architect
Clark Nexsen
421 North Harrington Street
Suite 600
Raleigh, North Carolina
919-826-1876



PREPARED BY:

WithersRavenel
219 Station Road | Suite 101 | Wilmington, NC 28405
License #: F-1479 | t: 910.256.9277 | www.withersravenel.com

DEVELOPER:

MARITIME HERITAGE FOUNDATION
293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516
ATTENTION: CHARLES OLIVER
PHONE: (919) 941-8400

BID DOCUMENTS
BEAUFORT MARITIME
EDUCATION CENTER
WR PROJECT NO.03221471
TOWN OF BEAUFORT:
MUNI PRO NON/A
06/07/2024

MARITIME HERITAGE FOUNDATION
THE NORTH CAROLINA MARITIME MUSEUM

Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145
SCD ID #: 24-27058-01A



421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER



219 STATION ROAD, SUITE 101
WILMINGTON, NORTH CAROLINA 28405
910-256-9277
WWW.WITHERSRAVENEL.COM
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL

SUBMITTAL
JUNE 7, 2024

BID DOCUMENTS

REVISIONS

NO.	DATE	DESCRIPTION
1	07/24/2023	ADDENDUM 3

KEY PLAN

COVER

C0.00

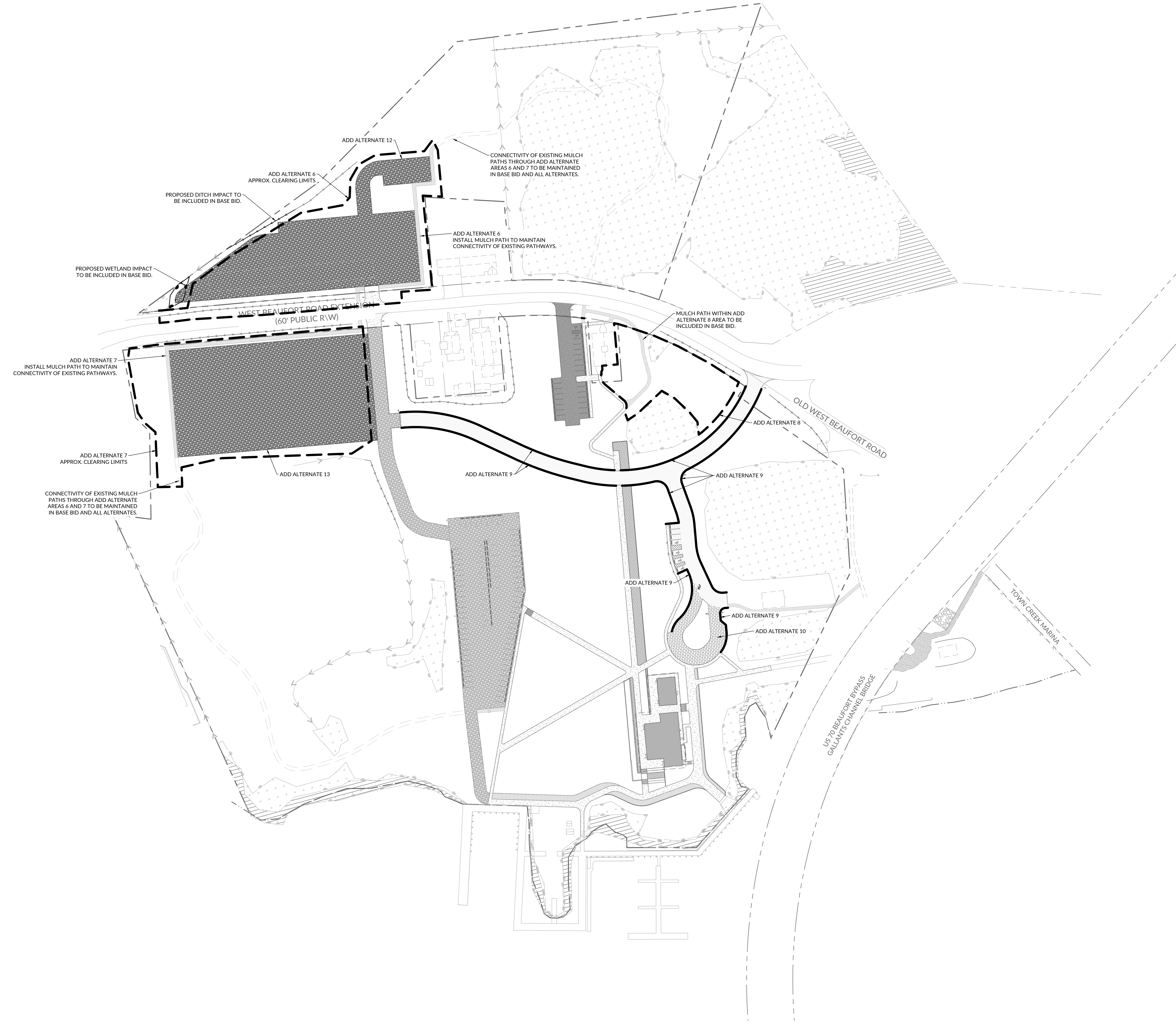
DESIGN: RCB
DRAWN: GWR
REVIEW: RCB

CN 10145

W20232-140022471-Beaufort Maritime Museum CDW/CD/Drwng, Int/Comm/Inst/CS/SE/CONTR/APP, WithersRavel, July 24, 2024 10:11:17 PM - RBE/RS/RCN
 W20232-140022471-Beaufort Maritime Museum CDW/CD/Drwng, Int/Comm/Inst/CS/SE/CONTR/APP, WithersRavel, July 24, 2024 10:11:17 PM - RBE/RS/RCN

our people • your success

