

Bid Addendum 05



CLARK NEXSEN
421 N. Harrington Street, Suite 600
Raleigh, NC 27603
Phone: 919-828-1876

Project: Maritime Museum Education Center,
Beaufort, NC – Construction Phase Services

Date: August 2, 2024

SCO#: 24-27956-01A

Prepared by: Allan Kram, AIA

CN #: 10145-01

This ADDENDUM is to be a part of the contract documents and modifies and takes precedence over the original bid documents, as noted below and in any attached documents. Original items of the plans and specifications that have been modified, amended, voided, or suspended through previous addendums, shall remain in effect. It is the responsibility of the Bidder to notify and/or distribute this ADDENDUM to those sub-bidders who have received prints or digital files. The Bidder is to acknowledge receipt of this ADDENDUM in the space provided on the Bid Form.

DRAWING MODIFICATIONS

1. Sheet C0.00:
 - a. Road hatches have been modified.
2. Sheet C2.00:
 - a. Road hatches have been modified.
3. Sheet C2.01:
 - a. Road hatches have been modified.
4. Sheet C2.03:
 - a. Road hatches have been modified.
5. Sheet C2.04:
 - a. Road hatches have been modified.
 - b. Text in ADD ALTERNATE 8 has been revised.
 - c. Text in ADD ALTERNATE 9 has been revised.
6. Sheet C3.01:
 - a. Road hatches have been modified.
7. Sheet C4.01:
 - a. Road hatches have been modified.
8. Sheet C4.03:
 - a. Road hatches have been modified.
9. Sheet C5.03:
 - a. Road hatches have been modified.
10. Sheet C7.00:
 - a. Road hatches have been modified.
11. Sheet C7.01:
 - a. Road hatches have been modified.
 - b. Manholes and sanitary sewer lines that are not a part of the project have been removed.
12. Sheet C9.00:
 - a. Gravel Pavement Detail has been added.

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13. Sheet L3.01:
 - a. Pavement hatches have been modified.
 - b. Alternates are labeled and new tags are clouded.
14. Sheet L3.02:
 - a. Pavement hatches have been modified.
 - b. Alternates are labeled and new tags are clouded.
15. Sheet L3.03:
 - a. Pavement hatches have been modified.
 - b. Alternates are labeled and new tags are clouded.
16. Sheet L4.00:
 - a. Detail 8 Grasspave2 Details has been added.
17. Sheet L4.00:
 - a. Detail 8 Grasspave2 Details has been added.
18. Sheet AE302
 - a. Sound Absorbing Wall callout has been added.
19. Sheet AE408
 - a. Sound Absorbing Wall callout has been added.
20. Sheet AE701
 - a. Sound Absorbing Wall callouts have been added.
21. Sheet IN101
 - a. SAW2 added to walls in room 101 as indicated.
 - b. Extents of abuse-resistant wallcovering have been modified in room 106.
 - c. Floor Finish Legend has been revised to include PCFT1
22. Sheet IN601
 - a. Rooms 100 and 130 were revised in Finish Schedule to receive CPT2 as indicated on Finish Plans.
 - b. Room 101 was revised on Finish Schedule to receive SAW2 on walls as indicated on Finish Plans.
 - c. Sound Absorbing Wall unit SAW2 was added to Finish Legend.

PROJECT MANUAL MODIFICATIONS

1. Refer to Specification Section 012300 - ALTERNATES
 - a. REPLACE Section in Paragraph 3.1:
 - J. Alternate No. 9: Curb Alternate
 1. Base bid: Standard curb as shown on landscape drawings.
 2. Alternate: Add river rock and steel edging details in lieu of standard curb.
2. Refer to Specification Section 098433 – SOUND ABSORBING WALL UNITS.
 - a. REPLACE Section in its entirety; SAW2 was added.
3. Refer to Specification Section 321723 – PAVEMENT MARKINGS
 - a. REPLACE Section in its entirety.

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4. Refer to Specification Section 323113 – CHAIN LINK FENCES AND GATES
 - a. REMOVE Section.

GENERAL

1. As a reminder: This is the final Addendum.
2. As a reminder: Sealed bids are to be delivered to the North Carolina Maritime Museum in Beaufort, NC in the office of Charles Oliver at **315 Front St., Beaufort, NC** up to **3:00 p.m.** on **August 12, 2024**.

REQUEST FOR SUBSTITUTION

1. A request was made for substitution of the acoustic wood veneer wall panel with Perfecto Micro panels by RPG.
 - a. **RESPONSE:** This request is rejected.
2. A request was made for substitution of the metal roof panel system with Construction Metal Products metal roof panel.
 - a. **RESPONSE:** This request is rejected.

QUESTIONS AND ANSWERS

1. **QUESTION:** The large area on the west side of drawing L3.01 is noted P9. That material is neither specified on the finish schedule of the corresponding page nor the full Materials and Finish Schedule L3.03. C.200 denotes existing gravel in that area. Please clarify.
 - a. **RESPONSE:** Refer to attached sheets L3.01 and C9.01. Landscape drawings have been revised to show the appropriate hatch pattern, and the Materials and Finish Schedules therein have been noted as "Gravel Drive" and updated to remove Pavement P9. An associated Gravel Pavement Detail is added on Civil sheet C9.00.
2. **QUESTION:** Alternate #9: please provide product info & a cross-section for the cobble stone curb alternate. Cobble stone is a broad description & pricing varies greatly depending on product & installation method.
 - a. **RESPONSE:** Refer to attached sheet L4.00; to sheet L4.01; and to Specifications Section 012300 - Alternates. The alternate material in Alternate #9 is defined as a River Rock edge. The detail can be found in Detail #6 on sheet L4.01.

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3. **QUESTION:** Alternate #10: See attached [indicating **Lot 1A**] – this parking lot is designated pervious concrete within Civil drawings. Is this parking lot to be included in Alternate #10 – permeable pavers in lieu of pervious concrete?
 - a. **RESPONSE:** No. Refer to attached sheet C2.04 - Add Alternate Plan, which has been revised for clarity. Lot 1A is not included in Alternate 10.
4. **QUESTION:** Alternate #10: See attached [indicating **Lot 1B**] – are the paver-hatched parking stalls base bid?
 - a. **RESPONSE:** No. Refer to attached sheet C2.04 - Add Alternate Plan; and refer to attached sheets L3.01, L3.02, and L3.03, which have been revised for clarity. The parking stalls in Lot 1B are included in Alternate 10; but pervious concrete is in the base bid, while pervious pavers are in the Alternate.
5. **QUESTION:** See attached [indicating **Lot 1B**] – identify parking stall striping material.
 - a. **RESPONSE:** Refer to attached Specifications Section 321723. Concrete and pervious concrete parking stalls in Base Bid are to be striped in paint. The permeable paver parking stalls of Alternate #10 are to be striped via pavers of contrasting color and size.
6. **QUESTION:** Please provide a cross-section for Grasspave (identified as P7 within Landscape drawings).
 - a. **RESPONSE:** Refer to attached sheet L4.00. Detail 8 Grasspave2 Detail has been added.
7. **QUESTION:** Alternate 10 The area highlighted is just the cul-de-sac, drop off area. There are more areas shown as pavers in the original plans. Please verify: Parking lot 1A, 1B, and Cul-de-sac are to all be pervious concrete in the base bid. Alternate 10 only refers to pricing of permeable pavers on the cul-de-sac as shown on Addendum 3. Plan sheet attached for clarity.
 - a. **RESPONSE:** Refer to attached sheet C2.04 - Add Alternate Plan; and refer to attached sheets L3.01 and L3.03. Lot 1A is not included in Alternate 10. Both the cul-de-sac and Lot 1B are permeable concrete in the base bid and permeable pavers in Alternate 10.
8. **QUESTION:** Alternate 12 & 13 – Confirm gravel to be installed at 6” thick.
 - a. **RESPONSE:** Yes. Refer to Gravel Pavement Detail on attached sheet C9.00.
9. **QUESTION:** Chain link fencing/gates 323113 is specified in the project manual. In looking at the plan drawings, no chain link fence is present. Please direct.
 - a. **RESPONSE:** Refer to PROJECT MANUAL MODIFICATIONS above. Chain link fencing is no longer proposed, and this section of the Specifications is removed.

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10. **QUESTION:** Please verify the following floor finishes. Room 100 has CPT2 pattern on Floor Plan (FP), but none listed on Finish Schedule (FS), Room 130 has CPT2 pattern on FP, but CPT3 on FS. Is the Floor Plan or Finish Schedule correct?
- a. **RESPONSE:** Refer to sheets IN101 and IN601. The Finish Schedule has been revised. Room 100 is to receive CPT2 and Room 130 is to receive CPT2.
11. **QUESTION:** On page PE001, the plumbing fixture schedule P-8 refers to a tile shower that is detailed on the architectural drawings. I cannot find any detail on the tile or type of tile. Please advise/direct.
- a. **RESPONSE:** Refer to sheets IN101 and IN601 and project manual for tile specifications and installation pattern.

ATTACHMENTS

1. Drawing Sheets:
- a. C0.00
 - b. C2.01
 - c. C2.03
 - d. C2.04
 - e. C3.01
 - f. C4.01
 - g. C4.03
 - h. C5.03
 - i. C7.00
 - j. C7.01
 - k. C9.00
 - l. L3.01
 - m. L3.02
 - n. L3.03
 - o. L4.00
 - p. AE302
 - q. AE408
 - r. AE701
 - s. IN101
 - t. IN601
2. Specifications Sections:
- a. 012300 – Alternates
 - b. 098433 – SOUND ABSORBING WALL UNITS
 - c. 321723 – PAVEMENT MARKINGS

END OF ADDENDUM 05

SURVEY BENCHMARK

BENCHMARK IS LOCAL TO SITE.
SEE SHEET C1.00 FOR BENCHMARK INFORMATION.
VERTICAL DATUM BASED ON NAVD 88.

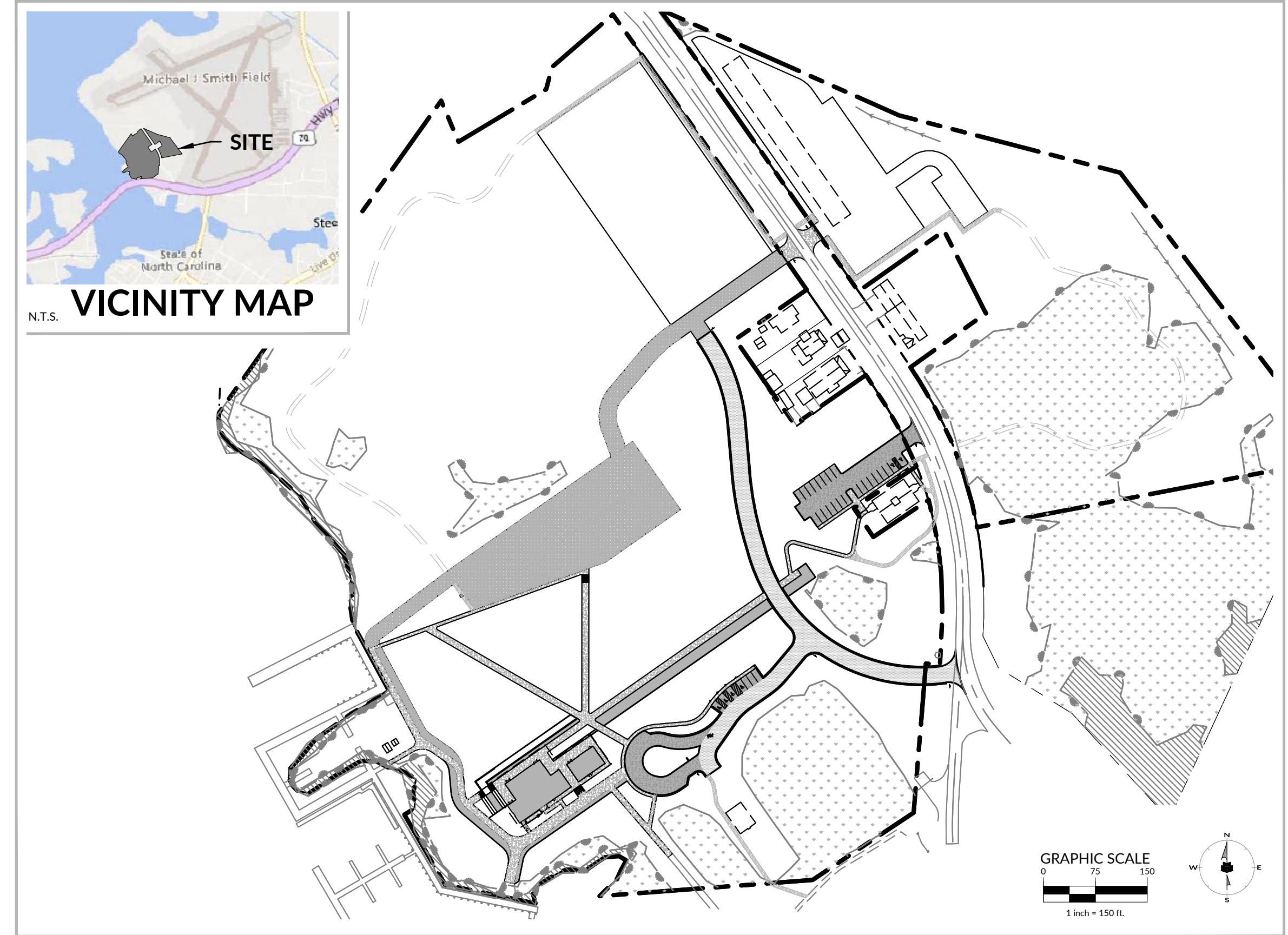
PARCEL DATA

PIN:	730613140379000	PIN:	730613144542000
OWNER:	STATE OF NORTH CAROLINA	OWNER:	CAROLINA CAY MARITIME FDN INC
ADDRESS:	293 WEST BEAUFORT RD EXT BEAUFORT, NC 28516	ADDRESS:	275 WEST BEAUFORT RD EXT BEAUFORT, NC 28516
ZONING:	B-W	ZONING:	R-20
AREA:	25.54 AC	AREA:	0.12 AC
DEED REF:	802-480	DEED REF:	1572-152
PIN:	730613147310000		
OWNER:	STATE EXEMPTION		
ADDRESS:	N/A		
ZONING:	B-W		
AREA:	3.27 AC		
DEED REF:	0870-00577		

SITE DATA TABLE

PARCEL PIN NO.	730613140379000, 730613144542000, 730613147310000
TOTAL PROJECT AREA (ACRES)	28.93 AC
WATERSHED	WHITE OAK
ZONING	B-W (BUSINESS WATERFRONT), R-20 (RESIDENTIAL)
EXISTING USE	EDUCATION
EXISTING BUILDING AREA	2,460 SF (BONEHENGE BUILDING)
PROPOSED USE	EDUCATION
PROPOSED BUILDING AREA	8,688 SF
TOTAL NUMBER OF UNITS	1 EXISTING, 1 PROPOSED, 2 TOTAL
PROPOSED DENSITY	0.07 UNITS PER ACRE
SETBACKS:	
FRONT	30'
SIDE	15'
REAR	15'
MAXIMUM BUILDING HEIGHT	35'
IMPERVIOUS AREAS:	
EXISTING	3.14 AC
PROPOSED	1.97 AC
FUTURE ALLOCATION	1.03 AC
WETLAND AREAS:	
COASTAL WETLANDS	0.76 AC
NON-COASTAL WETLANDS	1.68 AC
TOTAL SITE AREA LESS COASTAL WETLANDS & EXISTING IMPERVIOUS	25.04 AC
IMPERVIOUS PERCENTAGE	12.00 %
PROPOSED AREA OF DISTURBANCE	12.45 AC
PARKING CALCULATIONS:	
SPACES REQUIRED	38 (1 SP/300 SF BUILDING AREA)
SPACES PROVIDED	121 (6 ACCESSIBLE SPACES PROVIDED)
VEHICULAR ACCESS AREA (VAA)	187,893.00 SF
LANDSCAPE CALCULATIONS:	
AREA REQUIRED	22,547.16 SF (SEE L7.00 FOR DETAILED CALCULATIONS)
AREA PROVIDED	130,500 SF (SEE L7.00 FOR DETAILED CALCULATIONS)

293 WEST BEAUFORT RD EXT. | BEAUFORT, NC | CARTERET COUNTY
JUNE 7, 2024



- NOTES**
- ENTIRE PROJECT DRAINS TO THE NEWPORT RIVER.
 - THE PUBLIC UTILITY EASEMENT PROPOSED WILL BE CONVEYED TO THE TOWN AS A PART OF THE FINAL PLAT PROCESS.
 - THE TOWN OF BEAUFORT RECOMMENDS A TRAFFIC IMPACT ANALYSIS (TIA) BE PERFORMED PRIOR TO INITIATION OF THE FUTURE MUSEUM BUILDING PHASE.
 - ALL PVIOUS HARDSCAPE SURFACES ARE TO BE MAINTAINED BY THE DEVELOPER AND PROPERTY OWNER. THE TOWN OF BEAUFORT IS NOT RESPONSIBLE FOR REPAIRS TO PAVERS, PVIOUS PAVEMENT, ETC.

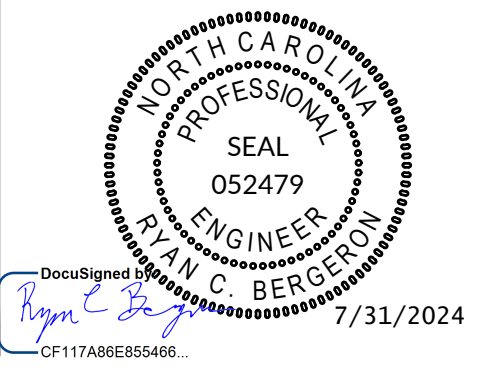
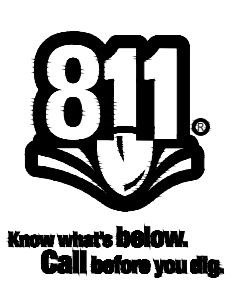
INDEX OF SHEETS

Sheet #	Sheet Title
C0.00	COVER
C0.01	GENERAL NOTES
C0.02	GENERAL NOTES
C0.03	BOUNDARY AND TOPOGRAPHIC SURVEY
C0.04	BOUNDARY AND TOPOGRAPHIC SURVEY
C1.00	OVERALL EXISTING CONDITIONS PLAN
C1.01	EXISTING CONDITIONS PLAN
C1.02	EXISTING CONDITIONS PLAN
C1.03	DEMOLITION PLAN
C1.04	DEMOLITION PLAN
C2.00	OVERALL SITE PLAN
C2.01	SITE PLAN
C2.02	SITE PLAN
C2.03	SIGNAGE AND ACCESS PLAN
C2.04	ADD ALTERNATE PLAN
C3.01	UTILITY PLAN
C3.02	UTILITY PLAN
C4.01	GRADING & DRAINAGE PLAN
C4.02	GRADING & DRAINAGE PLAN
C4.03	GRADING ENLARGEMENT
C5.01	EROSION CONTROL PLAN (STAGE 1)
C5.02	EROSION CONTROL PLAN (STAGE 1)
C5.03	EROSION CONTROL PLAN (STAGE 2)
C5.04	EROSION CONTROL PLAN (STAGE 2)
C6.00	NCG01
C6.01	EROSION CONTROL NOTES & DETAILS
C6.02	EROSION CONTROL & DRAINAGE DETAILS
C7.00	SANITARY FORCE MAIN PLAN & PROFILE
C7.01	WATER PLAN & PROFILE
C9.00	SITE DETAILS
C9.01	SITE DETAILS
C9.02	SANITARY SEWER AND WATER DETAILS
C9.04	WATER DETAILS
PS1.00	GRINDER PUMP STATION DETAILS
PS2.00	GRINDER PUMP STATION DETAILS

CONTACT LIST:

Civil Engineer
Ryan Bergeson
WithersRavenel
219 Station Road, Suite 101
Wilmington, NC 28402
910-256-9277

Architect
Clark Nexsen
421 North Harrington Street
Suite 600
Raleigh, North Carolina
919-828-1876



PREPARED BY:

WithersRavenel
219 Station Road | Suite 101 | Wilmington, NC 28405
License #: F-1479 | t: 910.256.9277 | www.withersravenel.com

DEVELOPER:

MARITIME HERITAGE FOUNDATION
293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516
ATTENTION: CHARLES OLIVER
PHONE: (919) 941-8400

BID DOCUMENTS
BEAUFORT MARITIME
EDUCATION CENTER
WR PROJECT NO.03221471
TOWN OF BEAUFORT:
MUNI PRO NON/A
06/07/2024

MARITIME HERITAGE FOUNDATION
THE NORTH CAROLINA MARITIME MUSEUM

Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145
SCD ID #: 24-27658-01A



421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER



219 STATION ROAD, SUITE 101
WILMINGTON, NORTH CAROLINA 28405
910-256-9277
WWW.WITHERSRAVENEL.COM
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL

SUBMITTAL
JUNE 7, 2024

BID DOCUMENTS

REVISIONS

#	DATE	DESCRIPTION
1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5

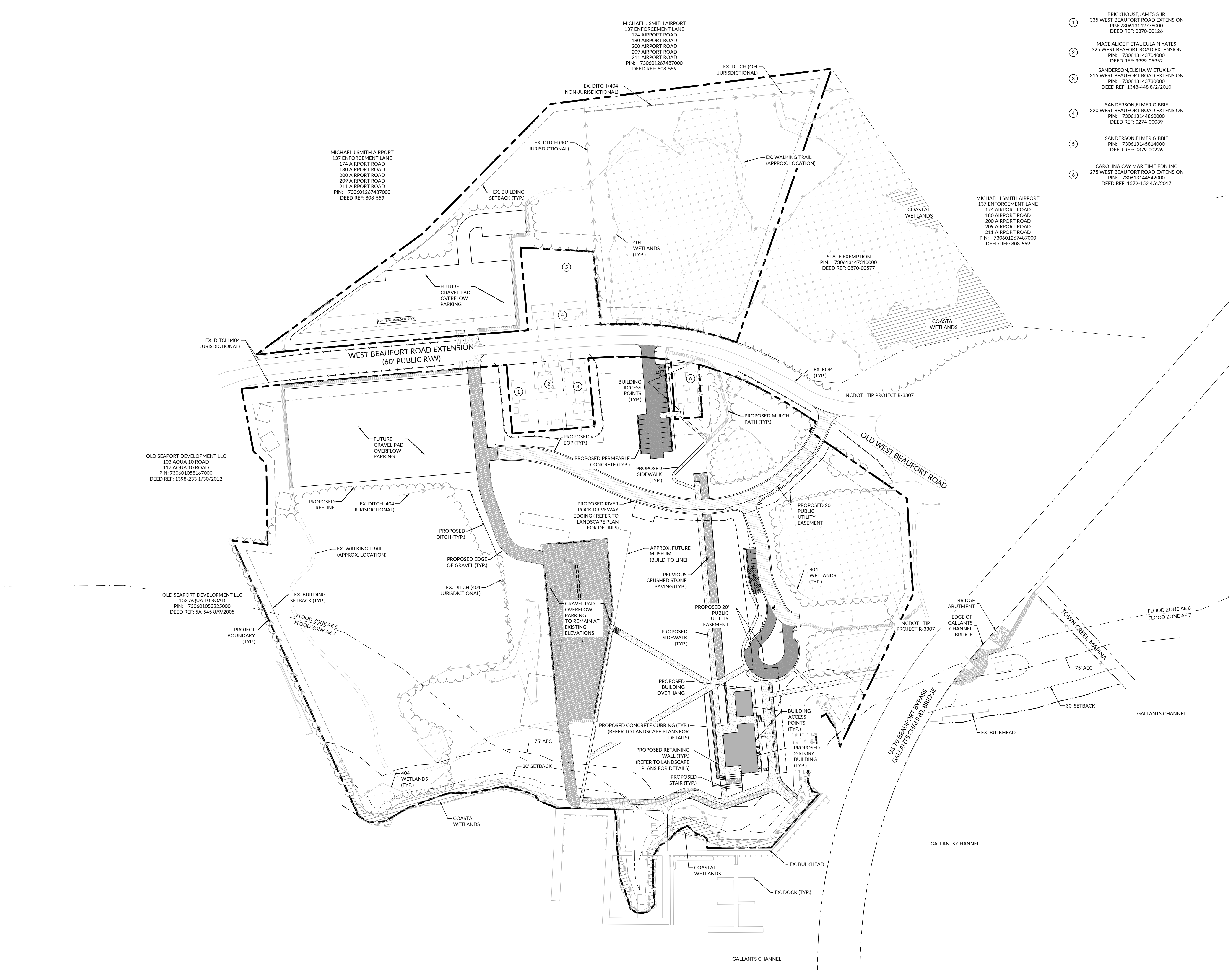
KEY PLAN

COVER

C0.00

DESIGN: RCB
DRAWN: GWR
REVIEW: RCB

CN 10145



- ① BRICKHOUSE JAMES S JR
335 WEST BEAUFORT ROAD EXTENSION
PIN: 730613142778000
DEED REF: 0370-00126
- ② MACEAUCE F ETAL EULA N YATES
325 WEST BEAUFORT ROAD EXTENSION
PIN: 730613143704000
DEED REF: 9999-00992
- ③ SANDERSON ELISHA W ETUX L/T
315 WEST BEAUFORT ROAD EXTENSION
PIN: 730613145370000
DEED REF: 1348-448 8/2/2010
- ④ SANDERSON ELMER GIBBIE
320 WEST BEAUFORT ROAD EXTENSION
PIN: 730613144860000
DEED REF: 0274-00039
- ⑤ SANDERSON ELMER GIBBIE
PIN: 730613145814000
DEED REF: 0379-00226
- ⑥ CAROLINA CAY MARITIME FDN INC
275 WEST BEAUFORT ROAD EXTENSION
PIN: 730613144540000
DEED REF: 1572-152 4/6/2017

- 1. THE TOWN AS A PART OF THE FINAL THE TOWN OF BEAUFORT RECOMMENDATION ANALYSIS (TIA) BE PERFORMED PRIOR TO FUTURE MUSEUM BUILDING PHASE.
- 2. ALL PERVIOUS HARDSCAPE SURFACE THE DEVELOPER AND PROPERTY OW BEAUFORT IS NOT RESPONSIBLE FOR PERVIOUS PAVEMENT, ETC.

Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145
SOD ID #: 24-27056-01A
DESIGNER:

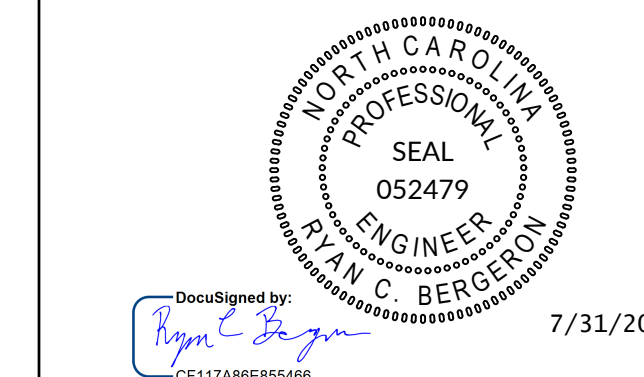
CLARK NEXSEN
421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER
WithersRavenel

219 STATION ROAD, SUITE 101
WILMINGTON, NORTH CAROLINA 28405
910-256-9277
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NO.	DATE	DESCRIPTION
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2	08/02/2024	ADDENDUM 5

KEY PLAN

SHEET

OVERALL SITE PLAN

C2.00

DESIGN: RCB
DRAWN: GWR
REVIEW: RCB
CN 10145

Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145
SOD ID #: 34-27656-01A

DESIGNER

CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

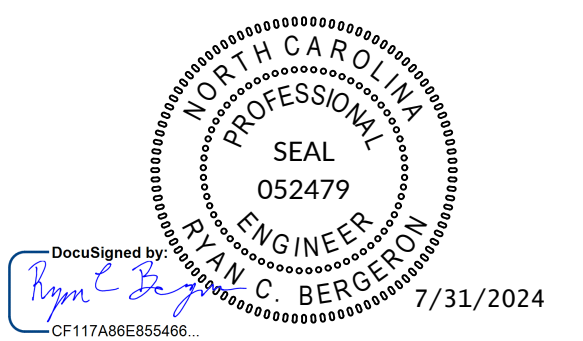
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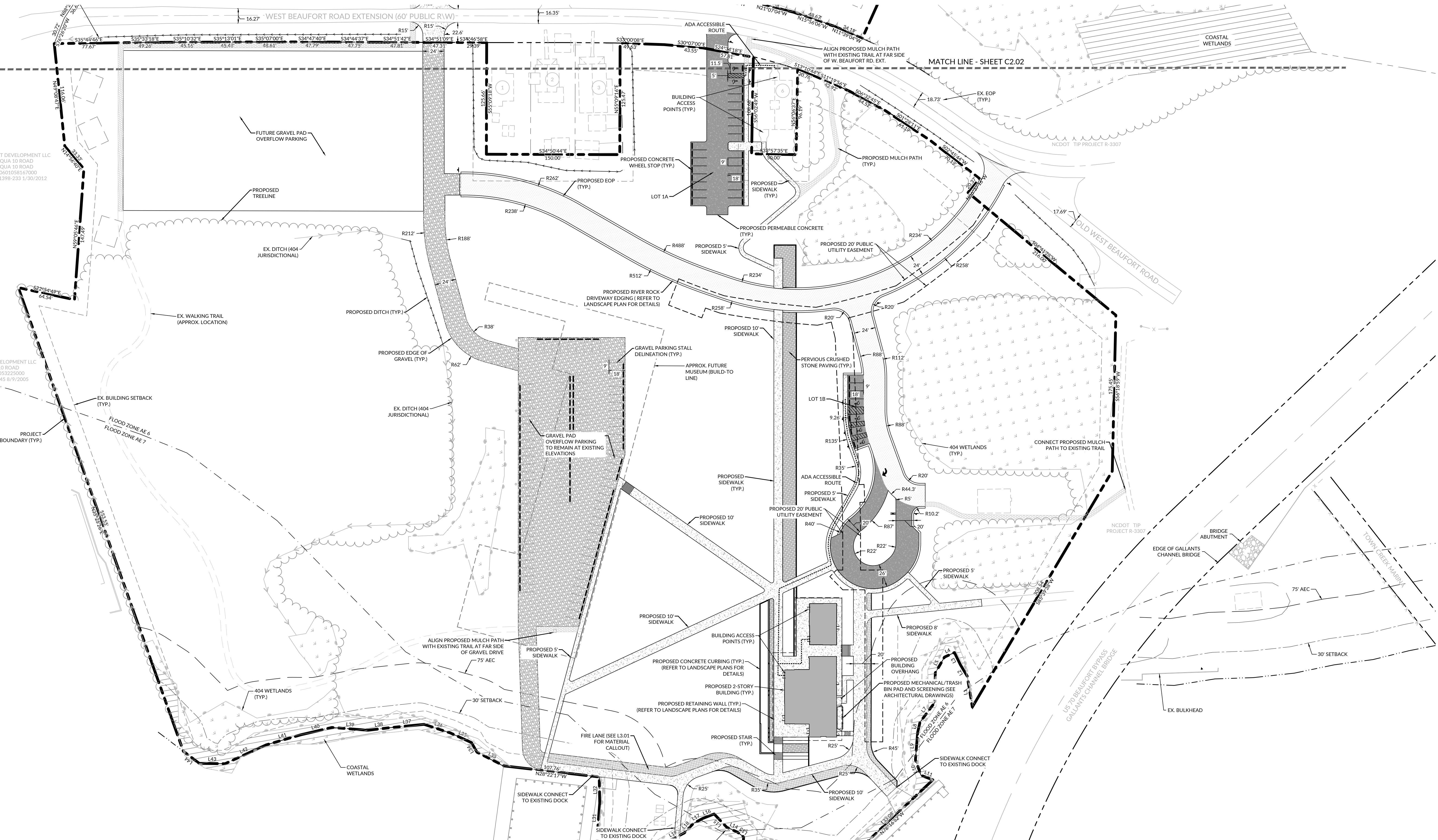
SHEET

SITE PLAN

C2.01

DESIGN: RCB
DRAWN: GWR
REVIEW: RCB

CN 10145



SITE LEGEND

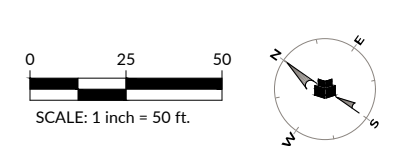
SYMBOL	DESCRIPTION
---	BOUNDARY
- - - -	EASEMENT
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[Solid Grey]	BUILDING
[Hatched Grey]	CONCRETE PAVING
[Hatched Grey]	ASPHALT PAVING
[Hatched Grey]	GRAVEL PAVING
[Hatched Grey]	MULCH PATH
[Hatched Grey]	GRASS/PAVE2

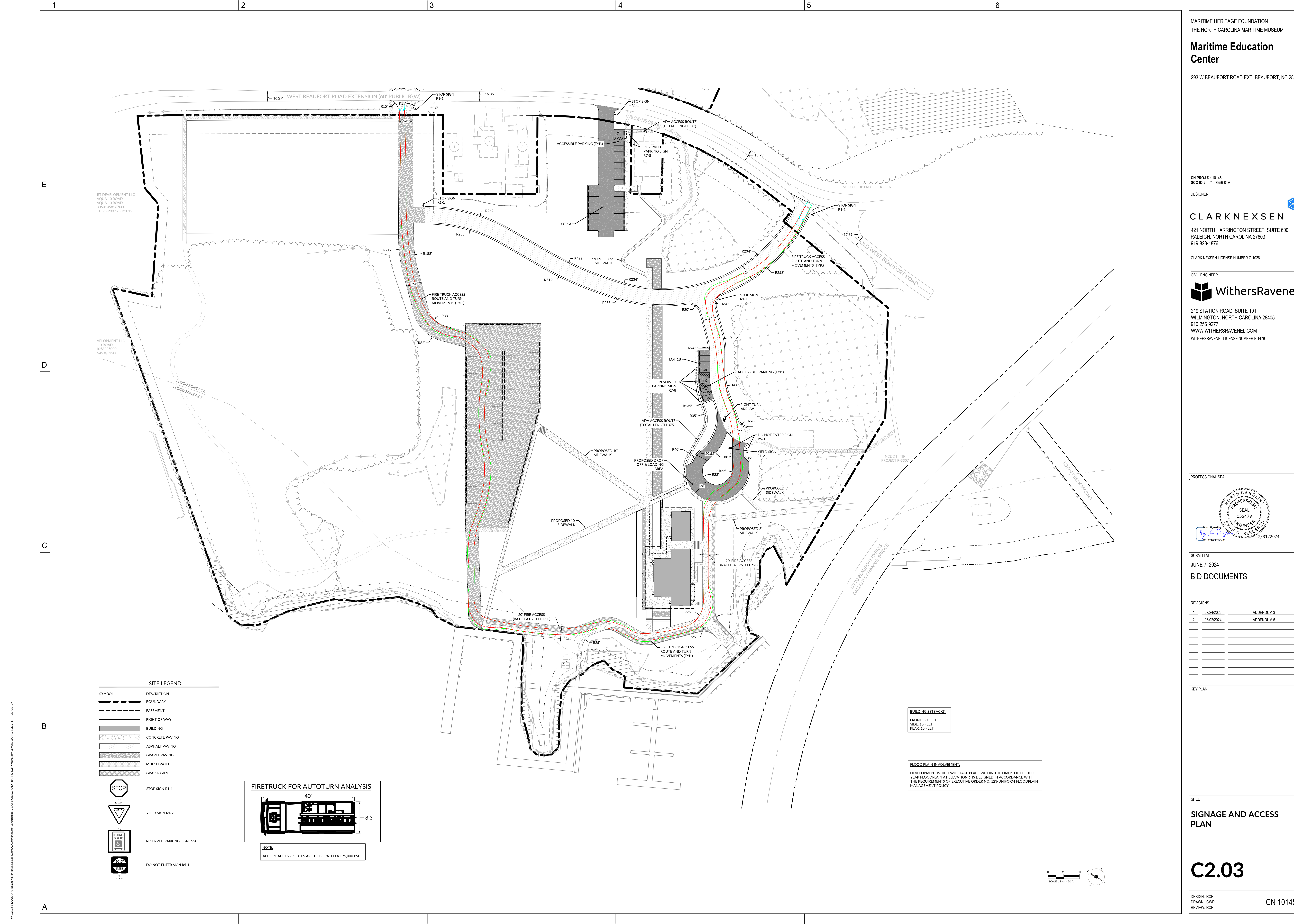
- NOTES:
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LINE	BEARING	DISTANCE
L1	N45°20'48"E	25.98FT
L2	N24°06'34"E	14.79FT
L3	N29°00'14"E	15.43FT
L4	N59°28'09"W	12.38FT
L5	S85°03'20"W	20.58FT
L6	S55°46'44"W	32.98FT
L7	N88°16'13"W	28.05FT
L8	S67°43'33"W	11.86FT
L9	S59°40'29"W	30.93FT
L10	S55°03'46"W	18.46FT
L11	S13°57'42"E	14.25FT
L12	N58°17'58"E	17.14FT
L13	N03°46'08"E	8.63FT
L14	N10°32'58"W	13.42FT
L15	N11°29'38"E	20.61FT
L16	N56°21'04"W	13.95FT
L17	N63°21'59"W	11.99FT
L18	N81°30'50"W	14.57FT
L19	N62°14'04"W	23.61FT
L20	N89°11'03"W	22.01FT
L21	S60°02'24"W	41.85FT
L22	S56°19'20"W	46.29FT
L23	N81°03'32"W	16.28FT
L24	N43°09'11"W	11.42FT
L25	N27°21'51"W	12.71FT
L26	N05°51'30"E	12.25FT
L27	N43°21'43"E	25.77FT
L28	N39°13'01"E	33.35FT
L29	N54°47'57"E	25.37FT
L30	N54°33'14"E	36.98FT
L31	N59°29'43"E	34.23FT
L32	N53°53'05"E	29.45FT
L33	N08°05'45"W	34.08FT
L34	N24°57'53"E	12.67FT
L35	N10°21'13"W	25.94FT
L36	N16°49'56"W	31.17FT
L37	N40°33'42"W	37.86FT
L38	N41°35'50"W	25.68FT
L39	N30°37'27"W	40.77FT
L40	N48°17'02"W	35.55FT
L41	N51°11'19"W	40.88FT
L42	N59°39'38"W	50.99FT
L43	N34°06'53"W	28.99FT
L44	N02°13'22"E	22.48FT

BUILDING SETBACKS:
FRONT: 30 FEET
SIDE: 15 FEET
REAR: 15 FEET

FLOOD PLAIN INVOLVEMENT:
DEVELOPMENT WHICH WILL TAKE PLACE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AT ELEVATION 6' IS DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF EXECUTIVE ORDER NO. 125-UNIFORM FLOODPLAIN MANAGEMENT POLICY.



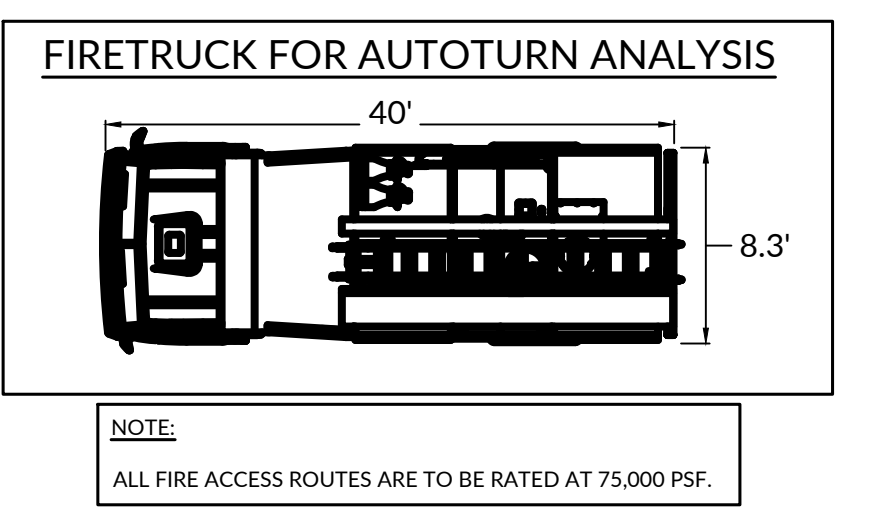


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RT DEVELOPMENT LLC
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4204 10 ROAD
30601058167000
1398-233 1/30/2012

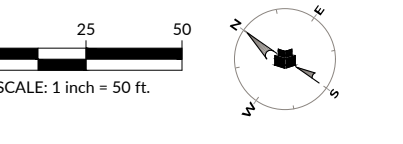
VELOPMENT LLC
10 ROAD
0503225000
545 8/9/2005

SITE LEGEND	
SYMBOL	DESCRIPTION
---	BOUNDARY
- - - -	EASEMENT
---	RIGHT OF WAY
[Hatched Box]	BUILDING
[Stippled Box]	CONCRETE PAVING
[Dotted Box]	ASPHALT PAVING
[Cross-hatched Box]	GRAVEL PAVING
[Diagonal Lines]	MULCH PATH
[Vertical Lines]	GRASS/PAVE2
[STOP Sign]	STOP SIGN R1-1
[Yield Sign]	YIELD SIGN R1-2
[Reserved Parking Sign]	RESERVED PARKING SIGN R7-8
[Do Not Enter Sign]	DO NOT ENTER SIGN R5-1



BUILDING SETBACKS:
FRONT: 30 FEET
SIDE: 15 FEET
REAR: 15 FEET

FLOOD PLAIN INVOLVEMENT:
DEVELOPMENT WHICH WILL TAKE PLACE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AT ELEVATION 6' IS DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF EXECUTIVE ORDER NO. 125-UNIFORM FLOODPLAIN MANAGEMENT POLICY.



MARITIME HERITAGE FOUNDATION
THE NORTH CAROLINA MARITIME MUSEUM

Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145
SCD ID #: 24-27656-01A

DESIGNER:

CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER

WithersRavenel

219 STATION ROAD, SUITE 101
WILMINGTON, NORTH CAROLINA 28405
910-256-9277
WWW.WITHERSRAVENEL.COM
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL

DESIGNED BY: *Rain C. Bergeron*
DATE: 7/31/2024

SUBMITTAL
JUNE 7, 2024

BID DOCUMENTS

REVISIONS	DATE	DESCRIPTION
1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5

KEY PLAN

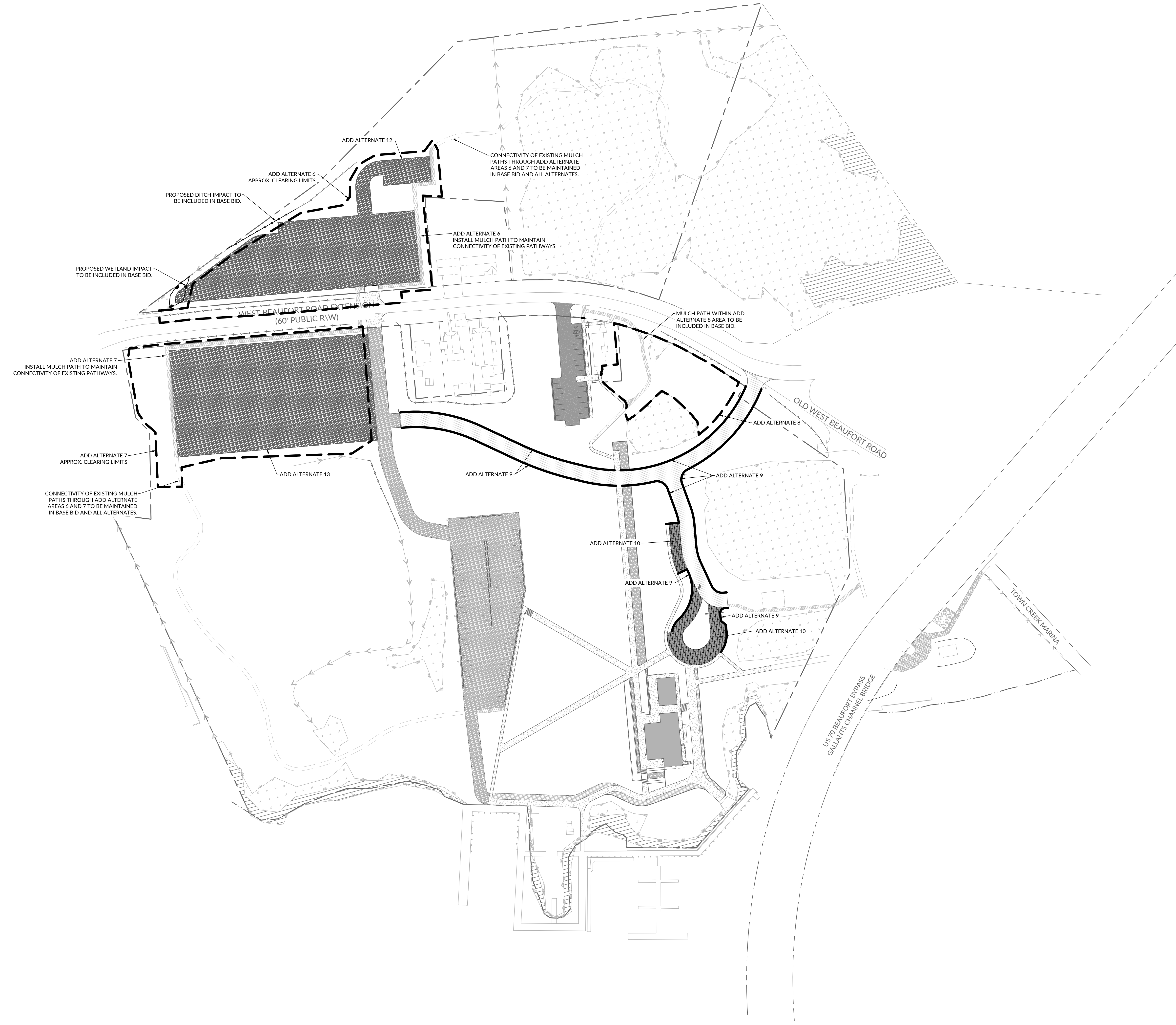
SHEET

SIGNAGE AND ACCESS PLAN

C2.03

DESIGN: RCB
DRAWN: GWR
REVIEW: RCB

CN 10145



ADD ALTERNATE 6
ADD CLEARING AND MASS GRADING OF THE AREA TO THE NORTH OF WEST BEAUFORT ROAD EXTENSION AND INSTALL PROPOSED MULCH PATH THROUGH THIS AREA TO PRESERVE CONNECTIVITY OF EXISTING MULCH PATHWAY.

ADD ALTERNATE 7
ADD CLEARING AND MASS GRADING OF THE AREA TO THE WEST OF THE PROPOSED GRAVEL FIRE ACCESS DRIVEWAY CONNECTION AND INSTALL PROPOSED MULCH PATH THROUGH THIS AREA TO PRESERVE CONNECTIVITY OF EXISTING MULCH PATHWAY.

ADD ALTERNATE 8
ADD ENHANCED LANDSCAPE AND WETLAND TRANSITION LANDSCAPE IN AREA NORTH OF THE NEW ROAD AND EAST OF BONEHENGE. REFER TO LANDSCAPE PLANS FOR DETAILS.

ADD ALTERNATE 9
ADD 2-FOOT WIDE RIVER ROCK EDGE DETAIL IN LIEU OF CONCRETE RIBBON CURB. REFER TO LANDSCAPE PLANS FOR DETAILS.

ADD ALTERNATE 10
INSTALL PERVIOUS PAVERS AT THE CUL-DE-SAC AND PARKING LOT 18. REFER TO LANDSCAPE PLANS FOR DETAILS. BASE BID TO INCLUDE PERMEABLE CONCRETE PAVEMENT IN THESE AREAS.

ADD ALTERNATE 12
INSTALL GRAVEL AT OVERFLOW PARKING LOT NORTH OF WEST BEAUFORT ROAD EXTENSION.

ADD ALTERNATE 13
INSTALL GRAVEL AT OVERFLOW PARKING LOT WEST OF FIRE ACCESS DRIVEWAY.

Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145
SDD ID #: 24-27055-01A

DESIGNER

CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

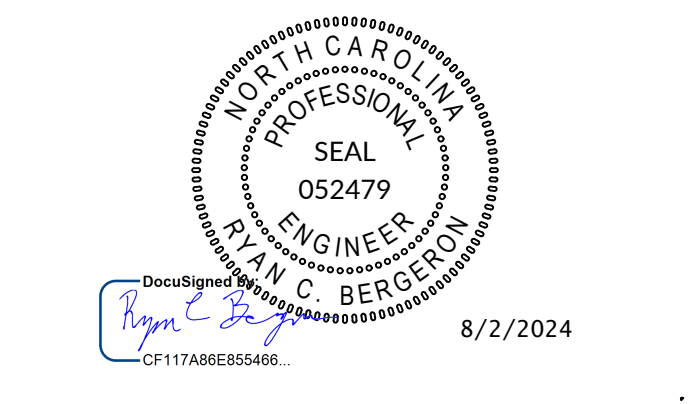
CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER



219 STATION ROAD, SUITE 101
WILMINGTON, NORTH CAROLINA 28405
910-256-9277
WWW.WITHERSRAVENEL.COM
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL



SUBMITTAL
JUNE 7, 2024

BID DOCUMENTS

REVISIONS

NO.	DATE	DESCRIPTION
1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5

KEY PLAN

SHEET

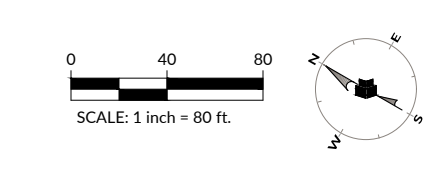
ADD ALTERNATE PLAN

C2.04

DESIGN: RCB
DRAWN: GWR
REVIEW: RCB

CN 10145

FLOOD PLAIN INVOLVEMENT:
DEVELOPMENT WHICH WILL TAKE PLACE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AT ELEVATION 6' IS DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF EXECUTIVE ORDER NO. 123-UNIFORM FLOODPLAIN MANAGEMENT POLICY.



W:\2024\1001232475 - Beaufort Maritime Museum\CD\1001232475.dwg - Rev: 08/02/2024 - 11:24:17 AM - R:\BERGEON

Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145
SOD ID #: 24-27956-01A

DESIGNER

CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

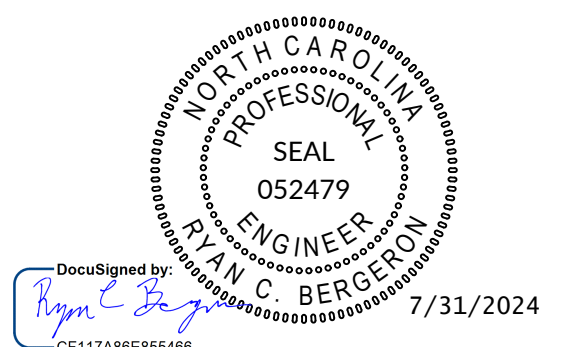
CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER



219 STATION ROAD, SUITE 101
WILMINGTON, NORTH CAROLINA 28405
910-256-9277
WWW.WITHERSRAVENEL.COM
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PROFESSIONAL SEAL



SUBMITTAL
JUNE 7, 2024

BID DOCUMENTS

REVISIONS

1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5

KEY PLAN

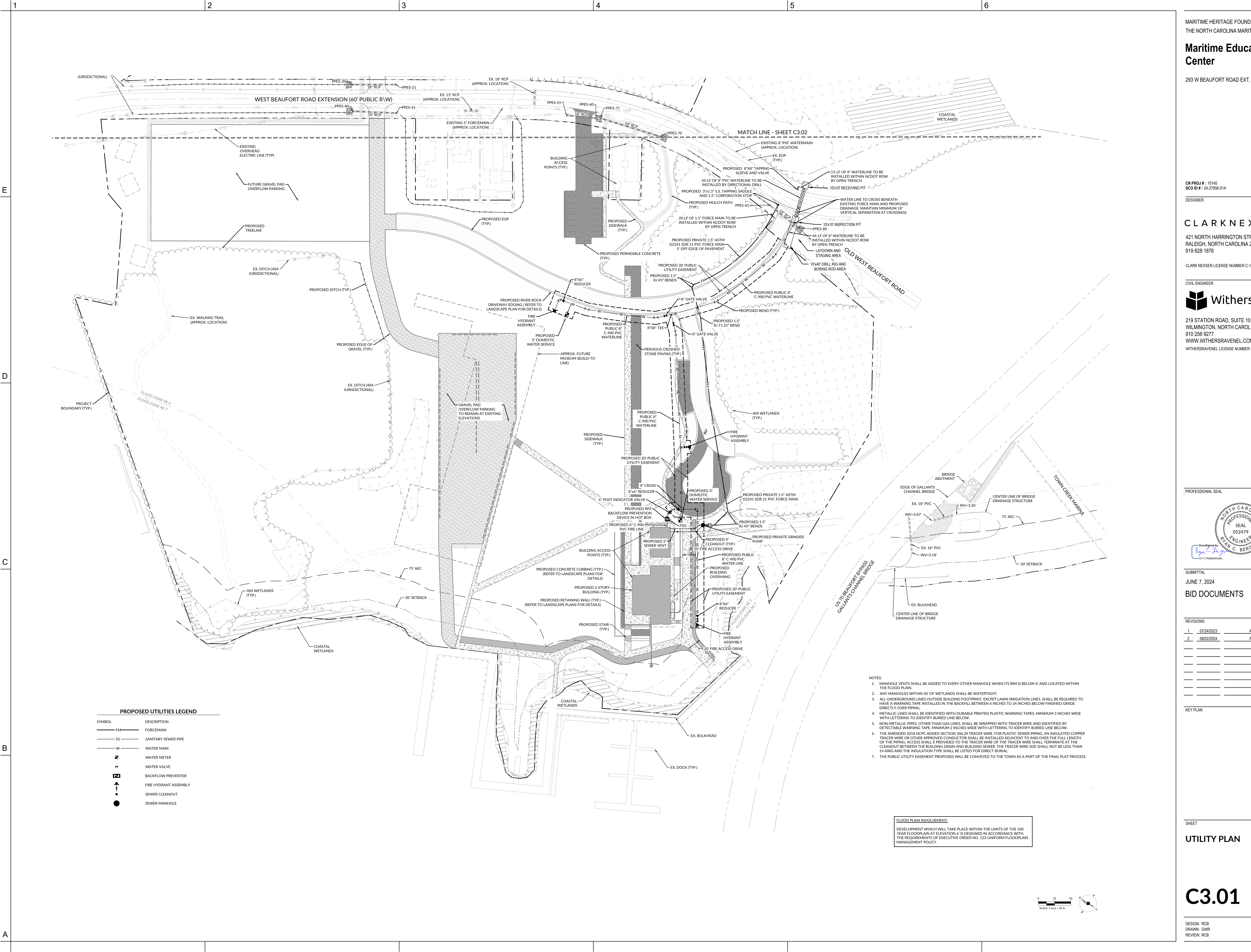
SHEET

UTILITY PLAN

C3.01

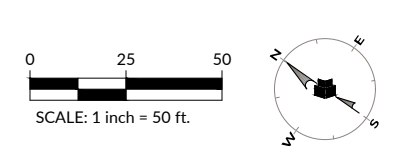
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DRAWN: GWR
REVIEW: RCB