EST. 1939



ADD ALTERNATE 6
ADD CLEARING AND MASS GRADING OF THE AREA TO THE NORTH OF WEST BEAUFORT ROAD EXTENSION AND INSTALL PROPOSED MULCH PATH THROUGH THIS AREA TO PRESERVE CONNECTIVITY OF EXISTING MULCH PATHWAY.

ADD ALTERNATE 7
ADD CLEARING AND MASS GRADING OF THE AREA TO THE WEST OF THE PROPOSED GRAVEL FIRE ACCESS DRIVEWAY CONNECTION AND INSTALL PROPOSED MULCH PATH THROUGH THIS AREA TO PRESERVE CONNECTIVITY OF EXISTING MULCH PATHWAY.

ADD ALTERNATE 8
ADD APPROXIMATELY 25,600 SF OF ENHANCED LANDSCAPE AND WETLAND TRANSITION LANDSCAPE IN AREA NORTH OF THE NEW ROAD AND EAST OF BONEHENGE. REFER TO LANDSCAPE PLANS FOR DETAILS.

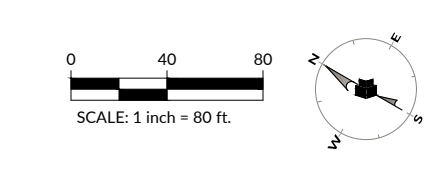
ADD ALTERNATE 9
ADD 2-FOOT WIDE COBBLE STONE DETAIL IN LIEU OF CONCRETE RIBBON CURB. REFER TO LANDSCAPE PLANS FOR DETAILS.

ADD ALTERNATE 10
INSTALL PERVIOUS PAVERS. REFER TO LANDSCAPE PLANS FOR DETAILS. BASE BID TO INCLUDE PERMEABLE CONCRETE PAVEMENT IN THIS AREA.

ADD ALTERNATE 12
INSTALL GRAVEL AT OVERFLOW PARKING LOT NORTH OF WEST BEAUFORT ROAD EXTENSION.

ADD ALTERNATE 13
INSTALL GRAVEL AT OVERFLOW PARKING LOT WEST OF FIRE ACCESS DRIVEWAY.

FLOOD PLAIN INVOLVEMENT:
DEVELOPMENT WHICH WILL TAKE PLACE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AT ELEVATION 6' IS DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF EXECUTIVE ORDER NO. 123-UNIFORM FLOODPLAIN MANAGEMENT POLICY.



CN PROJ #: 10145
SOD ID #: 24-27056-01A

DESIGNER



421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

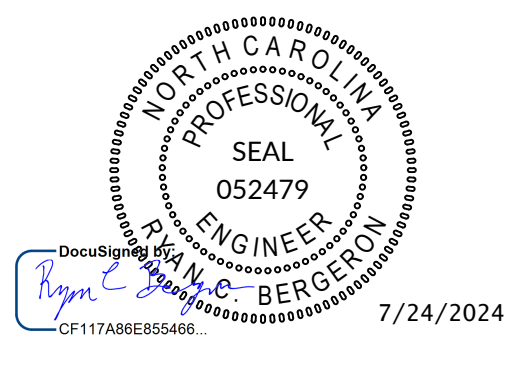
CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER



219 STATION ROAD, SUITE 101
WILMINGTON, NORTH CAROLINA 28405
910-256-9277
WWW.WITHERSRAVENEL.COM
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL



SUBMITTAL
JUNE 7, 2024

BID DOCUMENTS

REVISIONS

NO.	DATE	DESCRIPTION
1	07/24/2023	ADDENDUM 3

KEY PLAN

SHEET

ADD ALTERNATE PLAN

C2.04

DESIGN: RCB
DRAWN: GWR
REVIEW: RCB

CN 10145

W:\2022\100222471-Beaufort Maritime Museum CD\CD\Drawings\Site\Construction\C2.04-ADD ALTERNATE PLAN.dwg, Wednesday, July 24, 2024 4:14:38 PM - BERGEON

FORM OF PROPOSAL

Maritime Education Center

Contract: Single Prime

Department of Natural and Cultural Resources

Bidder: _____

SCO-ID # 24-27956-01A

Date: _____

The undersigned, as bidder, hereby declares that the only person or persons interested in this proposal as principal or principals is or are named herein and that no other person than herein mentioned has any interest in this proposal or in the contract to be entered into; that this proposal is made without connection with any other person, company or parties making a bid or proposal; and that it is in all respects fair and in good faith without collusion or fraud. The bidder further declares that he has examined the site of the work and the contract documents relative thereto and has read all special provisions furnished prior to the opening of bids; that he has satisfied himself relative to the work to be performed. The bidder further declares that he and his subcontractors have fully complied with NCGS 64, Article 2 in regards to E-Verification as required by Section 2.(c) of Session Law 2013-418, codified as N.C. Gen. Stat. § 143-129(j).

The Bidder proposes and agrees if this proposal is accepted to contract with the
State of North Carolina

in the form of contract specified below, to furnish all necessary materials, equipment, machinery, tools, apparatus, means of transportation and labor necessary to complete the construction of
the project including an approximately 8,700 sf of new construction and site work but is not limited to Demolition, Civil, Landscape, Plumbing, Mechanical, Electrical, Communications, Fire Alarm, Fire Suppression, and Architectural Improvements

in full and complete accordance with the plans, specifications and contract documents, to the full and entire satisfaction of the State of North Carolina, and the
Department of Natural and Cultural Resources and Clark Nexsen

with a definite understanding that no money will be allowed for extra work except as set forth in the General Conditions and the contract documents, for the sum of:

SINGLE PRIME CONTRACT:

Base Bid: _____ Dollars(\$)

General Subcontractor: _____

Plumbing Subcontractor: _____

Mechanical Subcontractor: _____

Electrical Subcontractor: _____

GS143-128(d) requires all single prime bidders to identify their subcontractors for the above subdivisions of work. A contractor whose bid is accepted shall not substitute any person as subcontractor in the place of the subcontractor listed in the original bid, except (i) if the listed subcontractor's bid is later determined by the contractor to be non-responsible or non-responsive or the listed subcontractor refuses to enter into a contract for the complete performance of the bid work, or (ii) with the approval of the awarding authority for good cause shown by the contractor.

ALTERNATES:

Should any of the alternates as described in the contract documents be accepted, the amount written below shall be the amount to be "added to" or "deducted from" the base bid. (Strike out "Add" or "Deduct" as appropriate.)

GENERAL CONTRACT SCOPE ALTERNATES:

Alternate No. 1: Photovoltaic Panel System

(Add) _____ Dollars (\$)

Alternate No. 2: PV + 90-Minute Battery Backup For Panel "INV"

(Add) _____ Dollars (\$)

Alternate No. 2A: PV + 90-Minute Battery Backup For Panel "MDP"

(Add) _____ Dollars (\$)

Alternate No. 3: Concrete Benches

(Add) _____ Dollars (\$)

Alternate No. 4: Cedar Wood Siding

(Add) _____ Dollars (\$)

Alternate No. 5: Not Used

Alternate No. 6: - Add grading in the area North of West Beaufort Road Extension

(Add) _____ Dollars (\$)

Alternate No. 7: - Add Grading Beyond Fire Access Road & Overflow Parking to the West

(Add) _____ Dollars (\$)

Alternate No. 8: - Add sf of enhanced landscape.