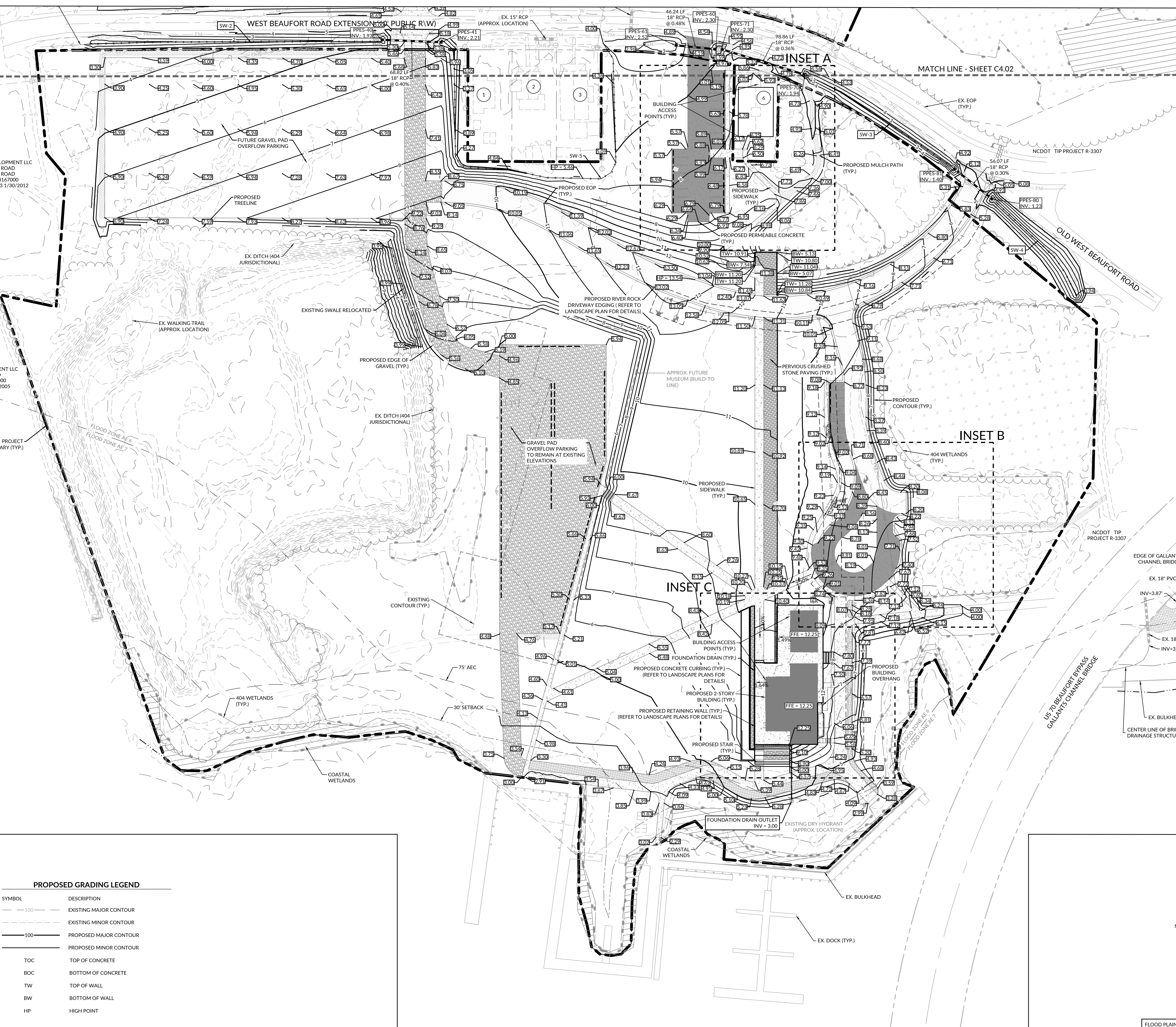
CN 10145



- NOTES:
1. MAN-HOLE VENTS SHALL BE ADDED TO EVERY OTHER MAN-HOLE WHEN ITS RIM IS BELOW 8' AND LOCATED WITHIN THE FLOOD PLAIN.
 2. ANY MANHOLES WITHIN 50' OF WETLANDS SHALL BE WATERTIGHT.
 3. ALL UNDERGROUND LINES OUTSIDE BUILDING FOOTPRINT, EXCEPT LAWN IRRIGATION LINES, SHALL BE REQUIRED TO HAVE A WARNING TAPE INSTALLED IN THE BACKFILL BETWEEN 6-INCHES TO 24-INCHES BELOW FINISHED GRADE DIRECTLY OVER PIPING.
 4. METALLIC LINES SHALL BE IDENTIFIED WITH DURABLE PRINTED PLASTIC WARNING TAPES, MINIMUM 3 INCHES WIDE WITH LETTERING TO IDENTIFY BURIED LINE BELOW.
 5. NON-METALLIC PIPES, OTHER THAN GAS LINES, SHALL BE WRAPPED WITH TRACER WIRE AND IDENTIFIED BY DETECTABLE WARNING TAPE, MINIMUM 2 INCHES WIDE WITH LETTERING TO IDENTIFY BURIED LINE BELOW.
 6. THE AMENDED 2019 NCPIC ADDED SECTION 306.24 TRACER WIRE FOR PLASTIC SEWER PIPING, AN INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR SHALL BE INSTALLED ADJACENT TO AND OVER THE FULL LENGTH OF THE PIPING. ACCESS SHALL BE PROVIDED TO THE TRACER WIRE OF THE TRACER WIRE SHALL TERMINATE AT THE CLEANOUT BETWEEN THE BUILDING DRAIN AND BUILDING SEWER. THE TRACER WIRE SIZE SHALL NOT BE LESS THAN 14 AWG AND THE INSULATION TYPE SHALL BE LISTED FOR DIRECT BURIAL.
 7. THE PUBLIC UTILITY EASEMENT PROPOSED WILL BE CONVEYED TO THE TOWN AS A PART OF THE FINAL PLAT PROCESS.

FLOOD PLAIN INVOLVEMENT:
DEVELOPMENT WHICH WILL TAKE PLACE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AT ELEVATION 6' IS DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF EXECUTIVE ORDER NO. 123-UNIFORM FLOODPLAIN MANAGEMENT POLICY.





PROPOSED GRADING LEGEND

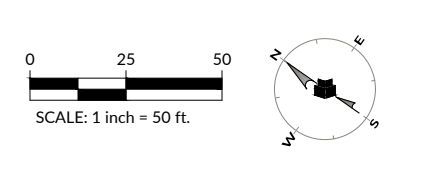
SYMBOL	DESCRIPTION
---	EXISTING MAJOR CONTOUR
- - -	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
- - -	PROPOSED MINOR CONTOUR
—●—	TOP OF CONCRETE
—○—	BOTTOM OF CONCRETE
—▲—	TOP OF WALL
—▼—	BOTTOM OF WALL
●	HIGH POINT

PROPOSED STORM DRAINAGE LEGEND

SYMBOL	DESCRIPTION
—●—	STORM PIPE
—○—	FLARED END SECTION (FES)
—▲—	RIP RAP DISSIPATER

- NOTE:**
1. ALL RCP IS TO BE CLASS III UNLESS OTHERWISE NOTED.
 2. SEE SHEET C6.01 FOR CHART WITH VELOCITY DISSIPATER DETAILS.
 3. SEE SHEET C6.02 FOR DITCH CROSS SECTION DETAILS.
 4. SEE SHEET C4.03 FOR INSET A, INSET B, AND INSET C.
 5. ALL ELEVATIONS ARE FROM EDGE OF PAVEMENT/GRAVEL/SIDEWALKS UNLESS OTHERWISE STATED.

FLOOD PLAIN INVOLVEMENT:
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Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145
SCD ID #: 24-27655-01A

DESIGNER

CLARK Nexsen

421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

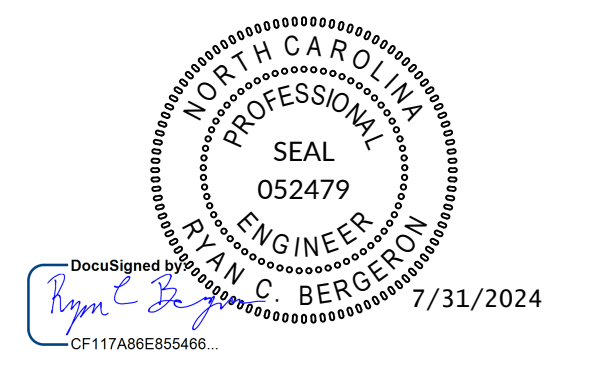
CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER



219 STATION ROAD, SUITE 101
WILMINGTON, NORTH CAROLINA 28405
910-256-9277
WWW.WITHERSRAVENEL.COM
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL



SUBMITTAL
JUNE 7, 2024

BID DOCUMENTS

REVISIONS

NO.	DATE	DESCRIPTION
1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5

KEY PLAN

SHEET

GRADING & DRAINAGE PLAN

C4.01

DESIGN: RCB
DRAWN: GWR
REVIEW: RCB

CN 10145

**Maritime Education
Center**

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145
SCD ID #: 24-2765-01A
DESIGNER

CLARK NEXSEN
421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

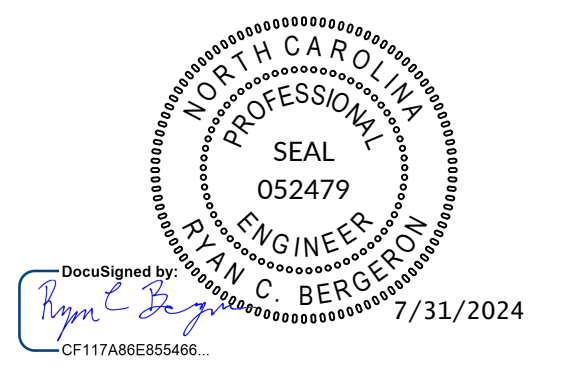
CLARK NEXSEN LICENSE NUMBER C-1028

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REVISIONS

NO.	DATE	DESCRIPTION
1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5

KEY PLAN

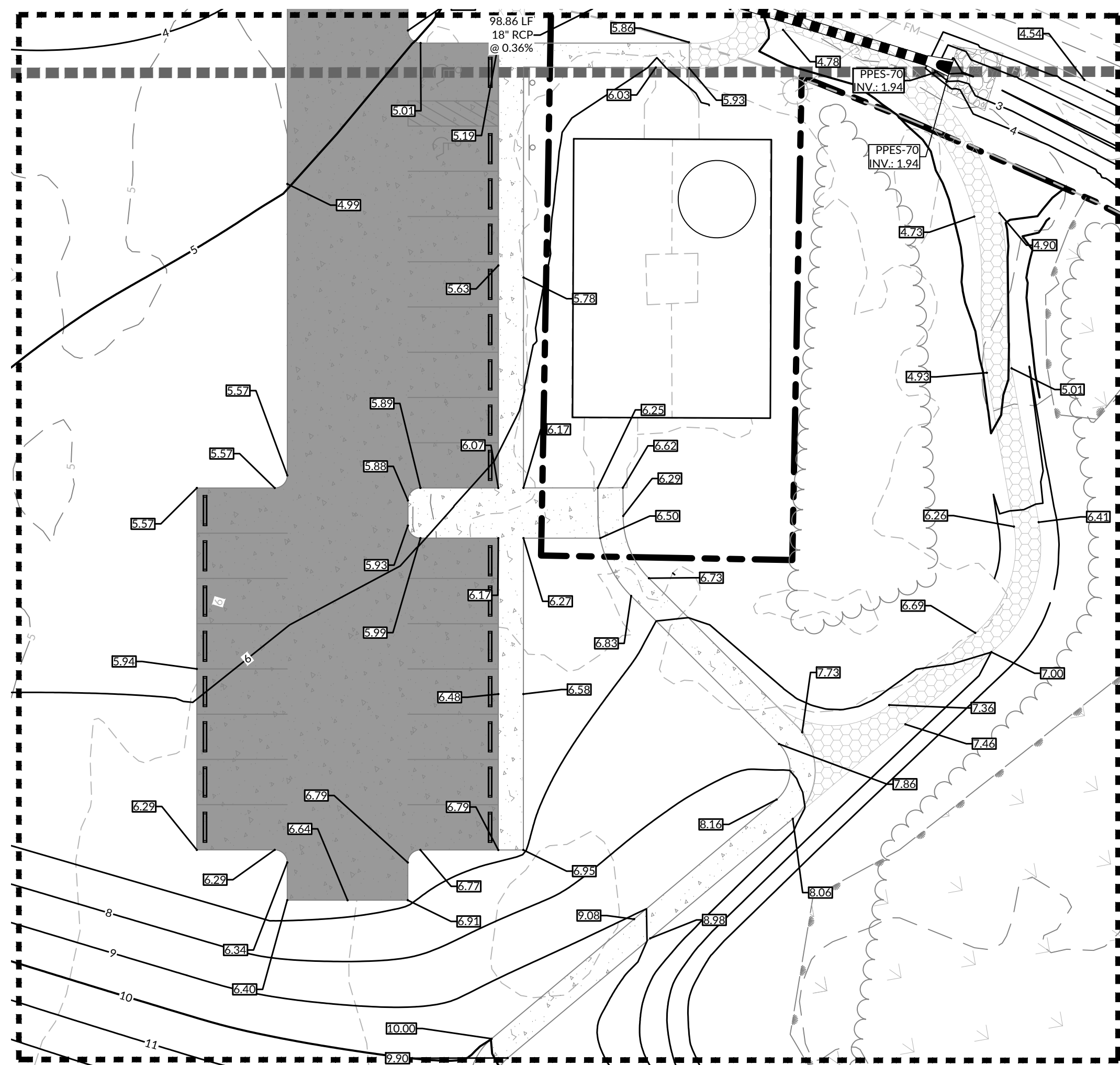
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GRADING ENLARGEMENT

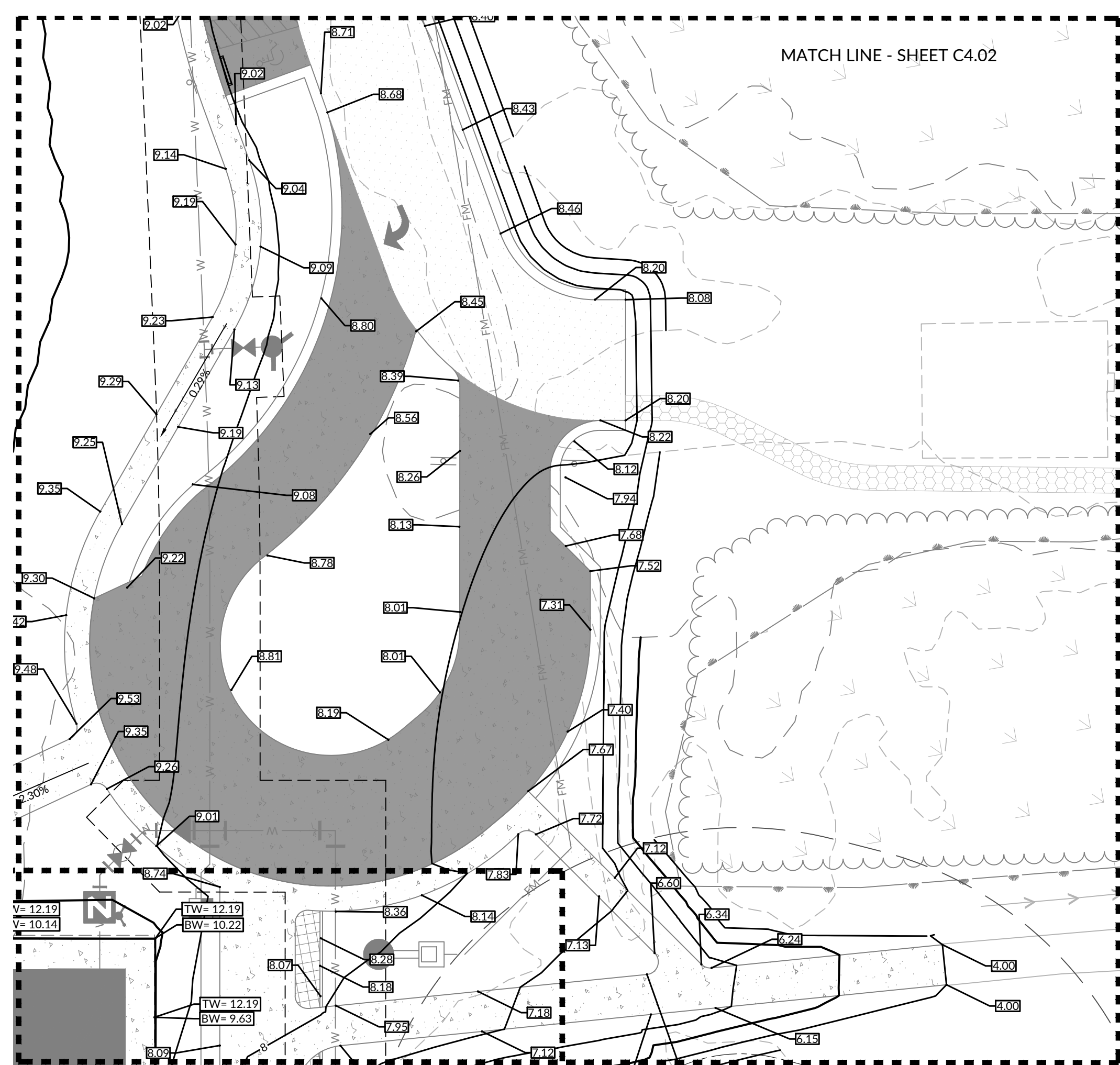
C4.03

DESIGN: RCB
DRAWN: GWR
REVIEW: RCB

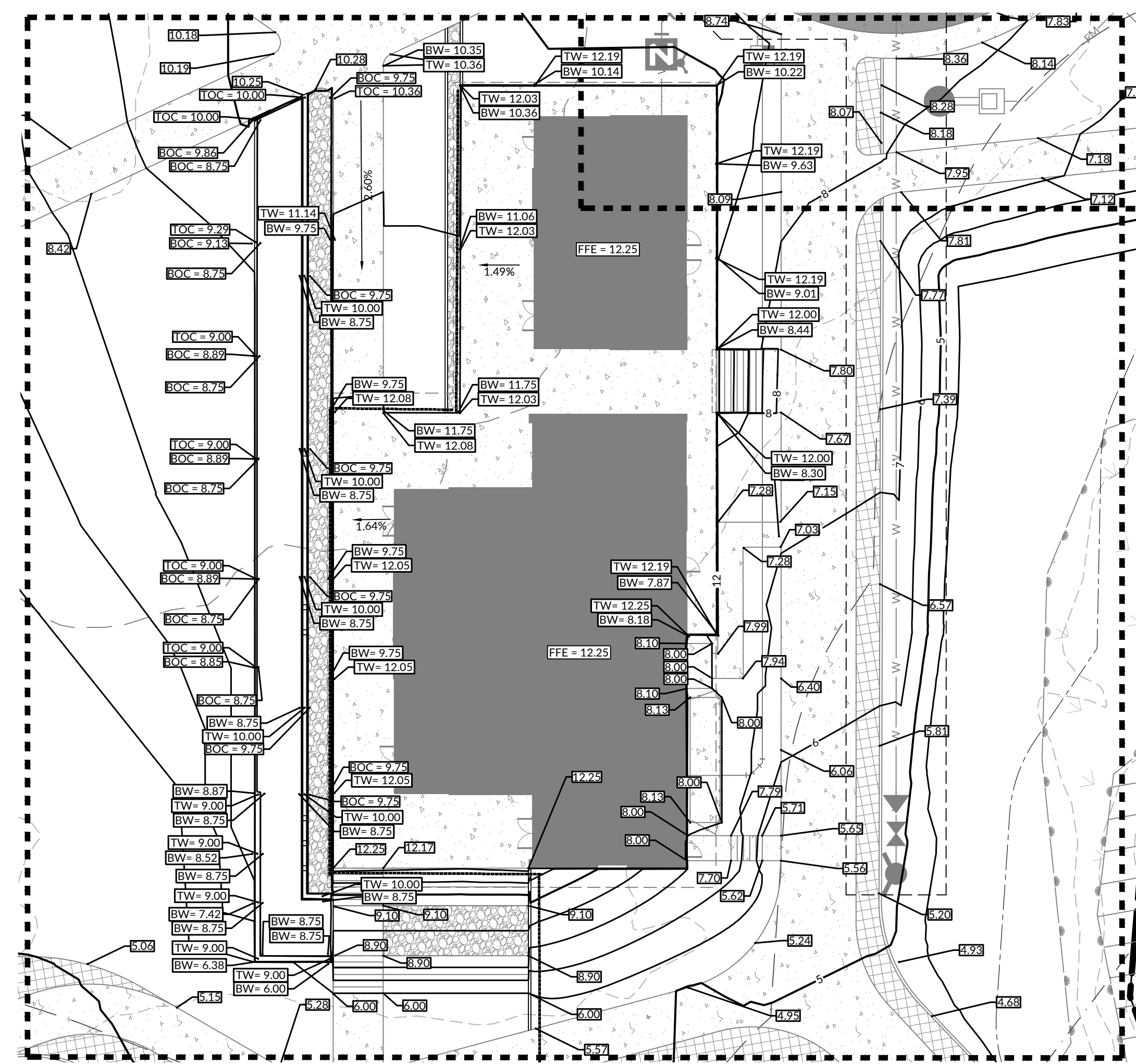
CN 10145



INSET A



INSET B



INSET C

PROPOSED GRADING LEGEND

SYMBOL	DESCRIPTION
-100-	EXISTING MAJOR CONTOUR
-	EXISTING MINOR CONTOUR
-100-	PROPOSED MAJOR CONTOUR
-	PROPOSED MINOR CONTOUR
TOC	TOP OF CONCRETE
BOC	BOTTOM OF CONCRETE
TW	TOP OF WALL
BW	BOTTOM OF WALL
HP	HIGH POINT

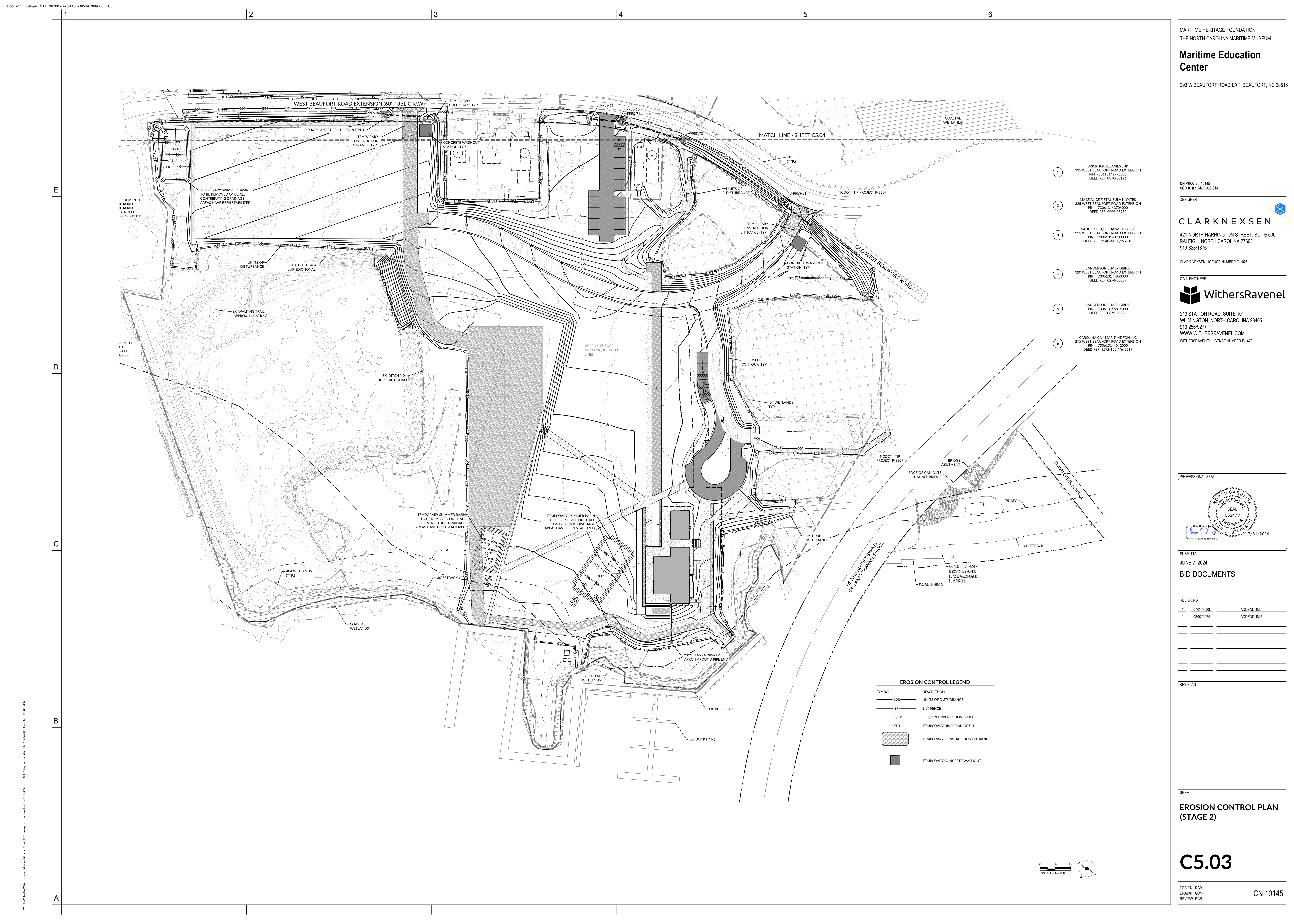
PROPOSED STORM DRAINAGE LEGEND

SYMBOL	DESCRIPTION
- - - - -	STORM PIPE
▭	FLARED END SECTION (FES)
▭	RIP RAP DISSIPATER

- NOTE:
- ALL RCP IS TO BE CLASS III UNLESS OTHERWISE NOTED.
 - SEE SHEET C6.01 FOR CHART WITH VELOCITY DISSIPATER DETAILS.
 - SEE SHEET C6.02 FOR DITCH CROSS SECTION DETAILS.
 - SEE SHEET C4.03 FOR INSET A, INSET B, AND INSET C.
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FLOODPLAIN INVOLVEMENT:
DEVELOPMENT WHICH WILL TAKE PLACE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AT ELEVATION 6' IS DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF EXECUTIVE ORDER NO. 123-UNIFORM FLOODPLAIN MANAGEMENT POLICY.