(Add) _____ Dollars (\$)

Alternate No. 9: - Curb Alternate

(Add) _____ Dollars (\$)

Alternate No. 10: - Pervious Concrete vs pervious pavers

(Add) _____ Dollars (\$)

Alternate No. 11: - Operable partition

(Add) _____ Dollars (\$)

Alternate No. 12: - Add Gravel at the Overflow Parking Lot in the area North of West Beaufort Road Extension

(Add) _____ Dollars (\$)

Alternate No. 13: - Add Gravel at the Overflow Parking Lot in the area South of West Beaufort Road Extension and to the West

(Add) _____ Dollars (\$)

UNIT PRICES

Unit prices quoted and accepted shall apply throughout the life of the contract, except as otherwise specifically noted. Unit prices shall be applied, as appropriate, to compute the total value of changes in the base bid quantity of the work all in accordance with the contract documents.

GENERAL CONTRACT:

No. 1 Removal of Unsatisfactory Soil and replacement with satisfactory soil material

Base Contract Total: 500 cubic yards x \$ _____/cubic yard = \$ _____

No. 2 Existing Foundation excavation and replacement with satisfactory soil material

Base Contract Total: 500 cubic yards x \$ _____/cubic yard = \$ _____

The bidder further proposes and agrees hereby to commence work under this contract on a date to be specified in a written order of the designer and shall fully complete all work thereunder within the time specified in the Supplementary General Conditions Article 23. Applicable liquidated damages amount is also stated in the Supplementary General Conditions Article 23.

MINORITY BUSINESS PARTICIPATION REQUIREMENTS

Provide with the bid - Under GS 143-128.2(c) the undersigned bidder shall identify **on its bid** (Identification of Minority Business Participation Form) the minority businesses that it will use on the project with the total dollar value of the bids that will be performed by the minority businesses. **Also** list the good faith efforts (Affidavit **A**) made to solicit minority participation in the bid effort.

NOTE: A contractor that performs all of the work with its own workforce may submit an Affidavit (**B**) to that effect in lieu of Affidavit (**A**) required above. The MB Participation Form must still be submitted even if there is zero participation.

After the bid opening - The Owner will consider all bids and alternates and determine the lowest responsible, responsive bidder. Upon notification of being the apparent low bidder, the bidder shall then file within 72 hours of the notification of being the apparent lowest bidder, the following:

An Affidavit (**C**) that includes a description of the portion of work to be executed by minority businesses, expressed as a percentage of the total contract price, which is equal to or more than the 10% goal established. This affidavit shall give rise to the presumption that the bidder has made the required good faith effort and Affidavit **D** is not necessary;

* **OR** *

If less than the 10% goal, Affidavit (**D**) of its good faith effort to meet the goal shall be provided. The document must include evidence of all good faith efforts that were implemented, including any advertisements, solicitations and other specific actions demonstrating recruitment and selection of minority businesses for participation in the contract.

Note: Bidders must always submit **with their bid** the Identification of Minority Business Participation Form listing all MB contractors, vendors and suppliers that will be used. If there is no MB participation, then enter none or zero on the form. Affidavit A **or** Affidavit B, as applicable, also must be submitted with the bid. Failure to file a required affidavit or documentation with the bid or after being notified apparent low bidder is grounds for rejection of the bid.

Proposal Signature Page

The undersigned further agrees that in the case of failure on his part to execute the said contract and the bonds within ten (10) consecutive calendar days after being given written notice of the award of contract, the certified check, cash or bid bond accompanying this bid shall be paid into the funds of the owner's account set aside for the project, as liquidated damages for such failure; otherwise the certified check, cash or bid bond accompanying this proposal shall be returned to the undersigned.

Respectfully submitted this day of _____

(Name of firm or corporation making bid)

WITNESS:

(Proprietorship or Partnership)

By: _____
Signature

Name: _____
Print or type

Title _____
(Owner/Partner/Pres./V.Pres)

Address _____

ATTEST:

By: _____

Title: _____
(Corp. Sec. or Asst. Sec. only)

License No. _____

Federal I.D. No. _____

Email Address: _____

(CORPORATE SEAL)

Addendum received and used in computing bid:

Addendum No. 1 _____ Addendum No. 3 _____ Addendum No. 5 _____ Addendum No. 6 _____

Addendum No. 2 _____ Addendum No. 4 _____ Addendum No. 6 _____ Addendum No. 7 _____

SECTION 012300 - ALTERNATES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements for alternates.