W:\2024\1010145\1010145-01\Drawings\Gen\Grading\ENLARGEMENT.dwg, Wednesday, Aug 21, 2024, 12:11:18 PM - RBERGESON



WEST BEAUFORT ROAD EXTENSION (60' PUBLIC R/W)

MATCH LINE - SHEET C5.04

- 1 BRICKHOUSE, JAMES S. JR.
335 WEST BEAUFORT ROAD EXTENSION
PIN: 730613143778000
DEED REF: 0370-00126
- 2 MACE, LICE F. ET AL, EULA N. YATES
325 WEST BEAUFORT ROAD EXTENSION
PIN: 730613144704000
DEED REF: 9999-05952
- 3 SANDERSON, ELISHA W. ET UX L/T
315 WEST BEAUFORT ROAD EXTENSION
PIN: 1348-448 8/2/2010
DEED REF: 1348-448 8/2/2010
- 4 SANDERSON, ELMER GIBBIE
325 WEST BEAUFORT ROAD EXTENSION
PIN: 730613144860000
DEED REF: 0274-00039
- 5 SANDERSON, ELMER GIBBIE
PIN: 730613145814000
DEED REF: 0379-00226
- 6 CAROLINA CAY MARITIME FDN INC
275 WEST BEAUFORT ROAD EXTENSION
PIN: 730613144542000
DEED REF: 1572-152 4/6/2017

TELOPMENT LLC
10 ROAD
ID ROAD
58167000
03 17/30/2012

MENT LLC
ID
5000
12/2005

TEMPORARY SKIMMER BASIN TO BE REMOVED ONCE ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED

TEMPORARY SKIMMER BASIN TO BE REMOVED ONCE ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED

MARITIME HERITAGE FOUNDATION
THE NORTH CAROLINA MARITIME MUSEUM

Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145
SDD ID #: 24-27958-01A

DESIGNER

CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER

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WWW.WITHERSRAVENEL.COM
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL

Submittal Date: JUNE 7, 2024

BID DOCUMENTS

REVISIONS		
#	DATE	DESCRIPTION
1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5

KEY PLAN

SHEET

EROSION CONTROL PLAN (STAGE 2)

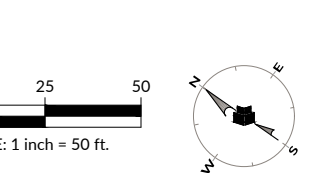
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DRAWN: GWR
REVIEW: RCB

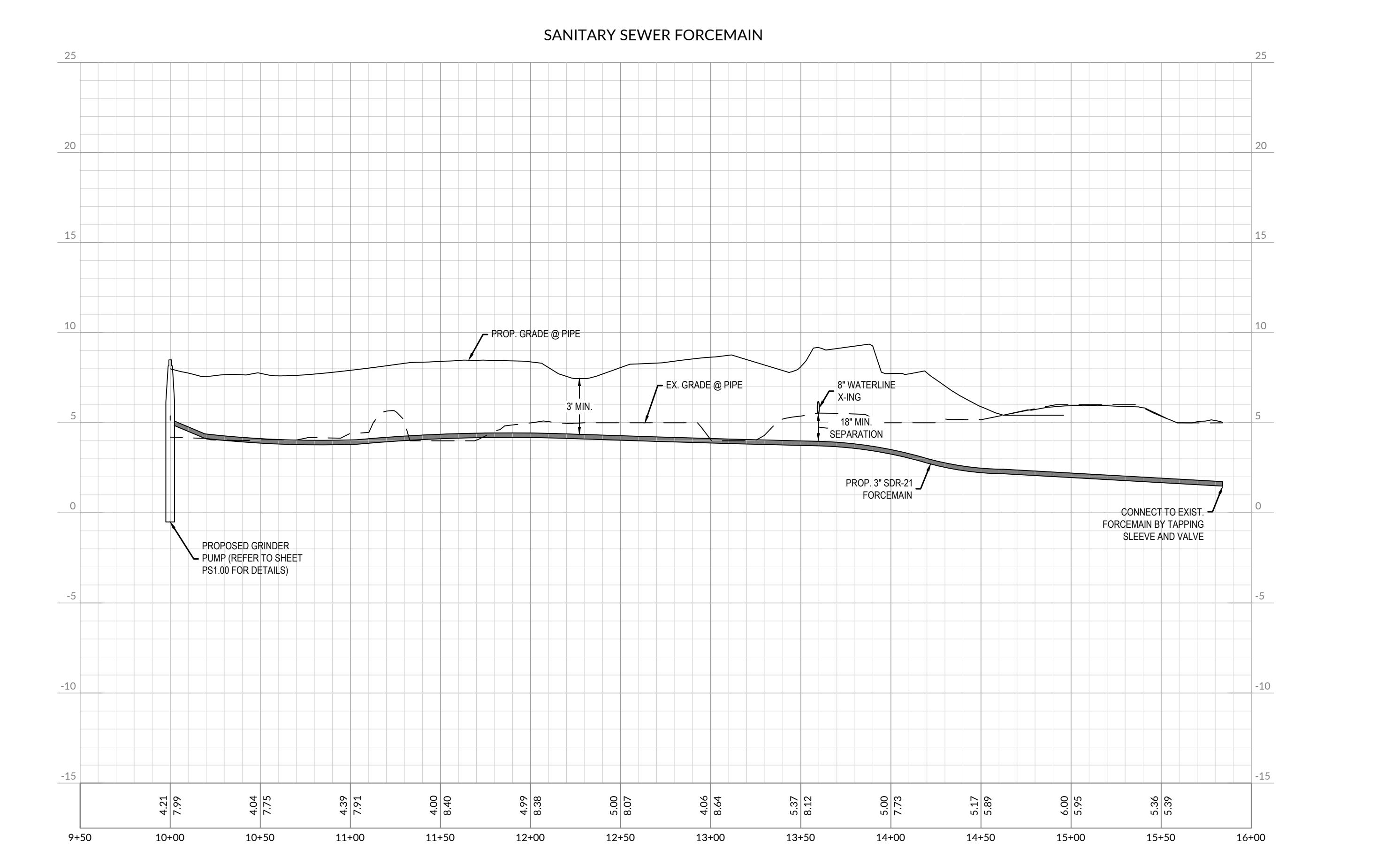
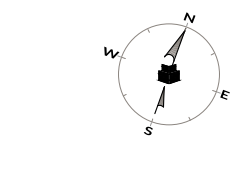
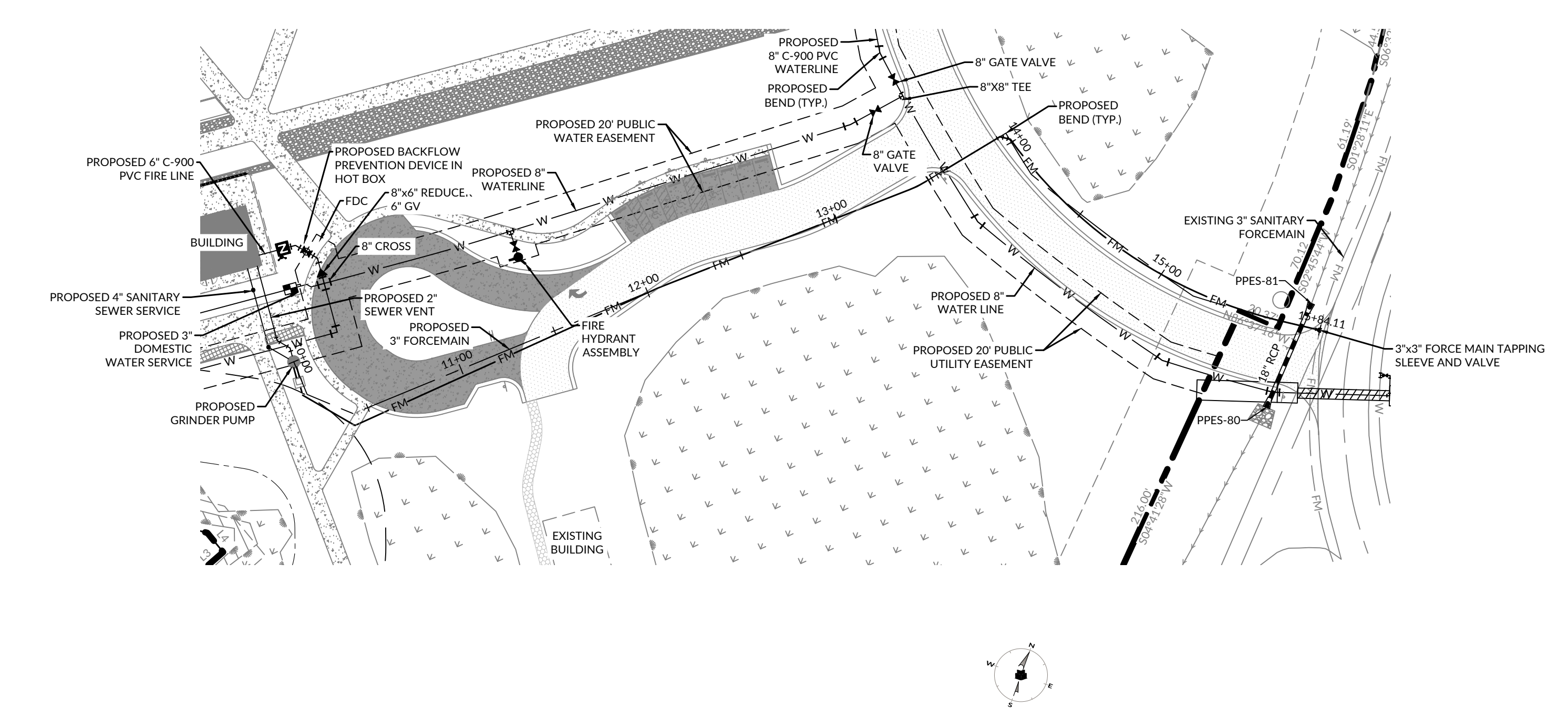
CN 10145

EROSION CONTROL LEGEND

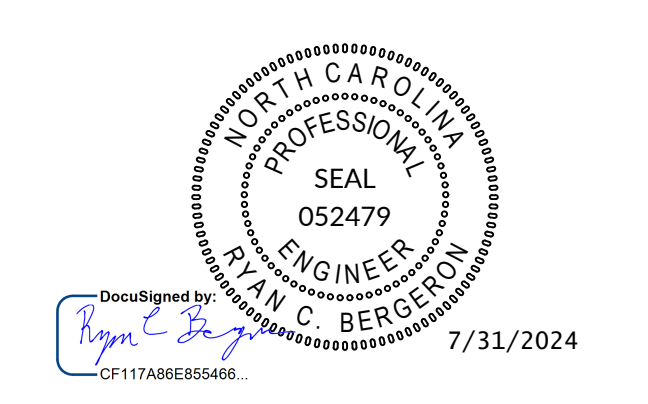
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SF/TP	SILT / TREE PROTECTION FENCE
+TD	TEMPORARY DIVERSION DITCH
(Pattern)	TEMPORARY CONSTRUCTION ENTRANCE
(Square)	TEMPORARY CONCRETE WASHOUT



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PROFESSIONAL SEAL



SUBMITTAL
JUNE 7, 2024
BID DOCUMENTS

REVISIONS

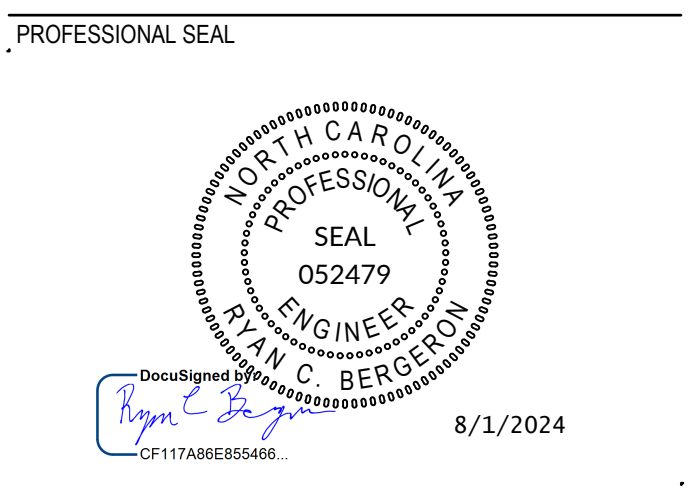
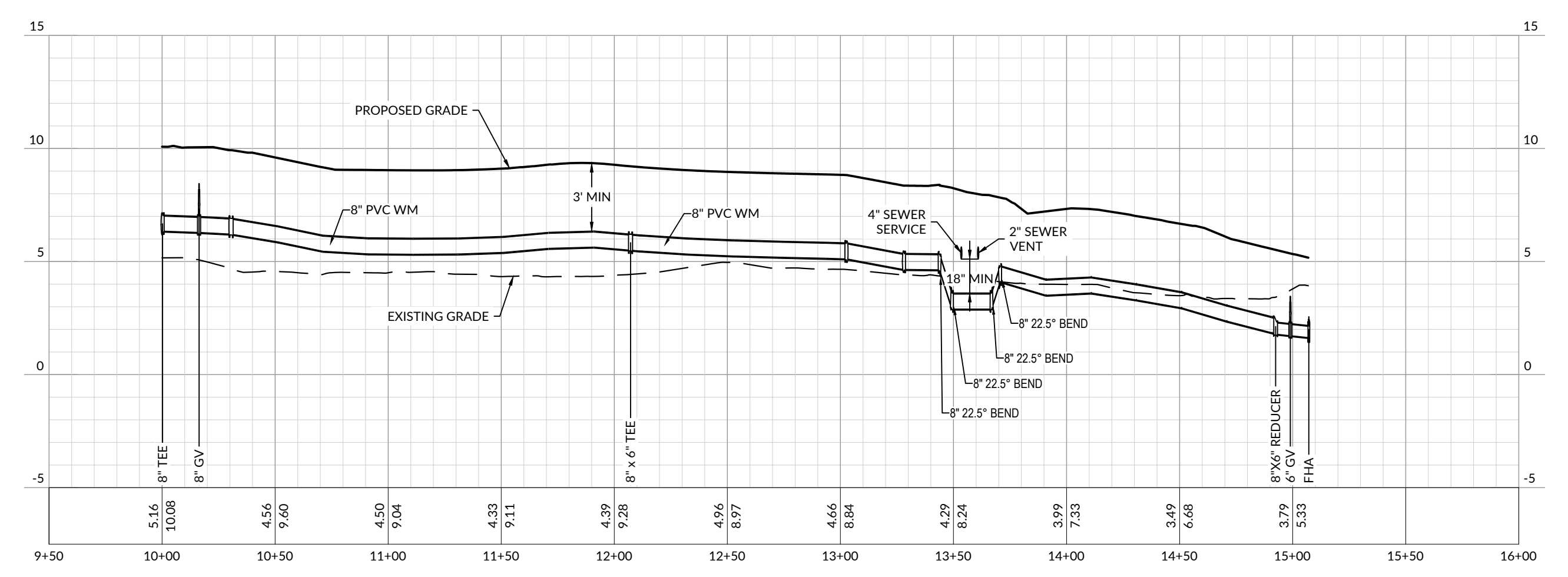
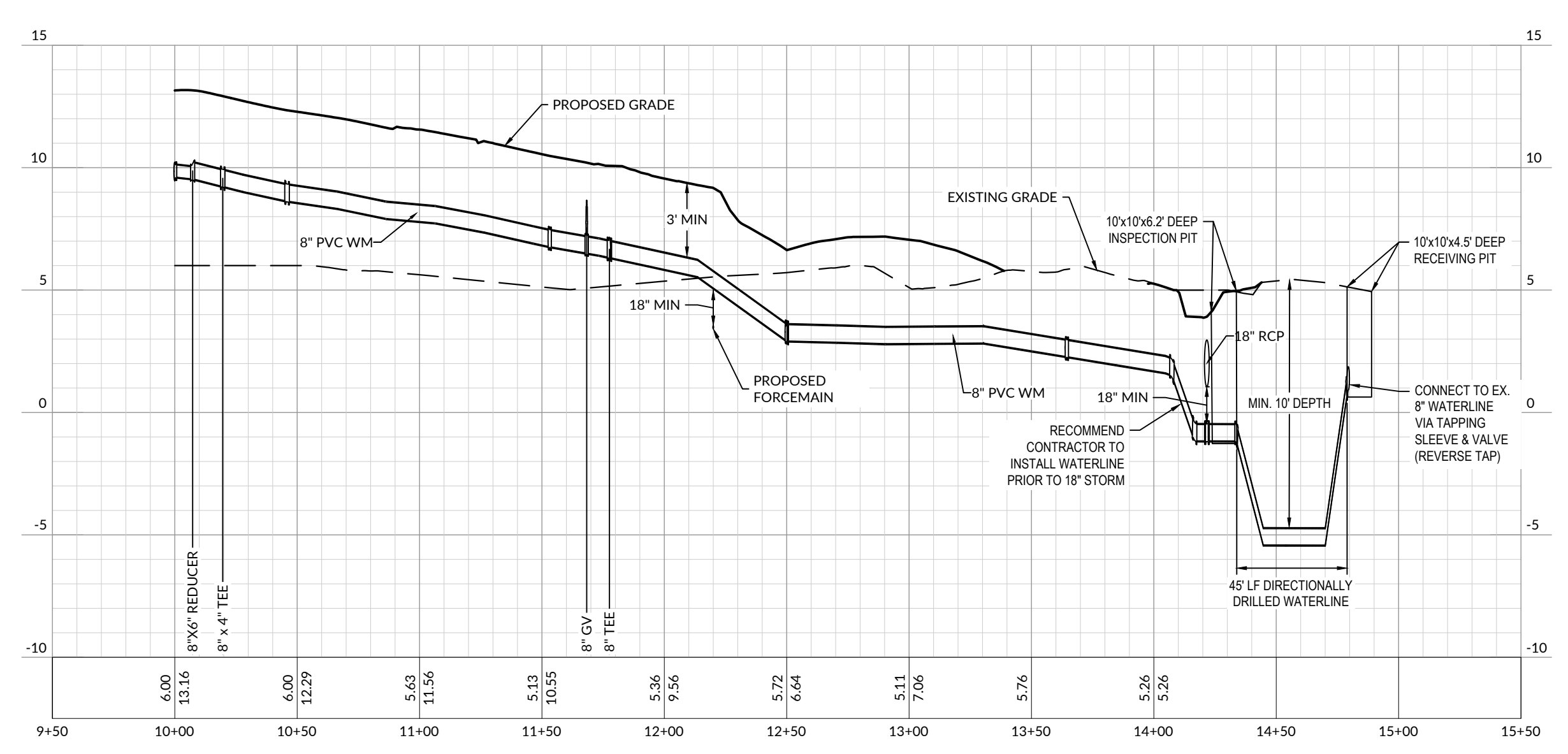
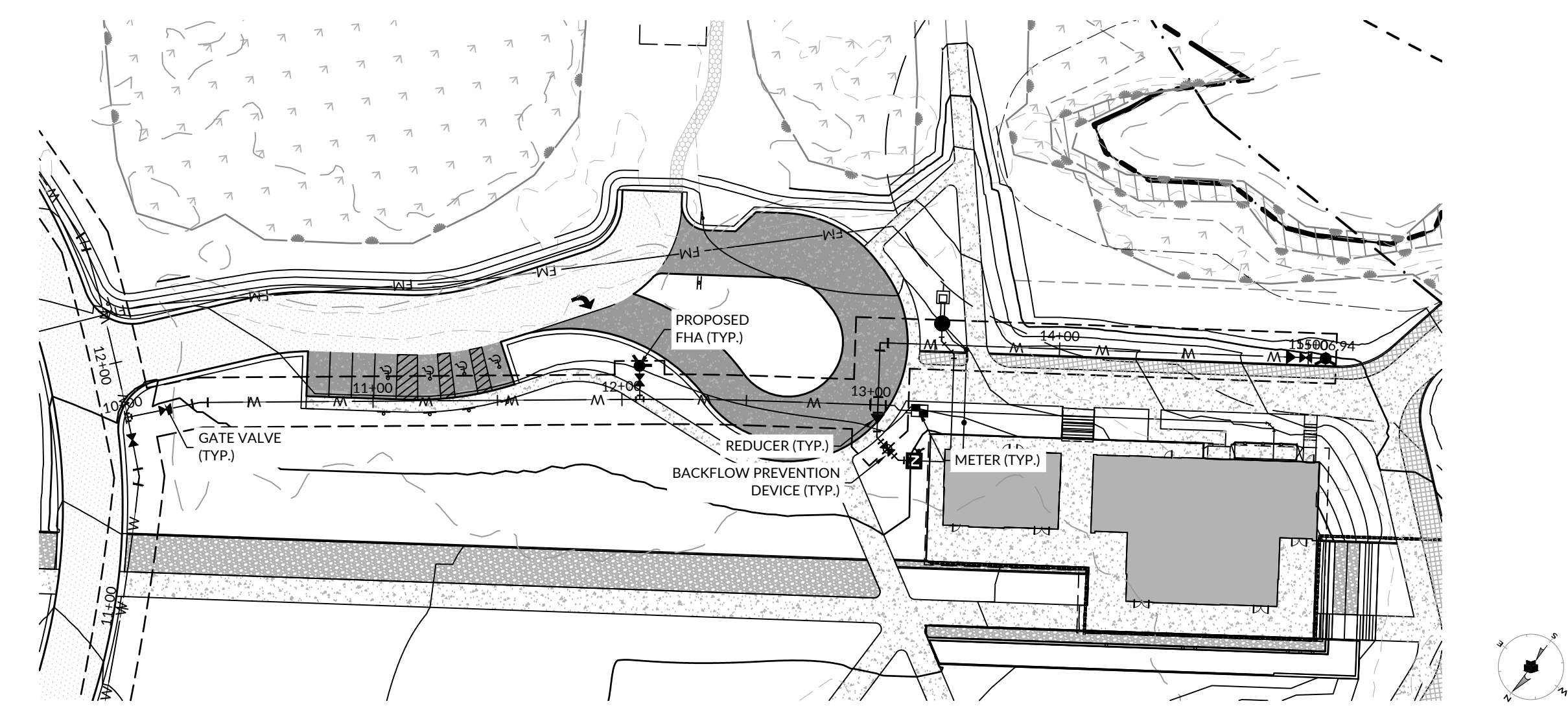
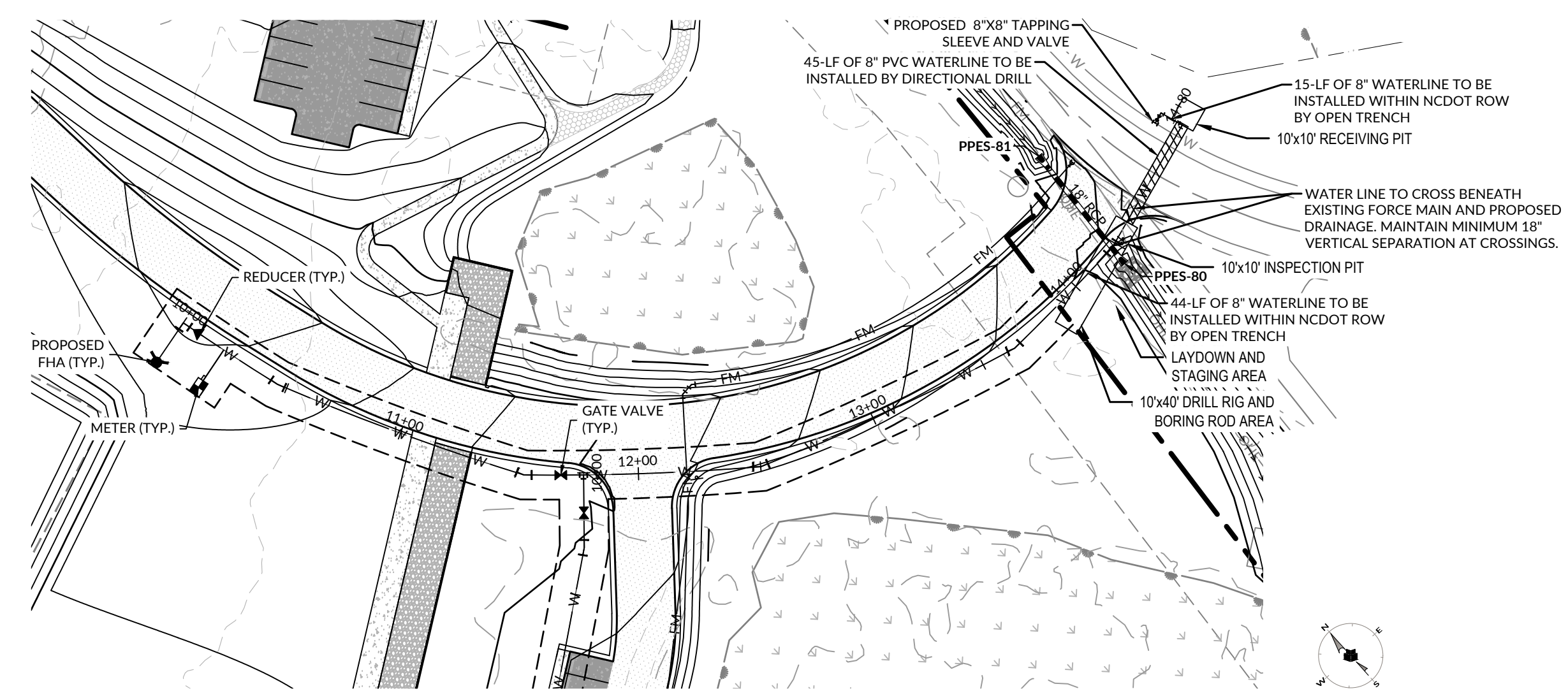
NO.	DATE	DESCRIPTION
1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5

KEY PLAN

SHEET
SANITARY FORCE MAIN PLAN & PROFILE

C7.00

DESIGN: RCB
DRAWN: GWR
REVIEW: RCB
CN 10145



SUBMITTAL
JUNE 7, 2024

BID DOCUMENTS

REVISIONS

1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5

KEY PLAN

SHEET
WATER PLAN & PROFILE

C7.01

DESIGN: RCB
DRAWN: GWR
REVIEW: RCB
CN 10145

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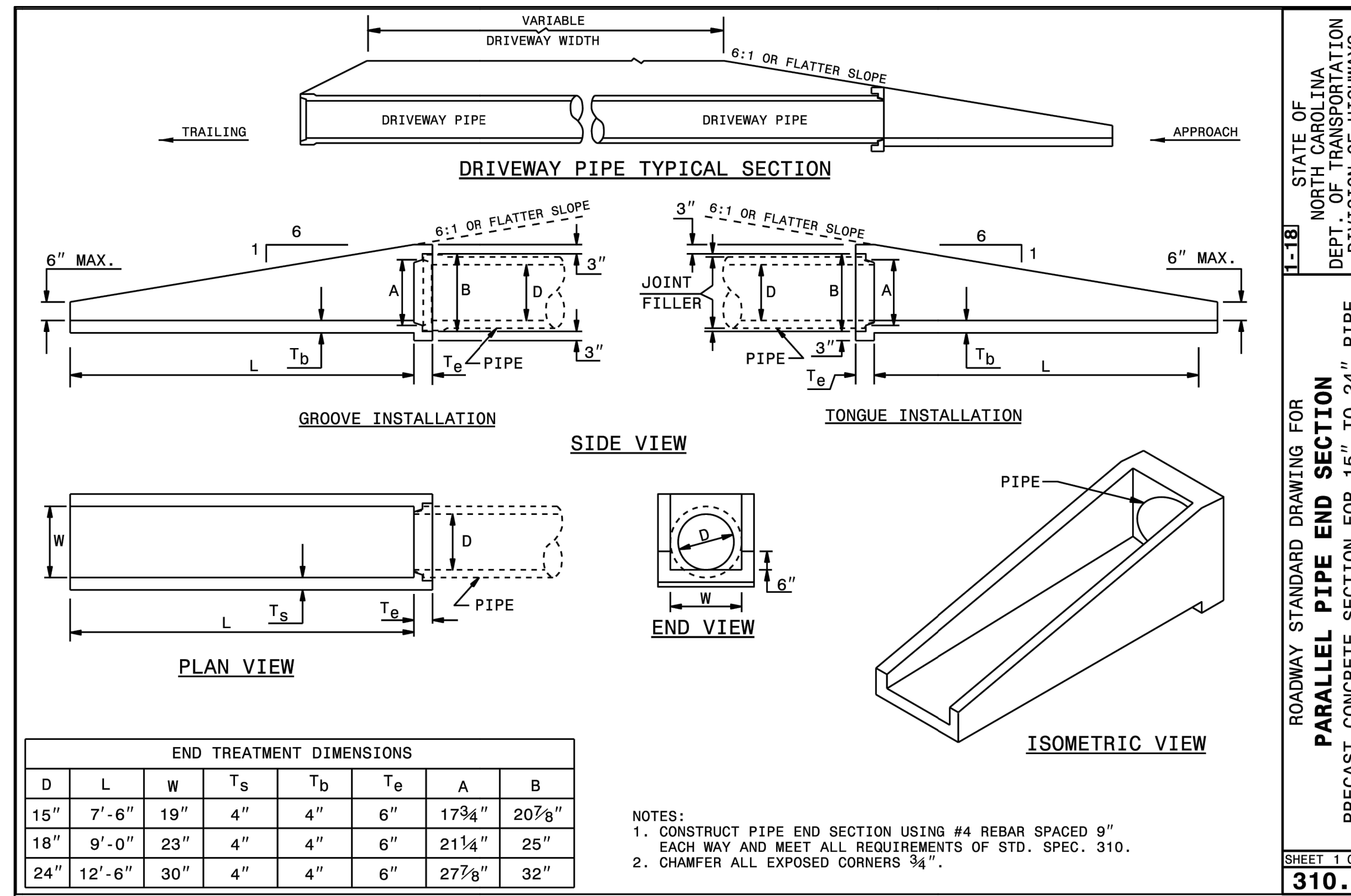
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D

C

B

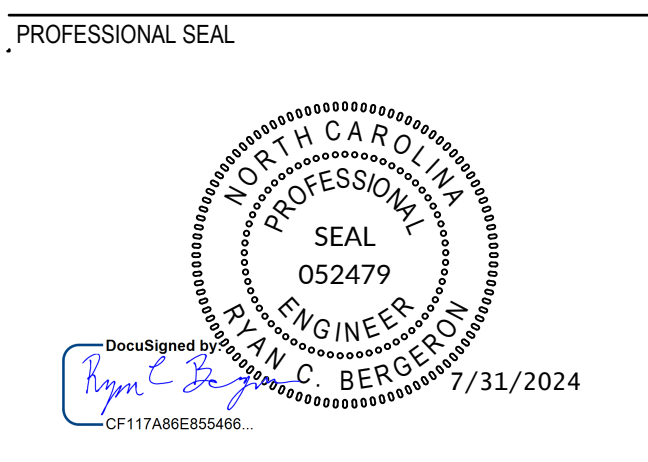
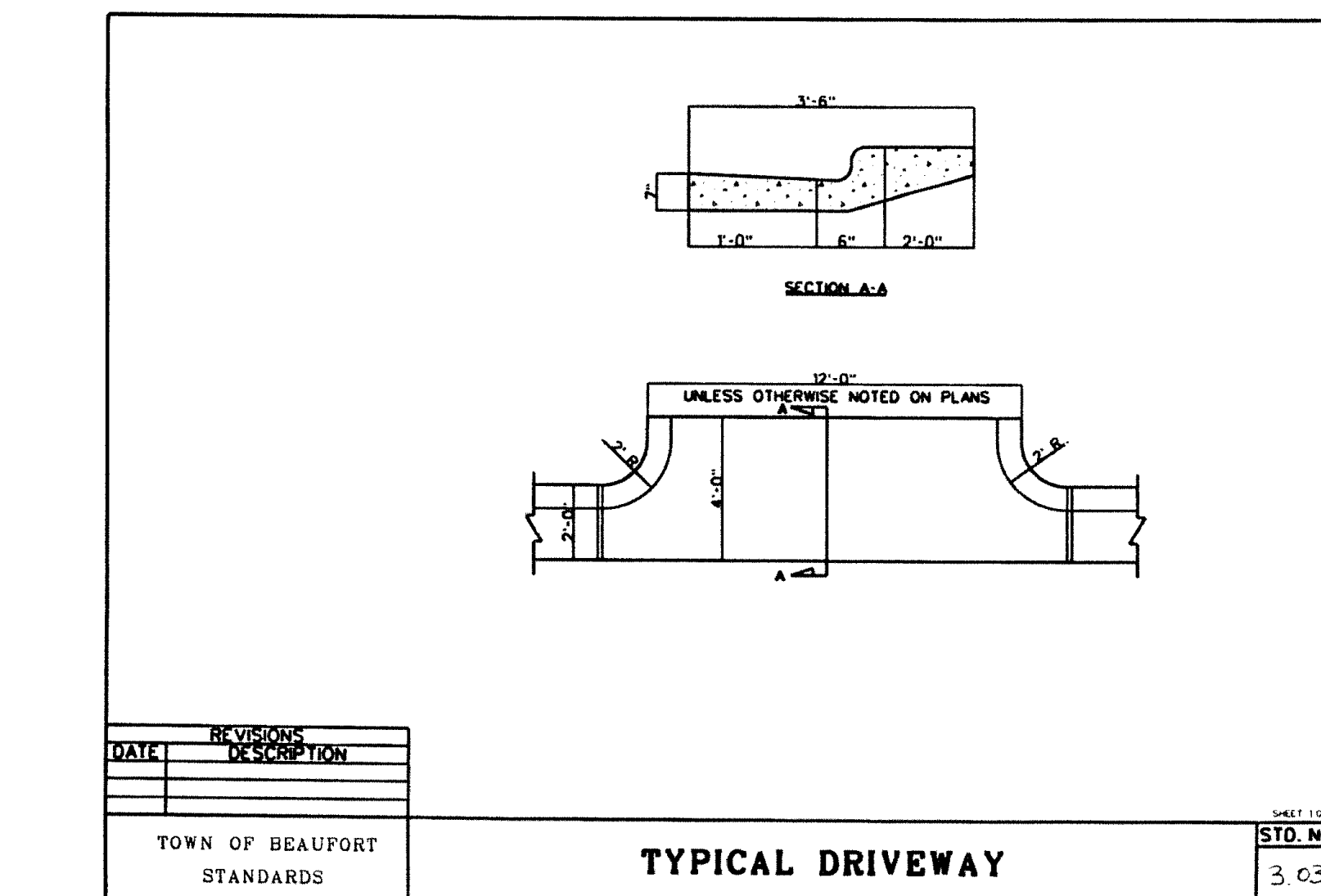
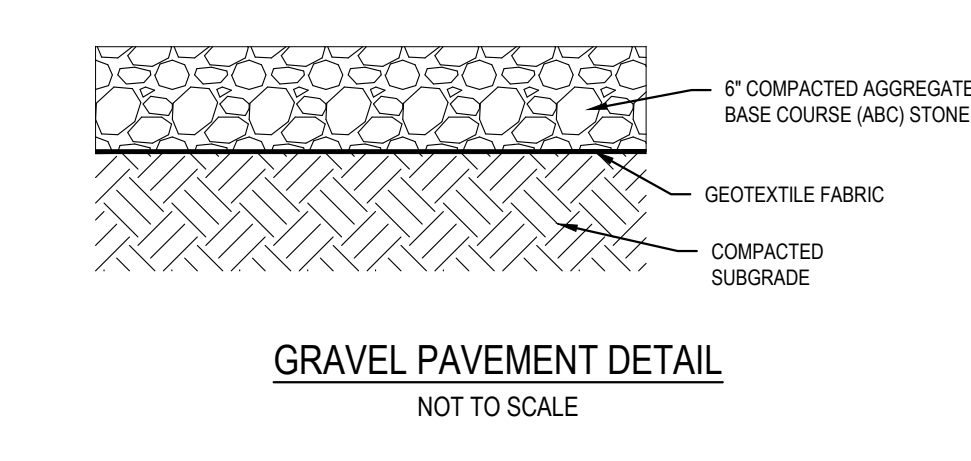
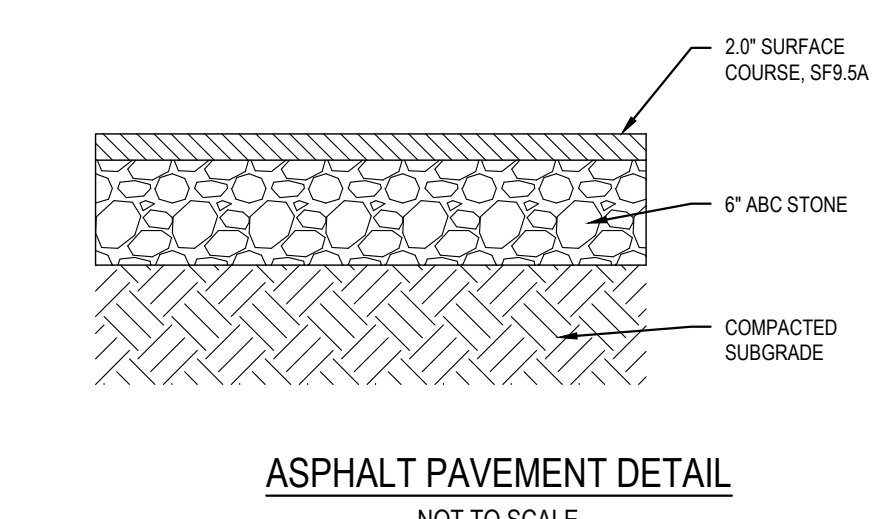
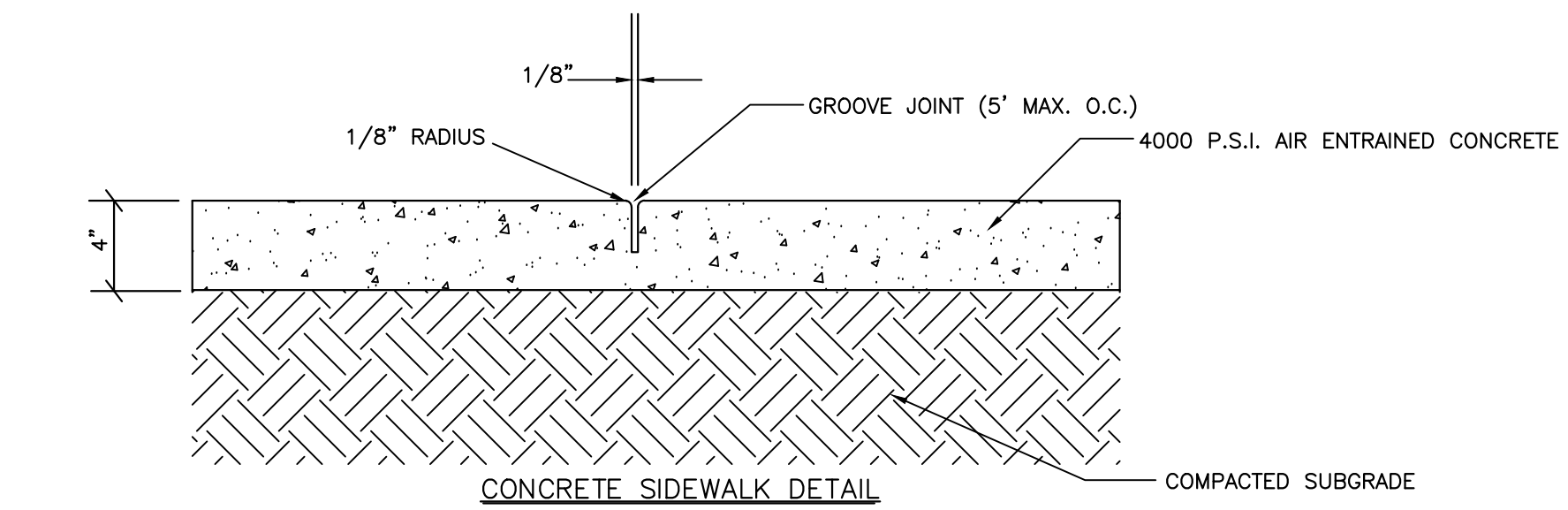
A



STATE OF NORTH CAROLINA
 DEPARTMENT OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
PARALLEL PIPE END SECTION
 PRECAST CONCRETE SECTION FOR 15" TO 24" PIPE

SHEET 1 OF 1
310.02



SUBMITTAL
 JUNE 7, 2024

BID DOCUMENTS

REVISIONS

NO.	DATE	DESCRIPTION
1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5

KEY PLAN

Maritime Education Center

293 W BEAUFORT ROAD EXT, BEAUFORT, NC 28516

CN PROJ #: 10145
SDD ID #: 24-27956-01A

DESIGNER

CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

CONSULTANT



STEWART

223 S. WEST ST., #1100
RALEIGH, NC 27603
1-919-380-8750

PROFESSIONAL SEAL



SUBMITTAL

JUNE 7, 2024

BID DOCUMENTS

REVISIONS

1	07/24/2024	ADDENDUM 3
2	08/02/2024	ADDENDUM 5

KEY PLAN

SHEET

LAYOUT AND MATERIALS PLAN ENLARGEMENT

L3.01

PROJECT #: L22001

DESIGN: DA, GS
DRAWN: KP
REVIEW: DA

CN 10145

FINISH SCHEDULE

P - PAVEMENT

KEY NAME	DESCRIPTION	DETAIL REF
P1	CONCRETE PAVEMENT - PEDESTRIAN - SP. FINISH	6/14.00
P2	CONCRETE PAVEMENT - VEHICULAR	5/14.00
P3	CONCRETE PAVEMENT - PEDESTRIAN - TYP.	6/14.00
P4	ADD ALT. 10: CONCRETE UNIT PAVERS - VEHICULAR	4/14.10
P5	DECOMPOSED GRANITE	1/14.10
P6	STONE BAND AT GARDEN EDGE	
P7	GRASSPAVE2	8/14.00
P8	MULCH PATHWAY	

CR - CURBS AND RAMPS

CR1	FLUSH CURB	2/14.20
CR2	SIDEWALK APRON	
CR3	ADD ALT. 9: RIVER ROCK DRIVEWAY EDGE	6/14.20
CR4	MOUNTABLE CURB	

E - EDGING

E1	ADD ALT. 9: STEEL EDGING	6/14.20
----	--------------------------	---------

SR - STAIRS, RAMPS, AND RAILINGS

SR1	CAST-IN-PLACE CONCRETE STAIRS	4/14.10
SR2	METAL HANDRAILS - STAIRS	5/14.10
SR3	CONCRETE ACCESSIBLE RAMP	
SR4	METAL HANDRAILS - RAMPS	

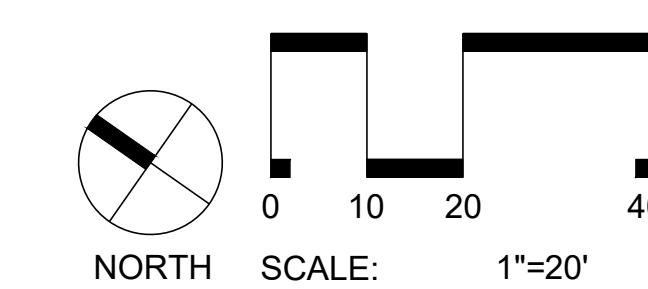
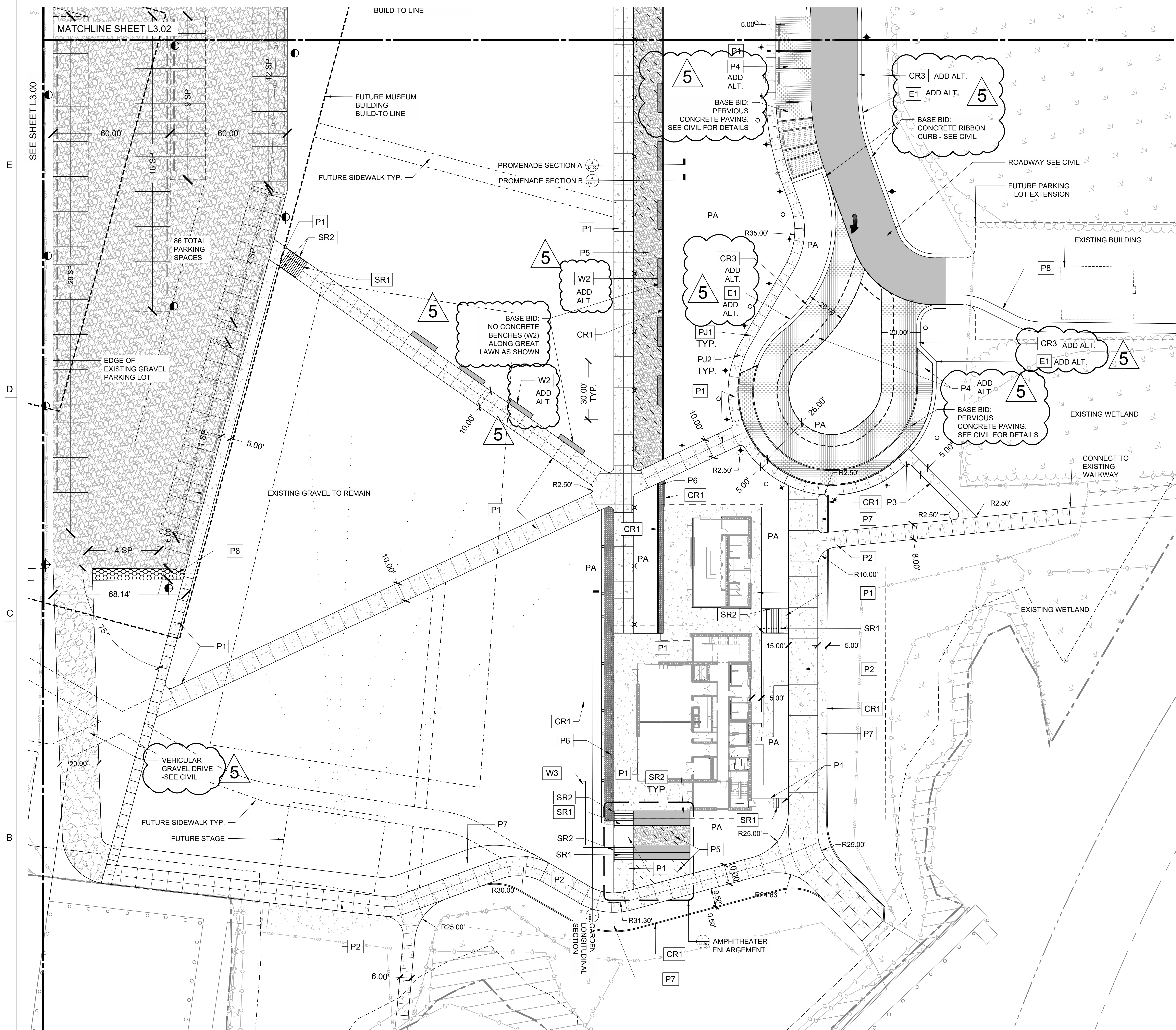
W - WALLS

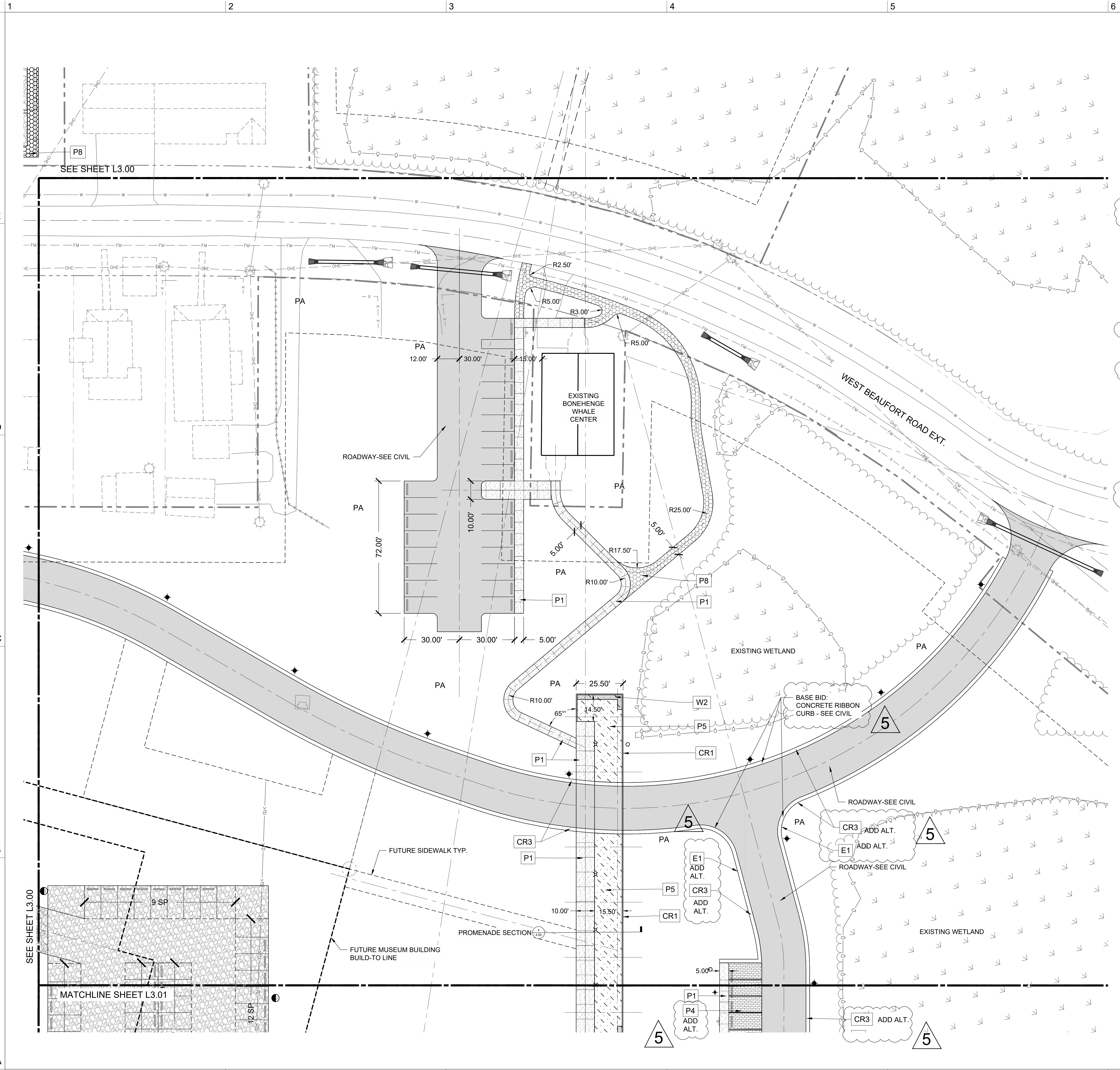
W1	CIP CONCRETE AND WOOD AMPHITHEATER SEATWALL	7/14.20
W2	ADD ALT. 3: CIP FREESTANDING CONCRETE AND WOOD SEATWALL	7/14.20
W3	CIP CONCRETE GARDEN WALL	

L - LIGHTING

KEY NAME	DESCRIPTION	DETAIL REF
L1	DUKE POLE LIGHT FIXTURE - 12' HT.	L8.00
L2	DUKE POLE LIGHT FIXTURE - 10' HT.	L8.00
L3	BOLLARD OPTION 1 - LIGHTHOUSE	L8.00
L3	BOLLARD OPTION 2 - BYSTEAD	L8.00
L3	BOLLARD OPTION 3 - PROFILE	L8.00
L4	GROUND-MOUNTED LUMINAIRE	L8.00
L6	RECEPTACLE LOCATION	L8.00

ALL PERVIOUS HARDSCAPE SURFACES ARE TO BE MAINTAINED BY THE DEVELOPER AND PROPERTY OWNER. THE TOWN OF BEAUFORT IS NOT RESPONSIBLE FOR REPAIRS TO PAVERS, PERVIOUS PAVEMENT, ETC.