1.3 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to or deducted from the base bid amount if the Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
 - 2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternates into the Work. No other adjustments are made to the Contract Sum.

1.4 PROCEDURES

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include, as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation, whether or not indicated as part of alternate.
- B. Execute accepted alternates under the same conditions as other Work of the Contract.
- C. Schedule: A Part 3 "Schedule of Alternates" Article is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALTERNATES

A. Alternate No. 1: PV Panel System

1. Base Bid: No PV panel system. GDS, inverter, and lights with integral batteries.
2. Alternate: PV Panel system as indicated on Drawing AE121 and as specified in Section "PHOTOVOLTAIC COLLECTORS (ADD ALTERNATE NO. 1, NO. 2 & NO. 2A)" specification 263100.

B. Alternate No. 2: PV + 90-MINUTE BATTERY BACKUP FOR PANEL "INV" (ALTERNATE NO. 2)

1. Base Bid: No PV Panel. GDS, inverter, and lights with integral batteries.
2. Alternate: Integrated Battery system that stores solar energy for back up protection as shown on electrical drawings and specified in section "PHOTOVOLTAIC COLLECTORS (ADD ALTERNATE NO. 1, NO. 2 & NO. 2A)" specification 263100

C. Alternate No. 2A: PV + 90-MINUTE BATTERY BACKUP FOR PANEL "MPD" (ALTERNATE NO. 2A)

1. Base Bid: No PV Panel. GDS, inverter, and lights with integral batteries.
2. Alternate: Integrated Battery system that stores solar energy for back up protection as shown on electrical drawings and specified in section "PHOTOVOLTAIC COLLECTORS (ADD ALTERNATE NO. 1, NO. 2 & NO. 2A)" specification 263100

D. Alternate No. 3: Concrete Benches

1. Base Bid: No concrete benches along Great Lawn
2. Alternate: Reinforced Concrete benches as shown on drawings L3.01 and L3.02 and L4.00.

E. Alternate No. 4: Cedar Wood Siding

1. Base Bid: Fiber Cement Painted Siding.
2. Alternate: 8" Cedar wood siding planks sealed as shown on drawings and specified in "Exterior Finish Carpentry" 062013.

F. Alternate No. 5: Not Used

G. Alternate No. 6: Add grading in the area North of West Beaufort Road Extension

1. Base Bid: Grading to remain as is.
2. Alternate: Add grading to the north side of West Beaufort Road Extension as shown on the civil plans.

- H. Alternate No. 7: Add Grading Beyond Fire Access Road & Overflow Parking to the West
1. Base Bid: No grading to occur past the fire access road/overflow parking on the west side of the site.
 2. Alternate: Grading beyond what is required as noted on the civil drawings in support of the fire access road and overflow parking to the west.
- I. Alternate No. 8: Add sf of enhanced landscape.
1. Base Bid: No landscaping within area unless required in area north of the new road and east of Bonehenge.
 2. Alternate: Add 23,296 sf of enhanced landscape in area north of the new road and east of Bonehenge.
- J. Alternate No. 9: Curb Alternate
1. Base bid: Standard curb as shown on landscape drawings.
 2. Alternate: Add 2-foot wide cobble stone detail in lieu of standard curb.
- K. Alternate No. 10: Pervious Concrete vs pervious pavers
1. Base Bid: Pervious Concrete as shown on landscape plans.
 2. Alternate: Add pervious pavers in lieu of pervious concrete.
- L. Alternate No. 11: Operable partition
1. Base Bid: No operable partition, storefront or structural beam.
 2. Alternate: Provide operable partition, structural beam and storefront.
- M. Alternate No. 12: Add Gravel at the Overflow Parking Lot in the area North of West Beaufort Road Extension
1. Base Bid: Fine grading at 1 overflow lot.
 2. Alternate: Add gravel at 1 overflow lot.
- N. Alternate No. 13: Add Gravel at the Overflow Parking Lot in the area South of West Beaufort Road Extension and to the West
1. Base Bid: Fine grading at 1 overflow lot.
 2. Alternate: Add gravel at 1 overflow lot.

END OF SECTION 012300