FINISH SCHEDULE

P - PAVEMENT		
KEY NAME	DESCRIPTION	DETAIL REF
P1	CONCRETE PAVEMENT- PEDESTRIAN - SP. FINISH	6/L4.00
P2	CONCRETE PAVEMENT- VEHICULAR	5/L4.00
P3	CONCRETE PAVEMENT - PEDESTRIAN - TYP.	6/L4.00
P4	ADD ALT. 10: CONCRETE UNIT PAVERS - VEHICULAR	4/L4.10
P5	DECOMPOSED GRANITE	1/L4.10
P6	STONE BAND AT GARDEN EDGE	
P7	GRASSPAVE2	8/L4.00
P8	MULCH PATHWAY	

CR - CURBS AND RAMPS		
KEY NAME	DESCRIPTION	DETAIL REF
CR1	FLUSH CURB	2/L4.20
CR2	SIDEWALK APRON	
CR3	ADD ALT. 9: RIVER ROCK DRIVEWAY EDGE	6/L4.20
CR4	MOUNTABLE CURB	

E - EDGING		
KEY NAME	DESCRIPTION	DETAIL REF
E1	ADD ALT. 9: STEEL EDGING	6/L4.20

SR - STAIRS, RAMPS, AND RAILINGS		
KEY NAME	DESCRIPTION	DETAIL REF
SR1	CAST-IN-PLACE CONCRETE STAIRS	4/L4.10
SR2	METAL HANDRAILS - STAIRS	5/L4.10
SR3	CONCRETE ACCESSIBLE RAMP	
SR4	METAL HANDRAILS - RAMPS	

W - WALLS		
KEY NAME	DESCRIPTION	DETAIL REF
W1	CIP CONCRETE AND WOOD AMPHITHEATER SEATWALL	7/L4.20
W2	ADD ALT. 3: CIP FREESTANDING CONCRETE AND WOOD SEATWALL	7/L4.20
W3	CIP CONCRETE GARDEN WALL	

L - LIGHTING		
KEY NAME	DESCRIPTION	DETAIL REF
L1	DUKE POLE LIGHT FIXTURE - 12' HT.	L8.00
L2	DUKE POLE LIGHT FIXTURE - 10' HT	L8.00
L3	BOLLARD OPTION 1 - LIGHTHOUSE	L8.00
L3	BOLLARD OPTION 2 - BYSTEAD	L8.00
L3	BOLLARD OPTION 3 - PROFILE	L8.00
L4	GROUND-MOUNTED LUMINAIRE	L8.00
L6	RECEPTACLE LOCATION	L8.00

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MARITIME HERITAGE FOUNDATION
THE NORTH CAROLINA MARITIME MUSEUM

Maritime Education Center

293 W BEAUFORT ROAD EXT. BEAUFORT, NC 28516

CON PROJ #: 10145
SCD ID #: 24-27956-01A

DESIGNER

CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 800
RALEIGH, NORTH CAROLINA 27603
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

CONSULTANT

STEWART

223 S. WEST ST., #1100
RALEIGH, NC 27603
T 919.380.8750

PROFESSIONAL SEAL

SUBMITTAL
JUNE 7, 2024

BID DOCUMENTS

REVISIONS

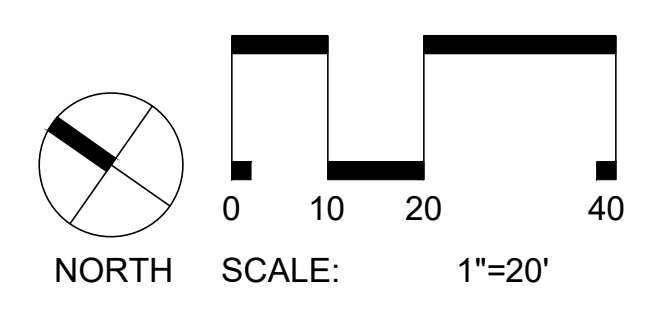
1	07/24/2024	ADDENDUM 3
2	08/02/2024	ADDENDUM 5

KEY PLAN

SHEET
LAYOUT AND MATERIALS PLAN ENLARGEMENT
L3.02

PROJECT #: L22001
DESIGN: DA, GS
DRAWN: KP
REVIEW: DA

CN 10145



FINISH SCHEDULE

P - PAVEMENT

KEY NAME	DESCRIPTION	DETAIL REF	MATERIAL	COLOR	FINISH	SIZE	PRODUCT NAME/No.	SUPPLIER	REMARKS
P1	CONCRETE PAVEMENT- PEDESTRIAN - SP. FINISH	6/L4.00	CONCRETE	STANDARD GRAY	TABBY	4" THICK	N/A	N/A	10'X10' MOCKUP REQUIRED FOR APPROVAL BY LA
P2	CONCRETE PAVEMENT- VEHICULAR	5/L4.00	CONCRETE	STANDARD GRAY	LIGHT BROOM	6" THICK	N/A	N/A	10'X10' MOCKUP REQUIRED FOR APPROVAL BY LA
P3	CONCRETE PAVEMENT - PEDESTRIAN - TYP.	6/L4.00	CONCRETE	STANDARD GRAY	LIGHT BROOM	4" THICK	N/A	N/A	10'X10' MOCKUP REQUIRED FOR APPROVAL BY LA
P4	ADD ALT. 10: CONCRETE UNIT PAVERS - VEHICULAR	4/L4.10	CONCRETE	GRAY TONES - TO BE SELECTED FROM SAMPLES	TUDOR	TO BE SELECTED	HANOVER PREST PAVER	HANOVER	SAMPLES REQUIRED FOR APPROVAL BY LA
P5	DECOMPOSED GRANITE	1/L4.10	PAINT	STANDARD WHITE	N/A	PER DETAIL	N/A	N/A	10'X10' MOCKUP REQUIRED FOR APPROVAL BY LA
P6	STONE BAND AT GARDEN EDGE		RIVER ROCK	STANDARD		PER DETAIL	N/A	N/A	10'X10' MOCKUP REQUIRED FOR APPROVAL BY LA
P7	GRASSPAVE2	8/L4.00	RECYCLED PLASTIC	N/A	N/A	10-12" BASE COURSE DEPTH	GRASSPAVE2	INVISIBLE STRUCTURES	10'X10' MOCKUP REQUIRED FOR APPROVAL BY LA
P8	MULCH PATHWAY		HARDWOOD MULCH	N/A	N/A	N/A	N/A	N/A	N/A

5

CR - CURBS AND RAMPS

CR1	FLUSH CURB	2/L4.20	CONCRETE	STANDARD GRAY	LIGHT BROOM	4" THICK	DETECTABLE WARNING PAVERS		SAMPLES REQUIRED FOR APPROVAL BY LA
CR2	SIDEWALK APRON		CONCRETE	STANDARD GRAY	LIGHT BROOM	6" THICK	TRUNCATED DOMES	URBAN ACCESSORIES	SAMPLES REQUIRED FOR APPROVAL BY LA
CR3	ADD ALT. 9: RIVER ROCK DRIVEWAY EDGE	6/L4.20	RIVER ROCK	STANDARD GRAY	SMOOTH	4"-7"	N/A	N/A	SAMPLES REQUIRED FOR APPROVAL BY LA
CR4	MOUNTABLE CURB		CONCRETE	STANDARD GRAY	LIGHT BROOM	6" THICK	N/A	N/A	SAMPLES REQUIRED FOR APPROVAL BY LA

5

E - EDGING

E1	ADD ALT. 9: STEEL EDGING	6/L4.20	STEEL	TO BE SELECTED	TO BE SELECTED	PER DETAIL	TO BE SELECTED	TO BE SELECTED	SAMPLES AND SHOP DRAWINGS REQUIRED FOR APPROVAL BY LA
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5

SR - STAIRS, RAMPS, AND RAILINGS

SR1	CAST-IN-PLACE CONCRETE STAIRS	4/L4.10	CONCRETE	STANDARD GRAY	LIGHT BROOM	PER DETAIL			CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BY LA
SR2	METAL HANDRAILS - STAIRS	5/L4.10	STEEL	BLACK	POWDERCOAT	PER DETAIL			CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BY LA
SR3	CONCRETE ACCESSIBLE RAMP		CONCRETE	STANDARD GRAY	LIGHT BROOM	PER DETAIL			CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BY LA
SR4	METAL HANDRAILS - RAMPS		STEEL	BLACK	POWDERCOAT	PER DETAIL			CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BY LA

W - WALLS

W1	CIP CONCRETE AND WOOD AMPHITHEATER SEATWALL	7/L4.20	PRE-CAST STONE, THERMORY ASH	GP-13	POLISHED	PER DETAIL	N/A	N/A	SAMPLES, SHOP DRAWINGS, AND WALL MOCK UP REQUIRED FOR APPROVAL BY LA
W2	ADD ALT. 3: CIP FREESTANDING CONCRETE AND WOOD SEATWALL	7/L4.20	PRE-CAST STONE, THERMORY ASH	GP-13	POLISHED	PER DETAIL	N/A	N/A	SAMPLES, SHOP DRAWINGS, AND WALL MOCK UP REQUIRED FOR APPROVAL BY LA
W3	CIP CONCRETE GARDEN WALL		PRE-CAST STONE	GP-13	POLISHED	PER DETAIL	N/A	N/A	SAMPLES, SHOP DRAWINGS, AND WALL MOCK UP REQUIRED FOR APPROVAL BY LA

5

L - LIGHTING

KEY NAME	DESCRIPTION	DETAIL REF	MATERIAL	COLOR	FINISH	SIZE	PRODUCT NAME/No.	SUPPLIER	REMARKS
L1	DUKE POLE LIGHT FIXTURE - 12' HT.	L8.00	PER DETAIL	BLACK	POWDERCOAT	12' HT.	MOTIVE	LANDSCAPEFORMS	BY OTHERS, LOCATION SHOWN ONLY
L2	DUKE POLE LIGHT FIXTURE - 10' HT	L8.00	PER DETAIL	BLACK	POWDERCOAT	10' HT.	MOTIVE	LANDSCAPEFORMS	BY OTHERS, LOCATION SHOWN ONLY
L3	BOLLARD OPTION 1 - LIGHTHOUSE	L8.00	PER DETAIL	PER DETAIL	POWDERCOAT	PER DETAIL	L209	LAMPAS	BY OTHERS, LOCATION SHOWN ONLY
L3	BOLLARD OPTION 2 - BYSTEAD	L8.00	PER DETAIL	PER DETAIL	POWDERCOAT	PER DETAIL	BYSTEAD	POULSON	BY OTHERS, LOCATION SHOWN ONLY
L3	BOLLARD OPTION 3 - PROFILE	L8.00	PER DETAIL	PER DETAIL	POWDERCOAT	PER DETAIL	PROFILE	LANDSCAPEFORMS	BY OTHERS, LOCATION SHOWN ONLY
L4	GROUND-MOUNTED LUMINAIRE	L8.00	PER DETAIL	TO BE SELECTED	POWDERCOAT	N/A	GROUND MOUNTED LUMINAIRE	BEGA	BY OTHERS, LOCATION SHOWN ONLY
L6	RECEPTACLE LOCATION	L8.00	N/A	N/A	N/A	N/A	N/A	N/A	BY OTHERS, LOCATION SHOWN ONLY

ALL PVIOUS HARDSCAPE SURFACES ARE TO BE MAINTAINED BY THE DEVELOPER AND PROPERTY OWNER. THE TOWN OF BEAUFORT IS NOT RESPONSIBLE FOR REPAIRS TO PAVERS, PVIOUS PAVEMENT, ETC.



Maritime Education Center

293 W BEAUFORT ROAD EXT, BEAUFORT, NC 28516

CN PROJ #: 10145
SCO ID #: 24-27956-01A

DESIGNER

CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

CONSULTANT



STEWART

223 S. WEST ST. #1100
RALEIGH, NC 27603
1 919.380.8729

PROFESSIONAL SEAL



SUBMITTAL

JUNE 7, 2024

BID DOCUMENTS

REVISIONS

1.	07/24/2024	ADDENDUM 3
2.	08/02/2024	ADDENDUM 5

KEY PLAN

SHEET

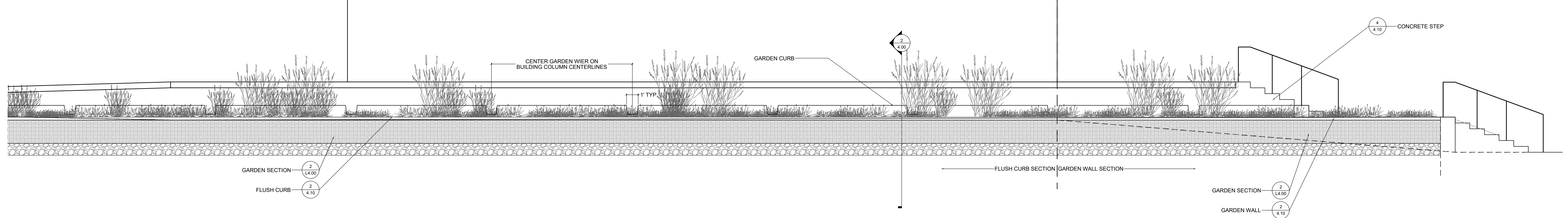
SITE DETAILS

L4.00

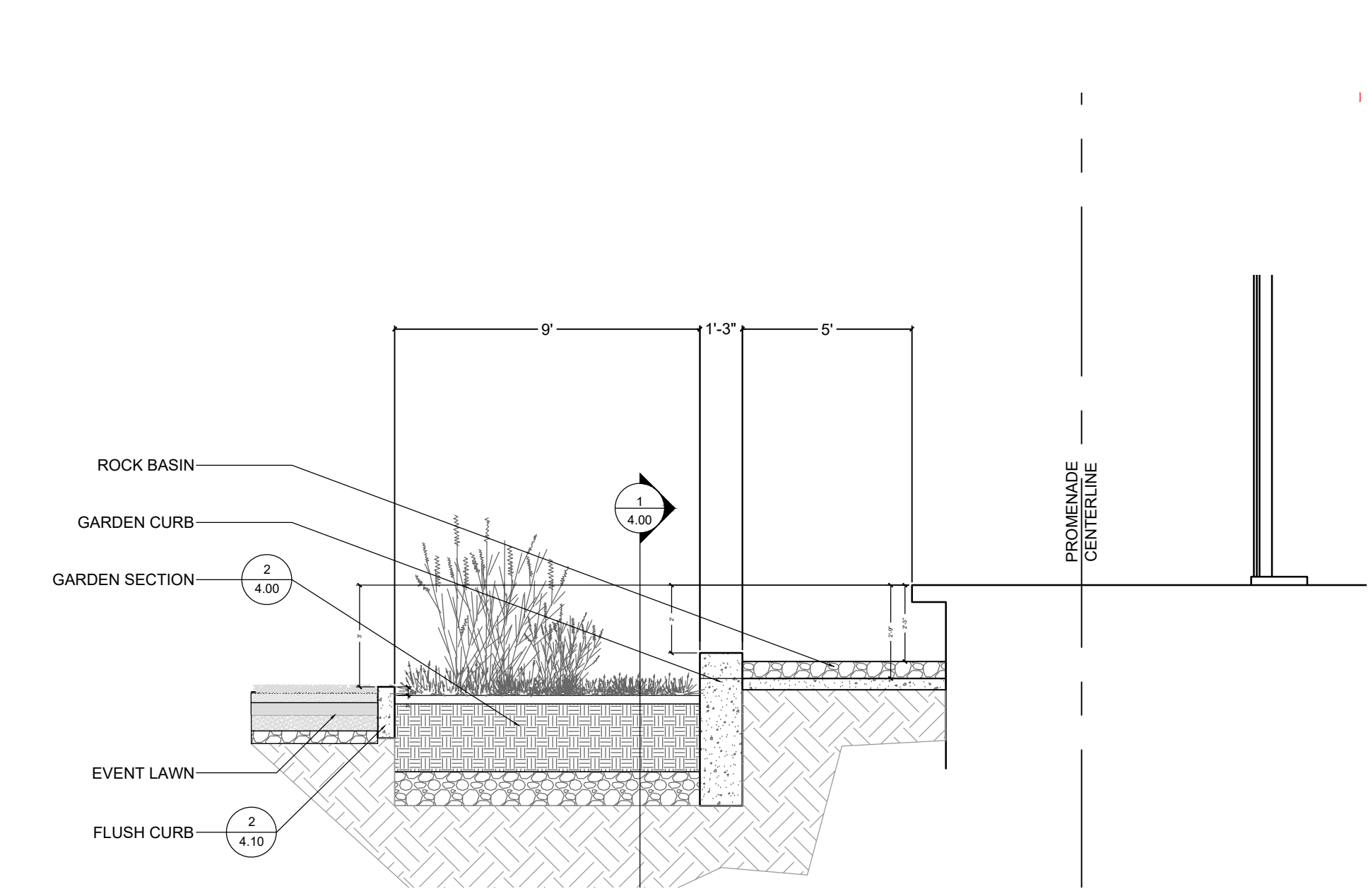
PROJECT #: L2201

DESIGN: DA, GS
DRAWING: KP
REVIEW: DA

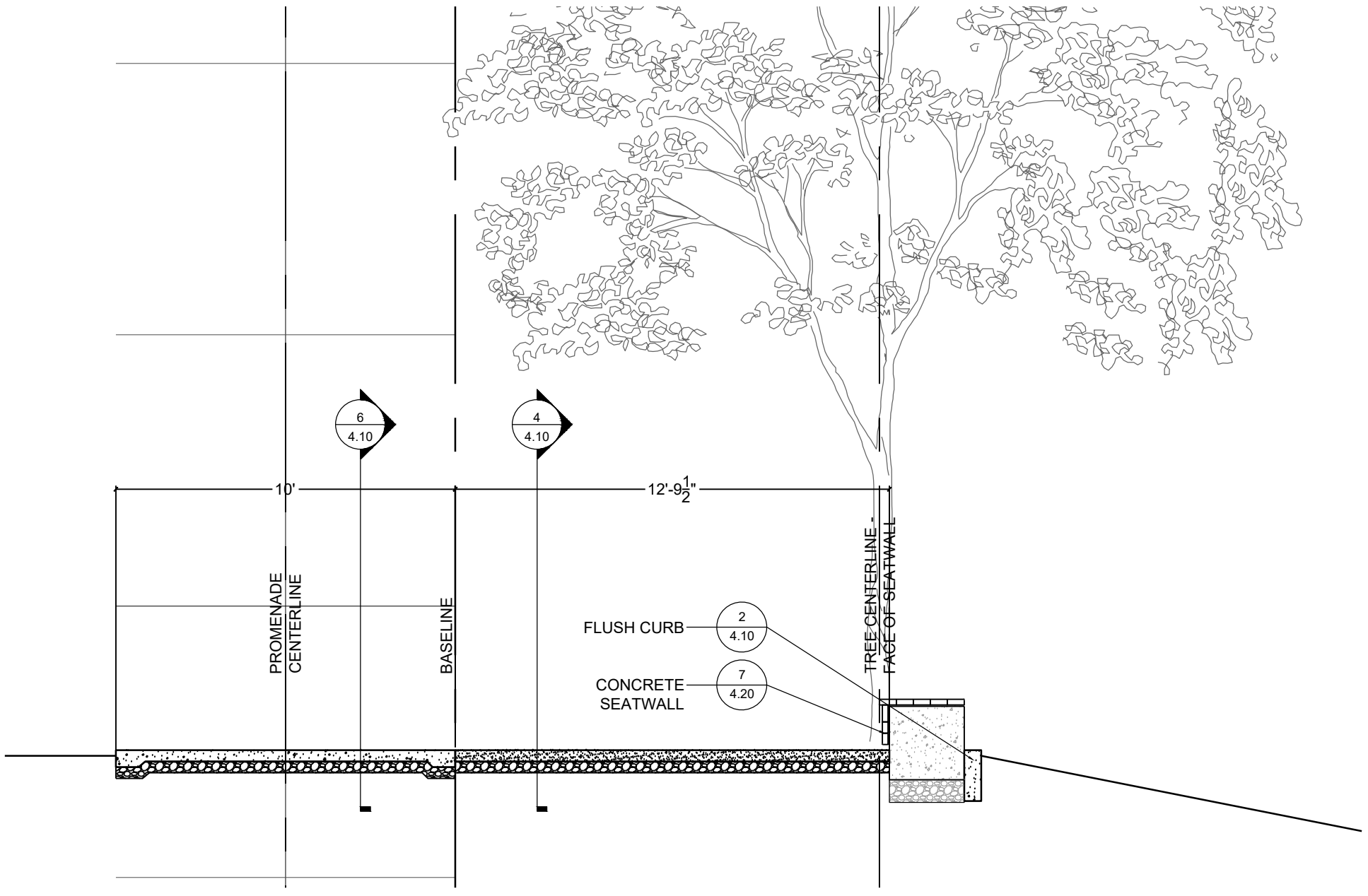
CN 10145



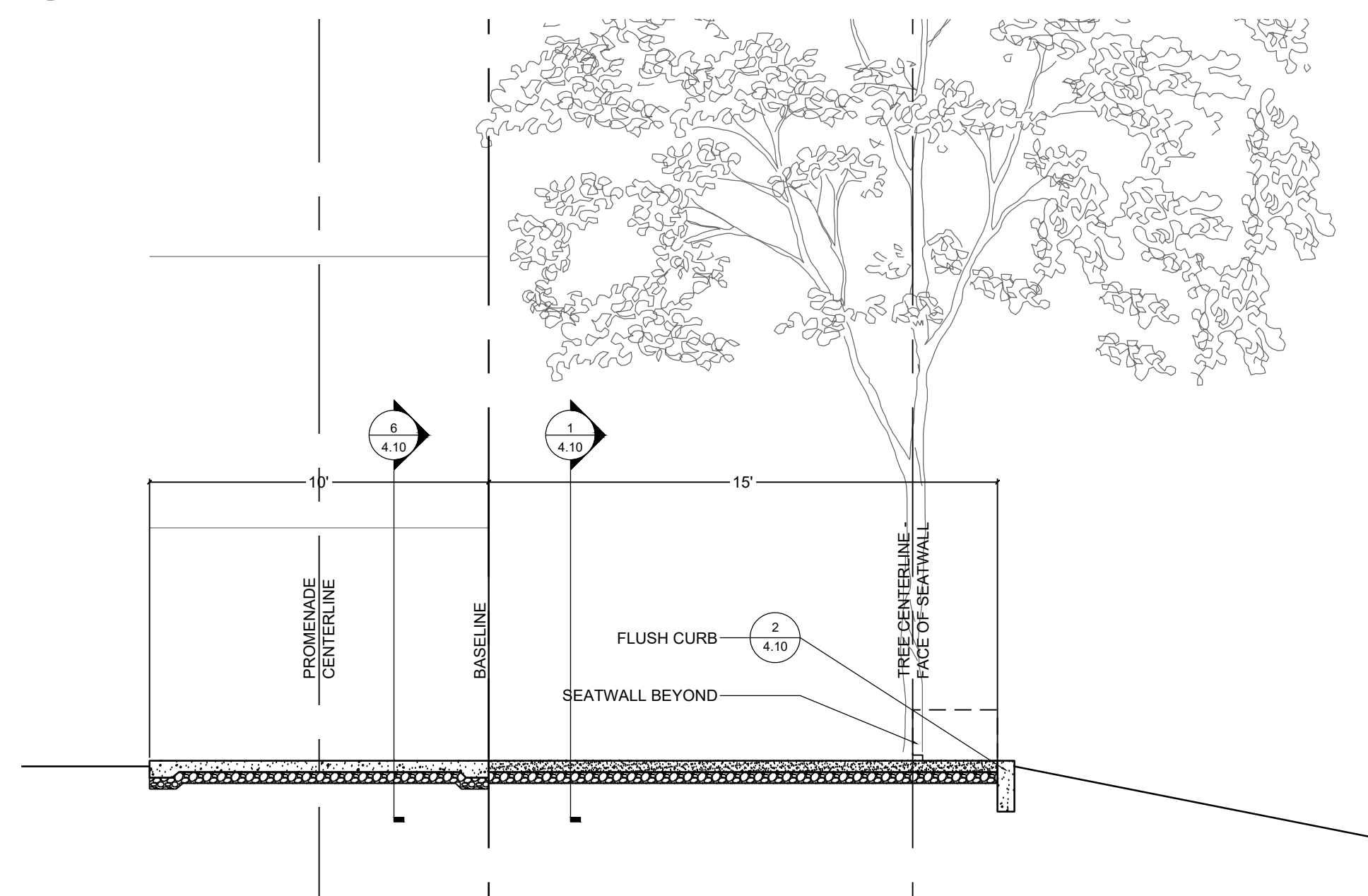
1 GARDEN LONGITUDINAL SECTION
SECTION
1/4" = 1'-0"



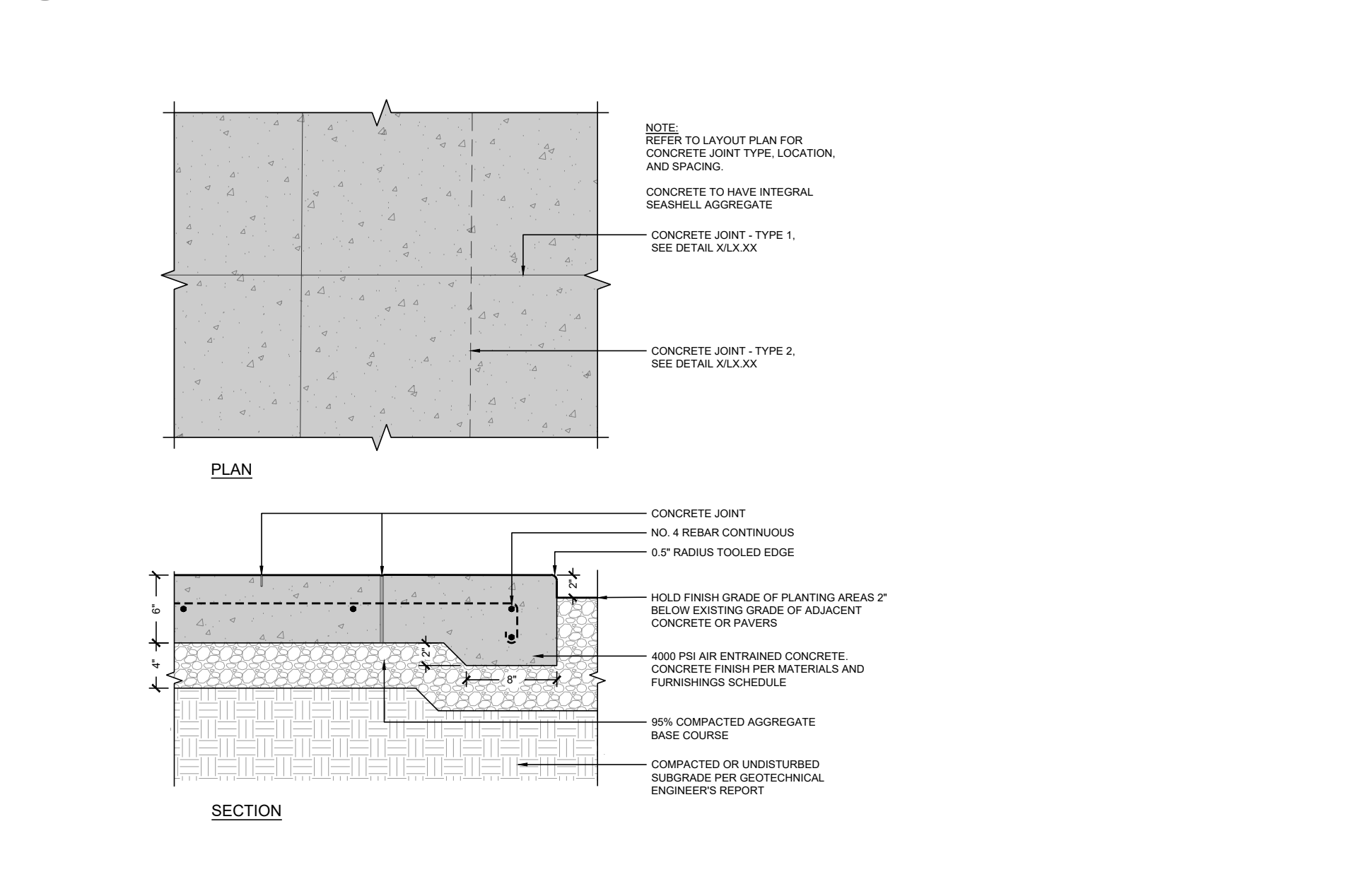
2 GARDEN CROSS SECTION
SECTION
1/4" = 1'-0"



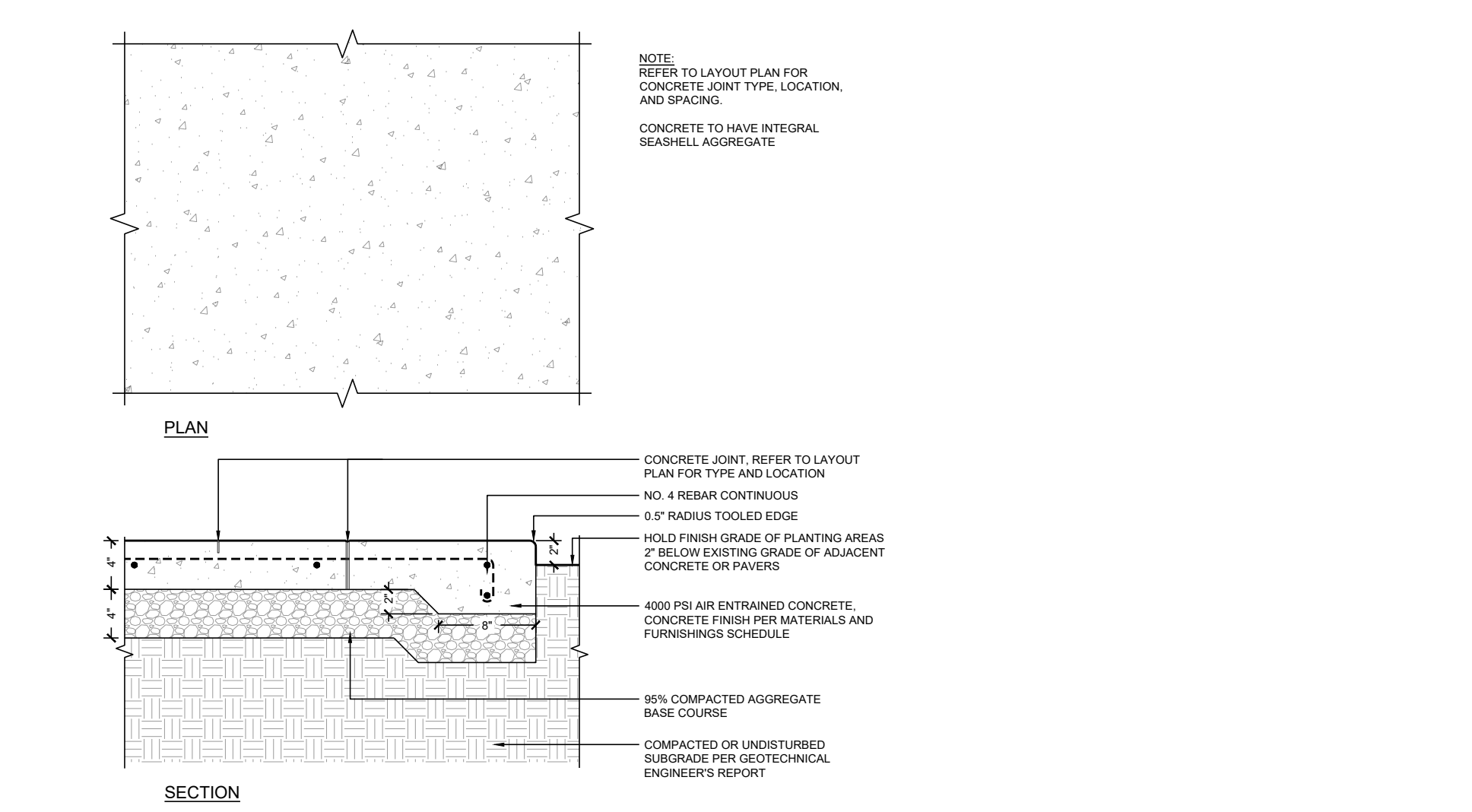
3 PROMENADE SECTION A
SECTION
1/4" = 1'-0"



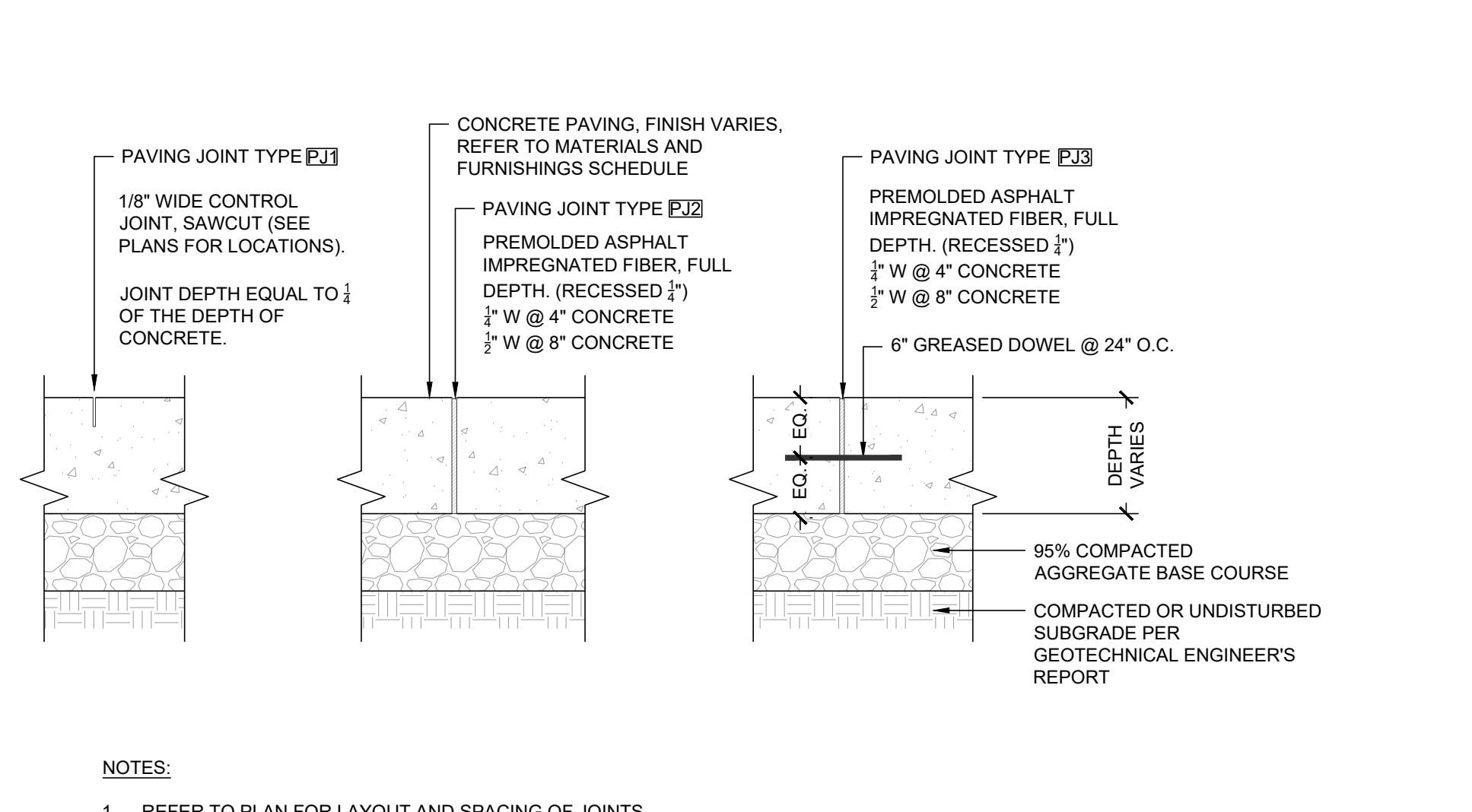
4 PROMENADE SECTION B
SECTION
1/4" = 1'-0"



5 CONCRETE SIDEWALK-VEHICULAR
SECTION
1" = 1'-0"



6 CONCRETE SIDEWALK-PEDESTRIAN
SECTION
1" = 1'-0"



7 CONCRETE JOINTS
SECTION
NTS

DESIGN GUIDELINE

Depth of Engineered Base Recommendations
Grasspave2 and Gravelpave2

	Normal Traffic		Occasional Passes		Infrequent Passes	
	CBR 2-4	CBR >4	CBR 2-4	CBR >4	CBR 2-4	CBR >4
Heavy Fire Truck & H-20 Loading Max 110 psi 80,000 lb	14 in	12-14 in	12-14 in	12 in	12 in	10-12 in
Light Fire Truck & H-15 Loading Typical 85 psi 60,000 lb	12 in	10-12 in	10 in	8-10 in	8-10 in	8 in
Utility & Delivery Truck & H-10 Loading Typical 60 psi 40,000 lb	8-10 in	8 in	8-10 in	6-8 in	6-8 in	6 in
Cars & Pick-Up Truck Access Typical 45 psi 8,000 lb	6-8 in	6 in	6 in	4-6 in	4-6 in	2-4 in
Trail Use <1,000 lb	6 in	4-6 in	2-4 in	0-2 in	None	None

ALL DESIGNS SHOULD BE CHECKED BY A CERTIFIED ENGINEER

GRASSPAVE2 GRVELPAVE2

INVISIBLE STRUCTURES

TYPICAL GRASSPAVE2 DETAIL

CHOOSE THIS PRODUCT FOR REINFORCING GRASS WEARING SURFACES

SPECIFICATIONS

UNIT SIZE - 50 CM X 50 CM X 2.5 CM OR 1 M X 1 M X 2.5 CM
(20" X 20" X 1" OR 40" X 40" X 1")

AVAILABLE IN 9 STANDARD ROLL SIZES

UNIT WEIGHT - 510 GRAMS (18 OZ.)
OR 2.0 KG (4.5 POUNDS)

STRENGTH - 1121 KG/CM² (15,940 PSI)

COLOR - BLACK

RESIN - 100% RECYCLED HDPE

PLAN

GRASSPAVE2 SQUARES

ADJACENT GRASSPAVE2 UNITS

SEE ENLARGEMENT BELOW

HYDROGROW MIX BELOW RING
SUPPLIED FREE BY MANUFACTURER

RINGS FILLED WITH CONCRETE SAND (CLEAN, SHARP SAND)

COMPACTED SANDY GRAVEL ROAD BASE
95% MODIFIED PROCTOR DENSITY
- 6 INCHES TO 12 INCHES
(DEPTH OF BASE COURSE TO BE
DETERMINED BY ON-SITE ENGINEER)
- SEE FULL TECHNICAL SPECIFICATIONS FOR COMPOSITION

COMPACTED SUBGRADE,

SECTION

TOP OF GRASS ROOT MASS 6 MM
(1/4") ABOVE TOP OF RING

GRASSPAVE2 ATTACH WITH
SNAP-FIT FASTENERS

RINGS FILLED WITH CONCRETE SAND (CLEAN, SHARP SAND)

COMPACTED SANDY GRAVEL
BASE COURSE
- SEE FULL TECHNICAL SPECIFICATIONS FOR COMPOSITION

ENLARGEMENT

NOTE: GRASS/PLANT TYPES SHALL BE SPECIFIED BY A LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER.

NOT TO SCALE

GRASSPAVE2

INVISIBLE STRUCTURES

1 OF 1

8 GRASSPAVE2 DETAILS
SECTION
NTS

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225 S. WEST ST., #130
RALEIGH, NC 27603
T 919.380.8750

PROFESSIONAL SEAL



SUBMITTAL

JUNE 7, 2024

BID DOCUMENTS

REVISIONS

1	07/24/2024	ADDENDUM 3
2	08/02/2024	ADDENDUM 5

KEY PLAN

SHEET

OVERALL PLANTING PLAN

L7.00

PROJECT #: L22001

DESIGN: DA, GS

DRAWN: KP

REVIEW: DA

CN 10145

LEGEND

SHRUB AND GRASS MIXES

TEMPORARY SEED

ENHANCED LANDSCAPE

- Longleaf Pine (*Pinus palustris*)
- Switchgrass (*Panicum virgatum*)
- Eastern Gamagrass (*Tripsacum dactyloides*)
- Little Bluestem (*Schizachyrium scoparium*)
- Sweet Pepperbush (*Clethra alnifolia*)

WETLAND TRANSITION

- 31.0% *Panicum rigidulum*, PA Ecotype (Redtop Panicgrass, PA Ecotype)
- 30.0% *Carex albulotescens*, Coastal Plain NC Ecotype (Greenwhite Sedge, Coastal Plain NC Ecotype)
- 20.0% *Elymus virginicus*, AR Ecotype (Virginia Wildrye, AR Ecotype)
- 10.0% *Carex vulpinoidea*, PA Ecotype (Fox Sedge, PA Ecotype)
- 3.0% *Helianthus angustifolius*, Coastal Plain NC Ecotype (Narrowleaf Sunflower, Coastal Plain NC Ecotype)
- 3.0% *Juncus effusus*, 'Suther'-Piedmont NC Ecotype (Soft Rush, 'Suther'-Piedmont NC Ecotype)
- 1.0% *Juncus tenuis*, NC Ecotype (Path Rush, NC Ecotype)
- 1.0% *Ludwigia linearis*, Coastal Plain SC Ecotype (Narrowleaf Primrose Willow, Coastal Plain SC Ecotype)
- 0.5% *Scirpus cyperinus*, Coastal Plain NC Ecotype (Woolgrass, Coastal Plain NC Ecotype)
- 0.5% *Vernonia noveboracensis*, PA Ecotype (New York Ironweed, PA Ecotype)

GARDEN

- 40.4% *Schizachyrium scoparium*, Fort Indiantown Gap-PA Ecotype (Little Bluestem, Fort Indiantown Gap-PA Ecotype)
- 20.0% *Carex vulpinoidea*, PA Ecotype (Fox Sedge, PA Ecotype)
- 20.0% *Elymus virginicus*, Madison-NY Ecotype (Virginia Wildrye, Madison-NY Ecotype)
- 9.0% *Panicum clandestinum*, Tioga (Deertongue, Tioga)
- 5.5% *Panicum rigidulum*, PA Ecotype (Redtop Panicgrass, PA Ecotype)
- 4.0% *Chasmanthium latifolium*, WV Ecotype (River Oats, WV Ecotype)
- 0.5% *Carex scoparia*, PA Ecotype (Blunt Broom Sedge, PA Ecotype)
- 0.3% *Juncus effusus* (Soft Rush)
- 0.3% *Juncus tenuis*, PA Ecotype (Path Rush, PA Ecotype)

COASTAL LANDSCAPE

- 29.0% *Chasmanthium latifolium*, WV Ecotype (River Oats, WV Ecotype)
- 20.0% *Elymus virginicus*, AR Ecotype (Virginia Wildrye, AR Ecotype)
- 15.5% *Sorghastrum nutans*, 'Holt' (Indiangrass, 'Holt')
- 15.0% *Panicum virgatum*, 'Carthage', NC Ecotype (Switchgrass, 'Carthage', NC Ecotype)
- 8.0% *Panicum rigidulum*, PA Ecotype (Redtop Panicgrass, PA Ecotype)
- 3.0% *Carex vulpinoidea*, PA Ecotype (Fox Sedge, PA Ecotype)
- 2.0% *Agrostis hyemalis*, Piedmont NC Ecotype (Winter Bentgrass, Piedmont NC Ecotype)
- 2.0% *Carex albulotescens*, Coastal Plain NC Ecotype (Greenwhite Sedge, Coastal Plain NC Ecotype)
- 1.5% *Chamaecrista fasciculata*, PA Ecotype (Partridge Pea, PA Ecotype)
- 1.5% *Juncus effusus*, 'Suther'-Piedmont NC Ecotype (Soft Rush, 'Suther'-Piedmont NC Ecotype)
- 1.0% *Chamaecrista nictitans*, NC Ecotype (Sensitive Pea, NC Ecotype)
- 1.0% *Helianthus angustifolius*, Coastal Plain NC Ecotype (Narrowleaf Sunflower, Coastal Plain NC Ecotype)
- 0.5% *Ludwigia linearis*, Coastal Plain SC Ecotype (Narrowleaf Primrose Willow, Coastal Plain SC Ecotype)

TURF MIXES

EVENT LAWN

Stalok Fiber Reinforced Sod

TURFGRASS

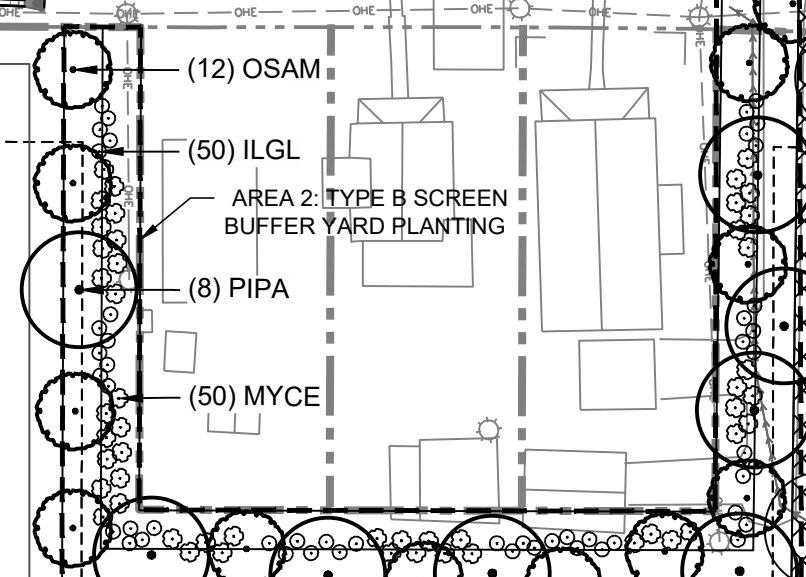
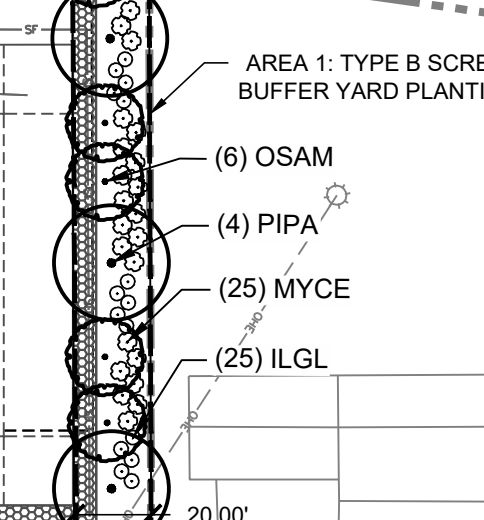
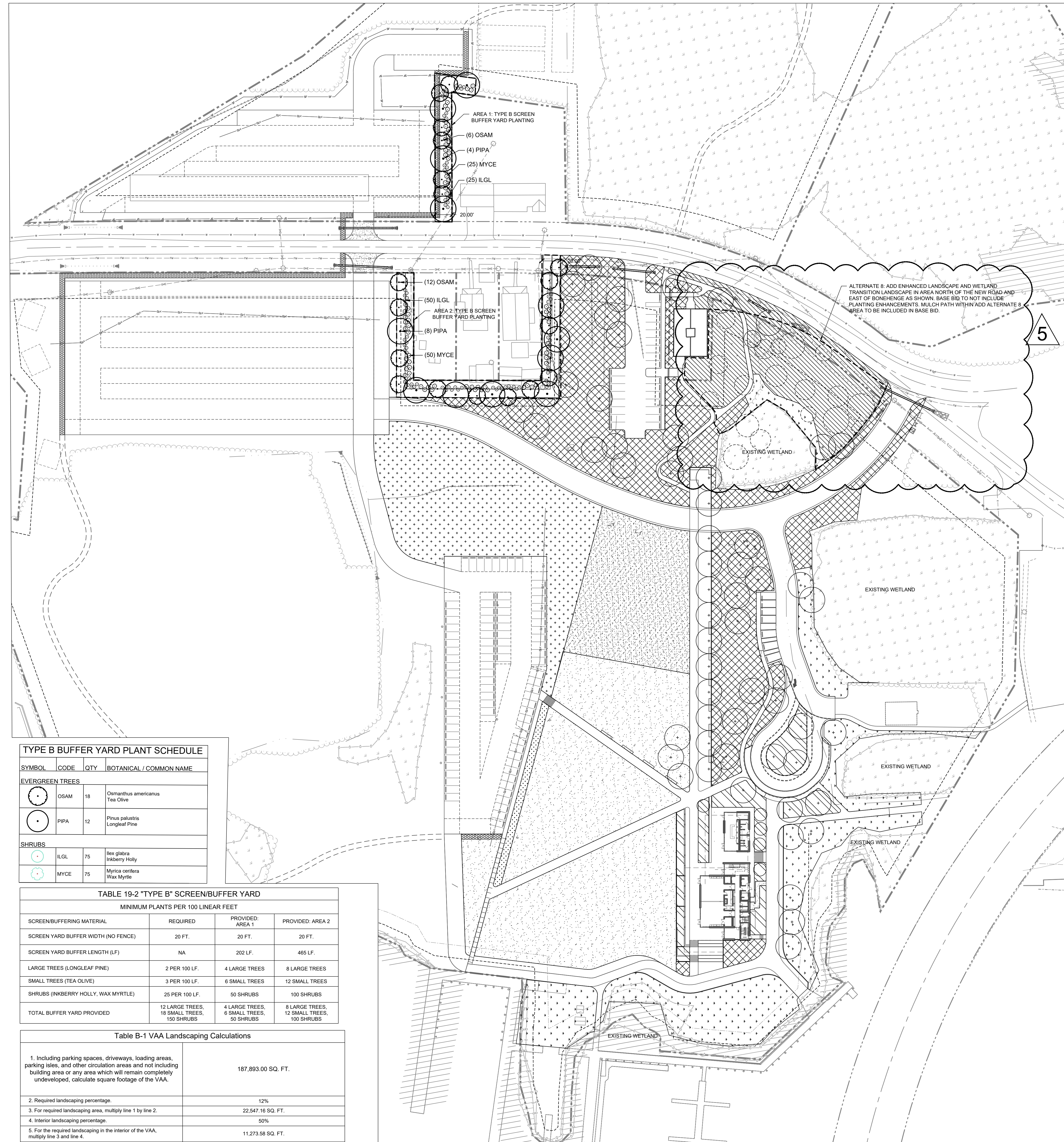
Seed

TREES

- Live Oak (*Quercus virginiana*)
- Bald Cypress (*Taxodium distichum*)
- American Hophornbeam (*Ostrya virginiana*)
- Longleaf Pine (*Pinus palustris*)
- Tea Olive (*Osmanthus americanus*)

SHRUBS

- Cherry Laurel (*Prunus caroliniana*)
- Southern Wax Myrtle (*Morella cerifera*)
- Sweet Pepperbush (*Clethra alnifolia*)
- Inkberry Holly (*Ilex glabra*)
- Wax Myrtle (*Myrica cerifera*)



ALTERNATE 8: ADD ENHANCED LANDSCAPE AND WETLAND TRANSITION LANDSCAPE IN AREA NORTH OF THE NEW ROAD AND EAST OF BONEHENGE AS SHOWN. BASE BID TO NOT INCLUDE PLANTING ENHANCEMENTS. MULCH PATH WITHIN ADD ALTERNATE 8 AREA TO BE INCLUDED IN BASE BID.

TYPE B BUFFER YARD PLANT SCHEDULE

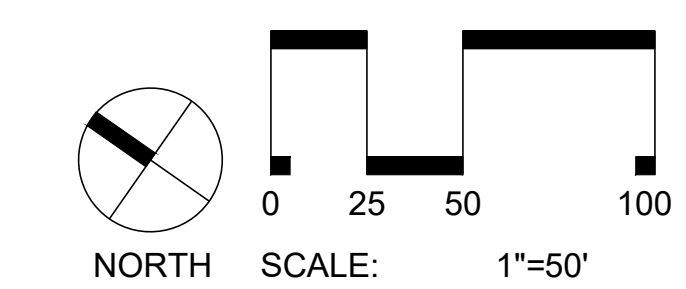
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME
EVERGREEN TREES			
	OSAM	18	<i>Osmanthus americanus</i> Tea Olive
	PIPA	12	<i>Pinus palustris</i> Longleaf Pine
SHRUBS			
	ILGL	75	<i>Ilex glabra</i> Inkberry Holly
	MYCE	75	<i>Myrica cerifera</i> Wax Myrtle

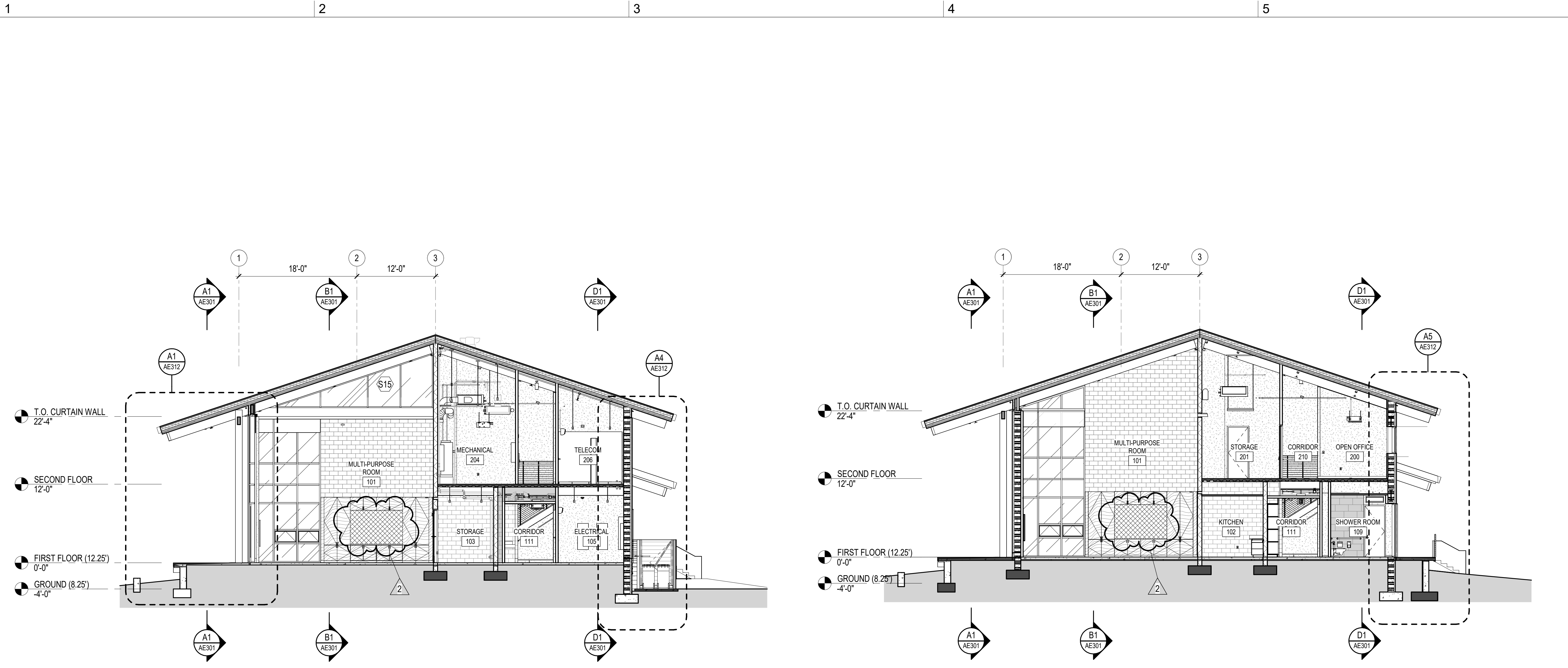
TABLE 19-2 "TYPE B" SCREEN/BUFFER YARD

MINIMUM PLANTS PER 100 LINEAR FEET			
SCREEN/BUFFERING MATERIAL	REQUIRED	PROVIDED: AREA 1	PROVIDED: AREA 2
SCREEN YARD BUFFER WIDTH (NO FENCE)	20 FT.	20 FT.	20 FT.
SCREEN YARD BUFFER LENGTH (LF)	NA	202 LF.	465 LF.
LARGE TREES (LONGLEAF PINE)	2 PER 100 LF.	4 LARGE TREES	8 LARGE TREES
SMALL TREES (TEA OLIVE)	3 PER 100 LF.	6 SMALL TREES	12 SMALL TREES
SHRUBS (INKBERRY HOLLY, WAX MYRTLE)	25 PER 100 LF.	50 SHRUBS	100 SHRUBS
TOTAL BUFFER YARD PROVIDED	12 LARGE TREES, 18 SMALL TREES, 100 SHRUBS	4 LARGE TREES, 6 SMALL TREES, 50 SHRUBS	8 LARGE TREES, 12 SMALL TREES, 100 SHRUBS

Table B-1 VAA Landscaping Calculations

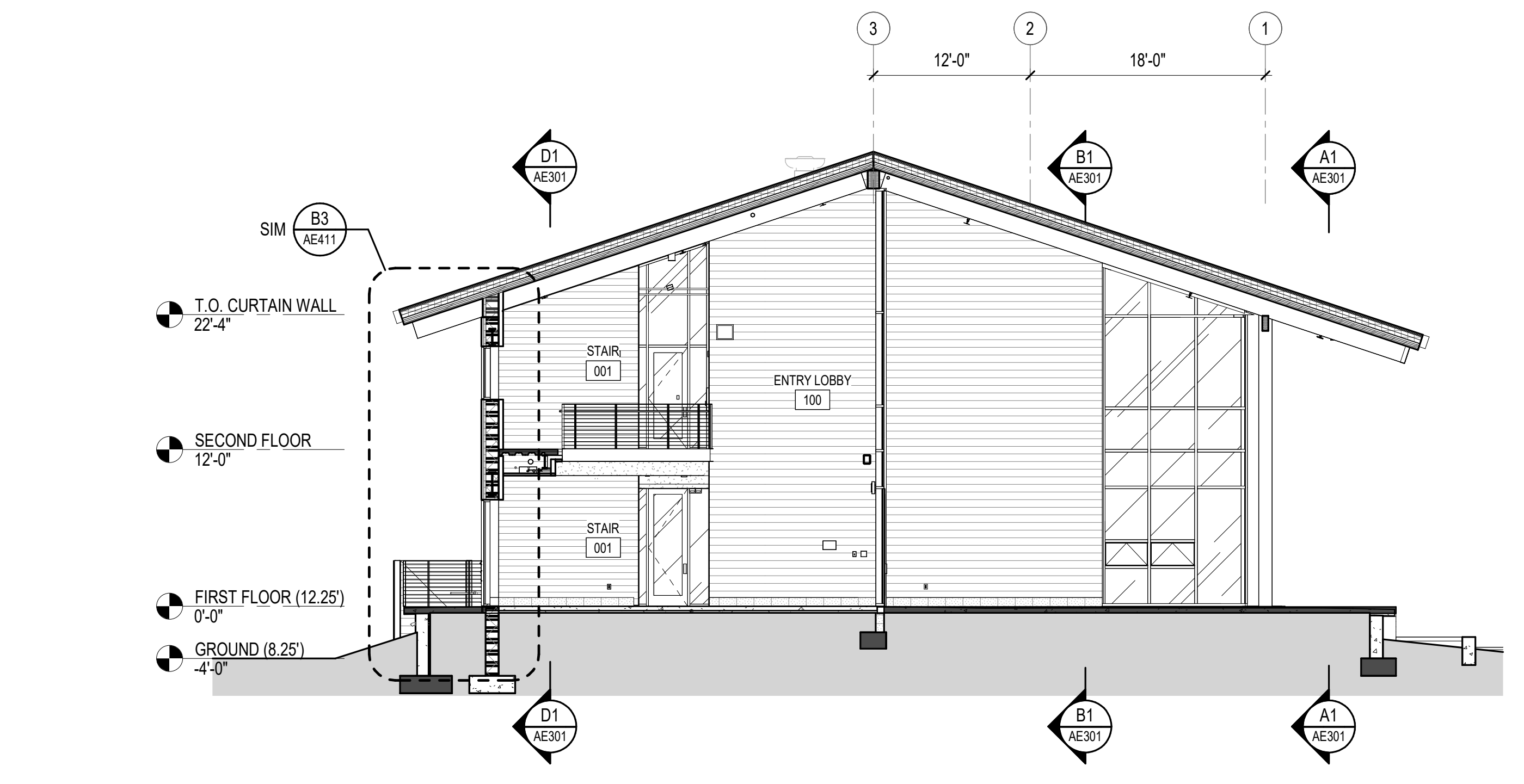
1. Including parking spaces, driveways, loading areas, parking isles, and other circulation areas and not including building area or any area which will remain completely undeveloped, calculate square footage of the VAA.	187,893.00 SQ. FT.
2. Required landscaping percentage.	12%
3. For required landscaping area, multiply line 1 by line 2.	22,547.16 SQ. FT.
4. Interior landscaping percentage.	50%
5. For the required landscaping in the interior of the VAA, multiply line 3 and line 4.	11,273.58 SQ. FT.
6. Existing landscaping area, if any, to be retained in and around the VAA.	---
7. Subtract line 3 from line 6. This is the landscape area required.	22,547.16 SQ. FT.
TOTAL LANDSCAPE AREA PROVIDED	130,500.00 SQ. FT.



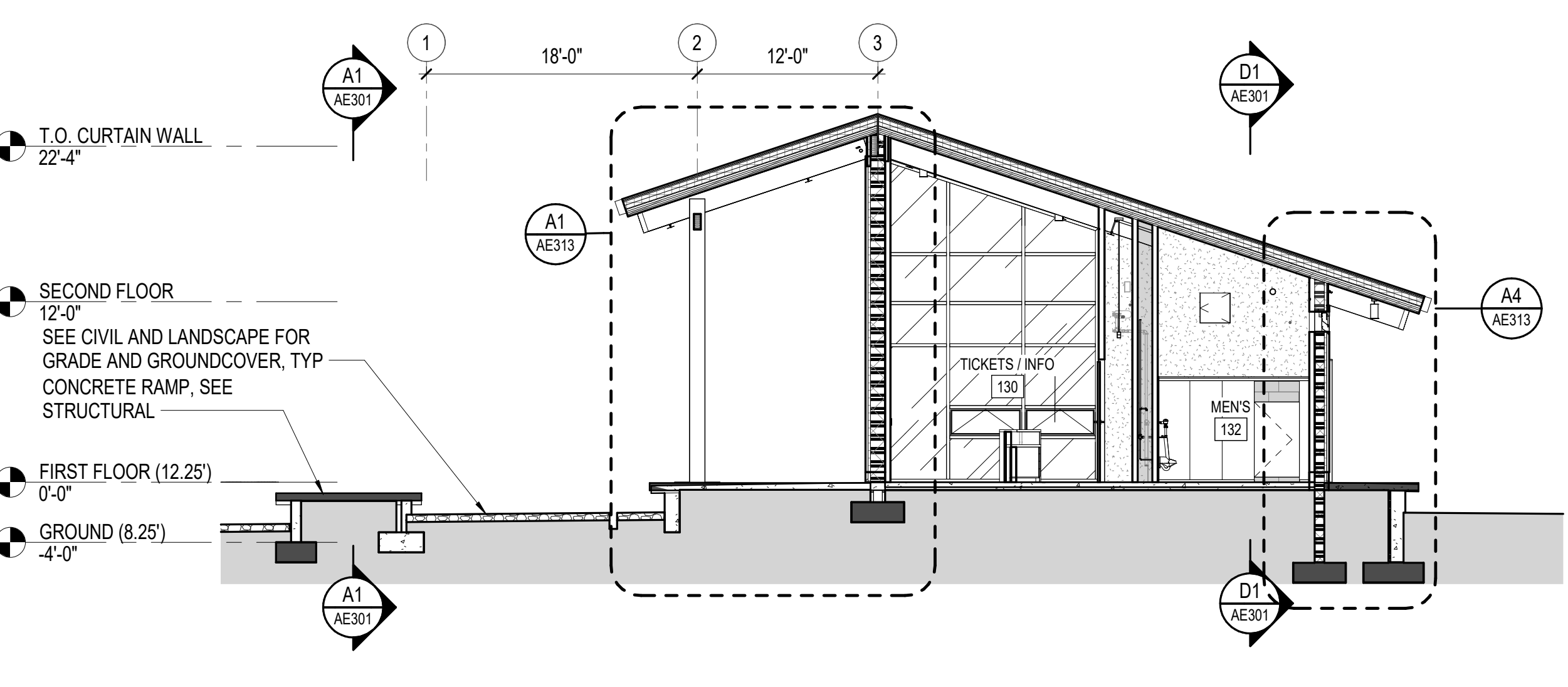


C1 NORTH / SOUTH BUILDING SECTION - MULTIPURPOSE ROOM
SCALE: 1/8" = 1'-0"

C3 NORTH / SOUTH BUILDING SECTION - MULTIPURPOSE ROOM
SCALE: 1/8" = 1'-0"



A1 NORTH / SOUTH BUILDING SECTION - ENTRY LOBBY
SCALE: 1/8" = 1'-0"



A3 NORTH / SOUTH BUILDING SECTION - TICKETING
SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. REFER TO SHEET A-001 FOR ARCHITECTURAL SYMBOLS LEGEND.
2. REFER TO SHEET AE620 FOR CURTAIN WALL AND DOOR ELEVATIONS. REFER TO SHEET AE623 FOR LOUVER ELEVATIONS.
3. REFER TO AND COORDINATE WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL FOR ADDITIONAL INFORMATION NOT SHOWN ON THIS DRAWING.
4. REFER TO AND COORDINATE WITH CIVIL AND LANDSCAPING DRAWINGS FOR ALL FINISHED GRADES.
5. HOLLOW METAL DOORS, FRAMES AND EXPOSED STEEL LINTELS TO BE PAINTED TO MATCH SIDING (COLOR TO BE SELECTED BY ARCHITECT).
6. ALL EXPOSED CMU IS GROUND FACE, UNLESS OTHERWISE NOTED.

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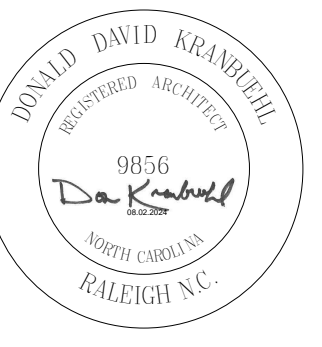
CN PROJ # : 10145
SCO ID # : 24-27956-01A
DESIGNER

CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27603
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

PROFESSIONAL SEAL



SUBMITTAL

JUNE 7, 2024

BID DOCUMENTS

REVISIONS

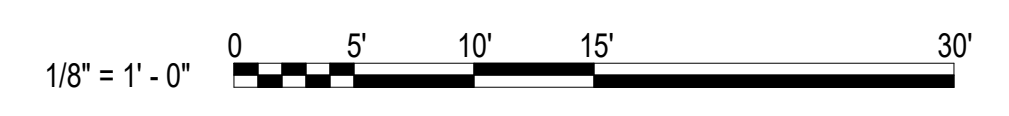
2 08.02.24 ADDENDUM 05

KEY PLAN

SHEET
BUILDING SECTIONS

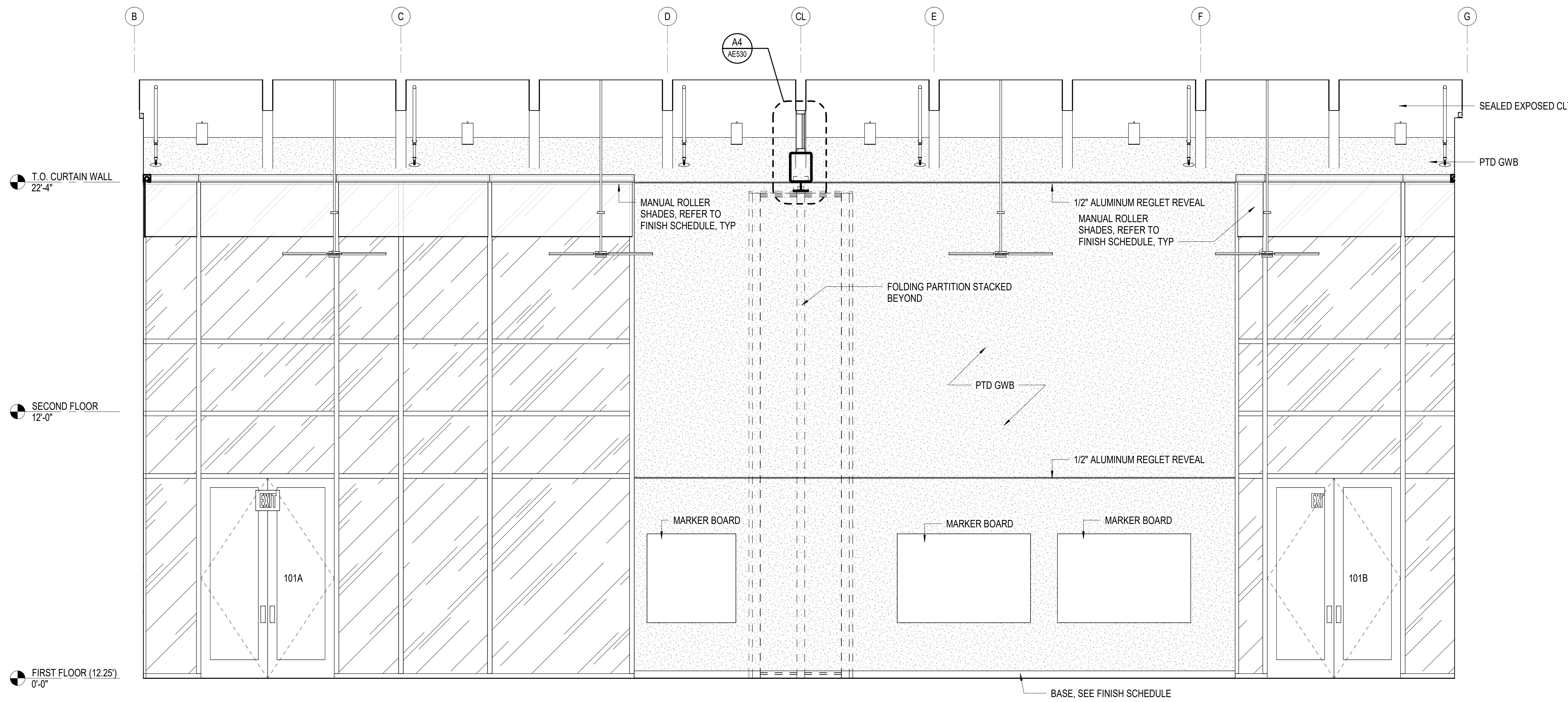
AE302

GRAPHIC SCALE(S)

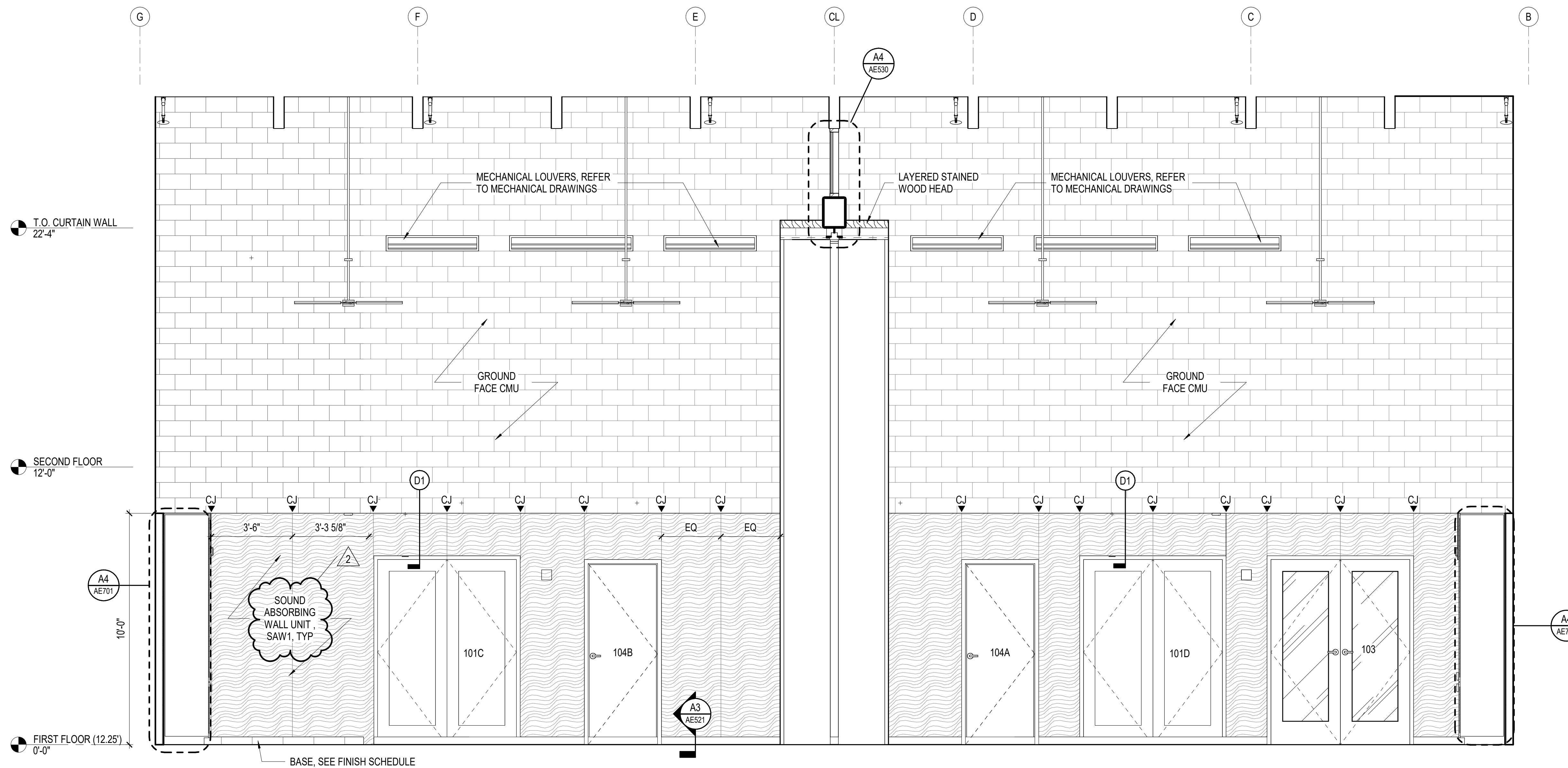


DESIGN: DDK
DRAWN: AST/WMP
REVIEW: DDK

CN 10145



D1 MULTIPURPOSE ROOM NORTH ELEVATION
SCALE: 3/8" = 1'-0"



A1 MULTIPURPOSE ROOM SOUTH ELEVATION
SCALE: 3/8" = 1'-0"

GENERAL NOTES

1. SEE SPECIFICATIONS FOR SPECIALTY MODELS & SHEET AE401 FOR TYPICAL MOUNTING HEIGHTS AND CLEARANCES.
2. ALL PARTITIONS ARE TYPE S4N UNLESS OTHERWISE NOTED. REFER TO SHEET AE501 FOR PARTITION TYPE DESCRIPTIONS.
3. REFER TO PLUMBING DRAWINGS FOR LOCATION OF HOSE BIBS.
4. REFER TO RCP SHEETS FOR ALL CEILING HEIGHT & MATERIAL DESIGNATIONS IN TOILET ROOMS.
5. GC TO PROVIDE & INSTALL ALL BLOCKING IN WALLS.
6. REFER TO AE521 FOR INTERIOR DETAILS.
7. REFER TO AE530 FOR CEILING DETAILS.
8. REFER TO IN601 FOR FINISH SCHEDULE AND FINISH LEGEND.

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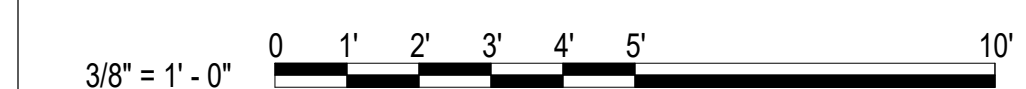
2 08.02.24 ADDENDUM 05

KEY PLAN

SHEET
INTERIOR ELEVATIONS

AE408

GRAPHIC SCALE(S)



DESIGN: Designer
DRAWN: Author
REVIEW: Checker

CN 10145

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CN PROJ # : 10145

SCO ID # : 24-27956-01A

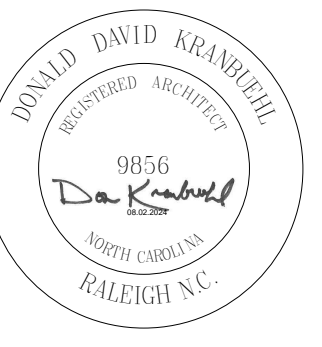
DESIGNER

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JUNE 7, 2024

BID DOCUMENTS

REVISIONS

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KEY PLAN

SHEET

**CASEWORK PLANS, SECTIONS
AND DETAILS**

AE701

DESIGN: DDK
DRAWN: AST/WMP
REVIEW: DDK

CN 10145

1 2 3 4 5 6

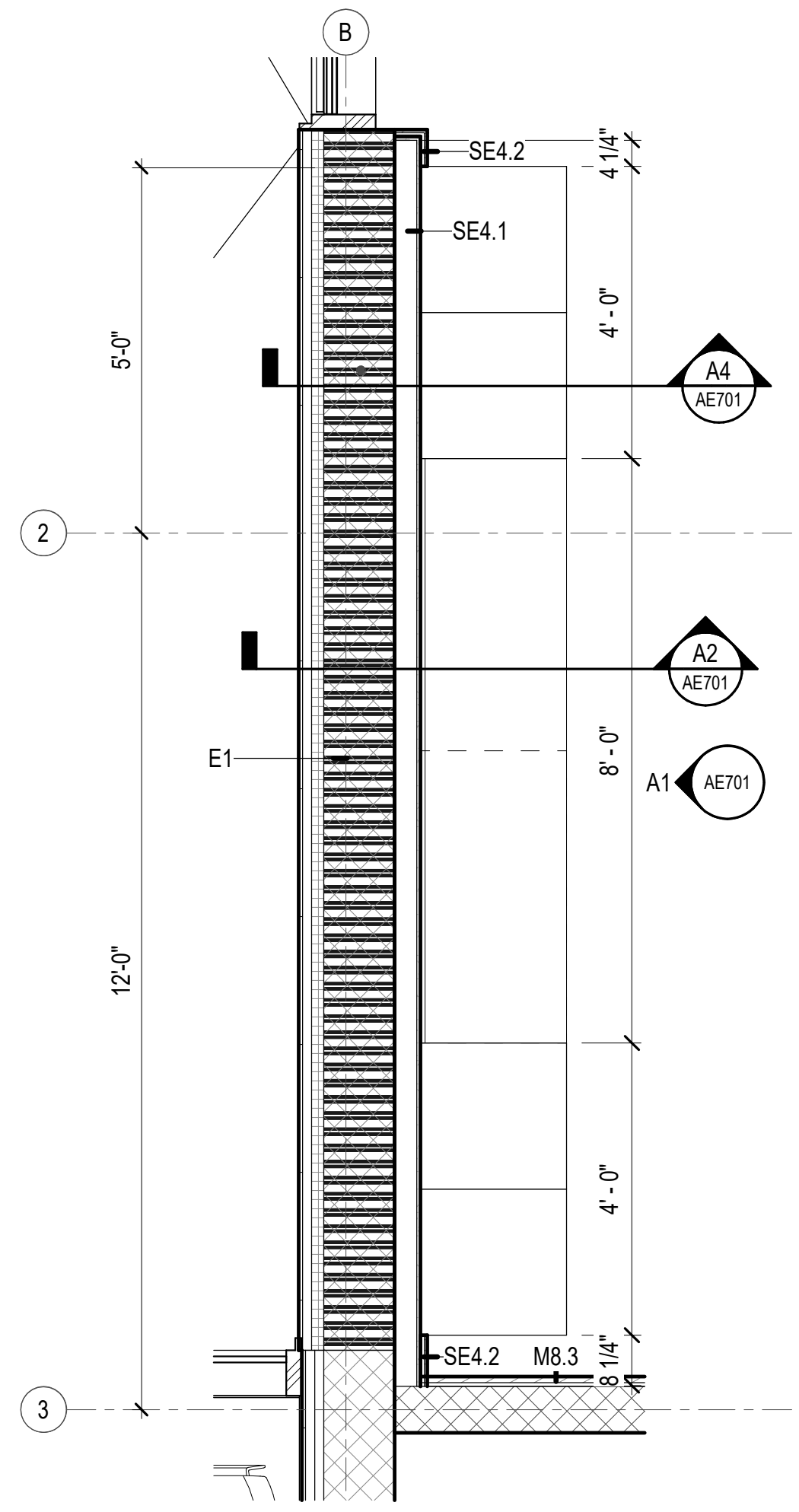
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D

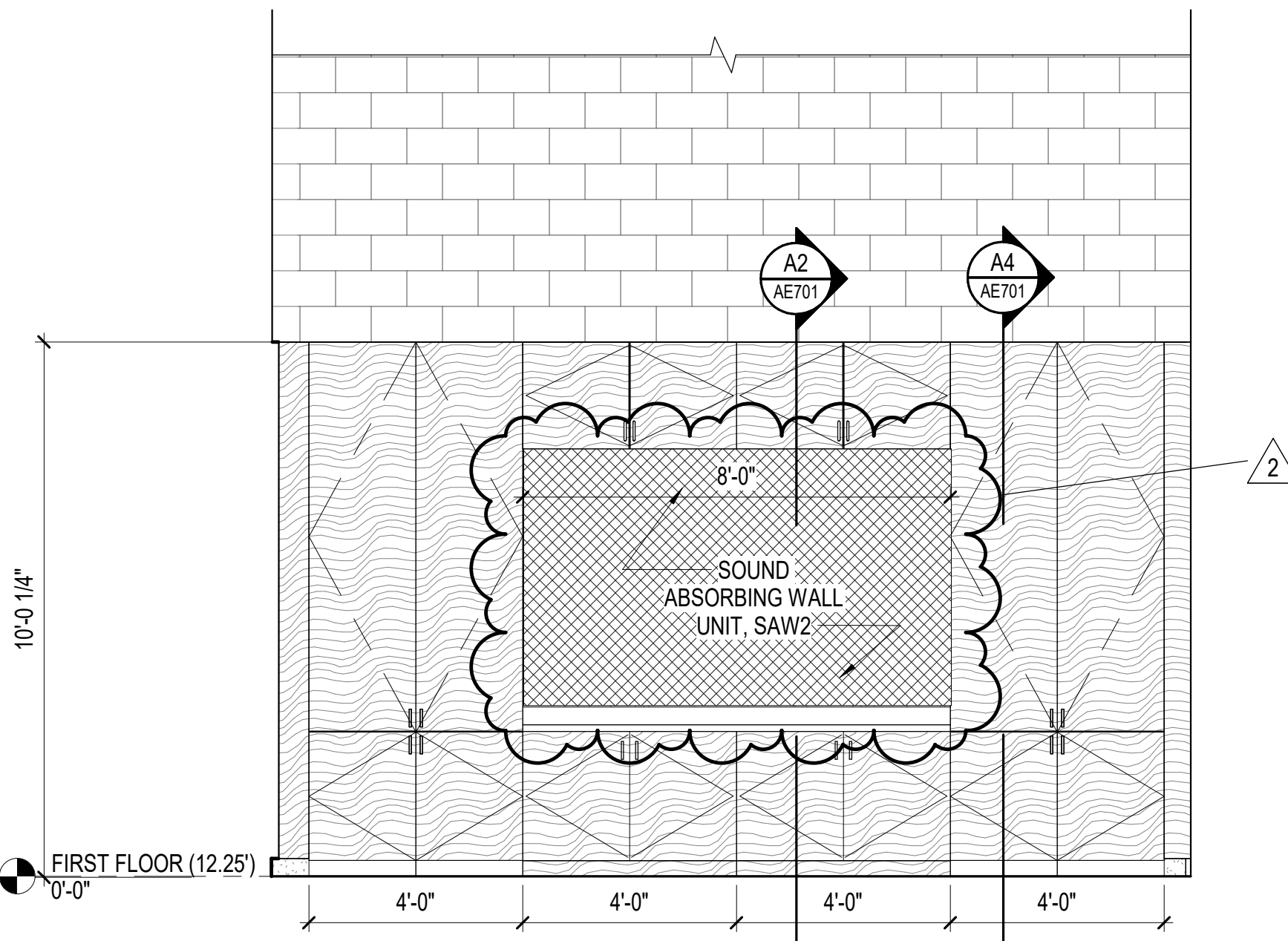
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B

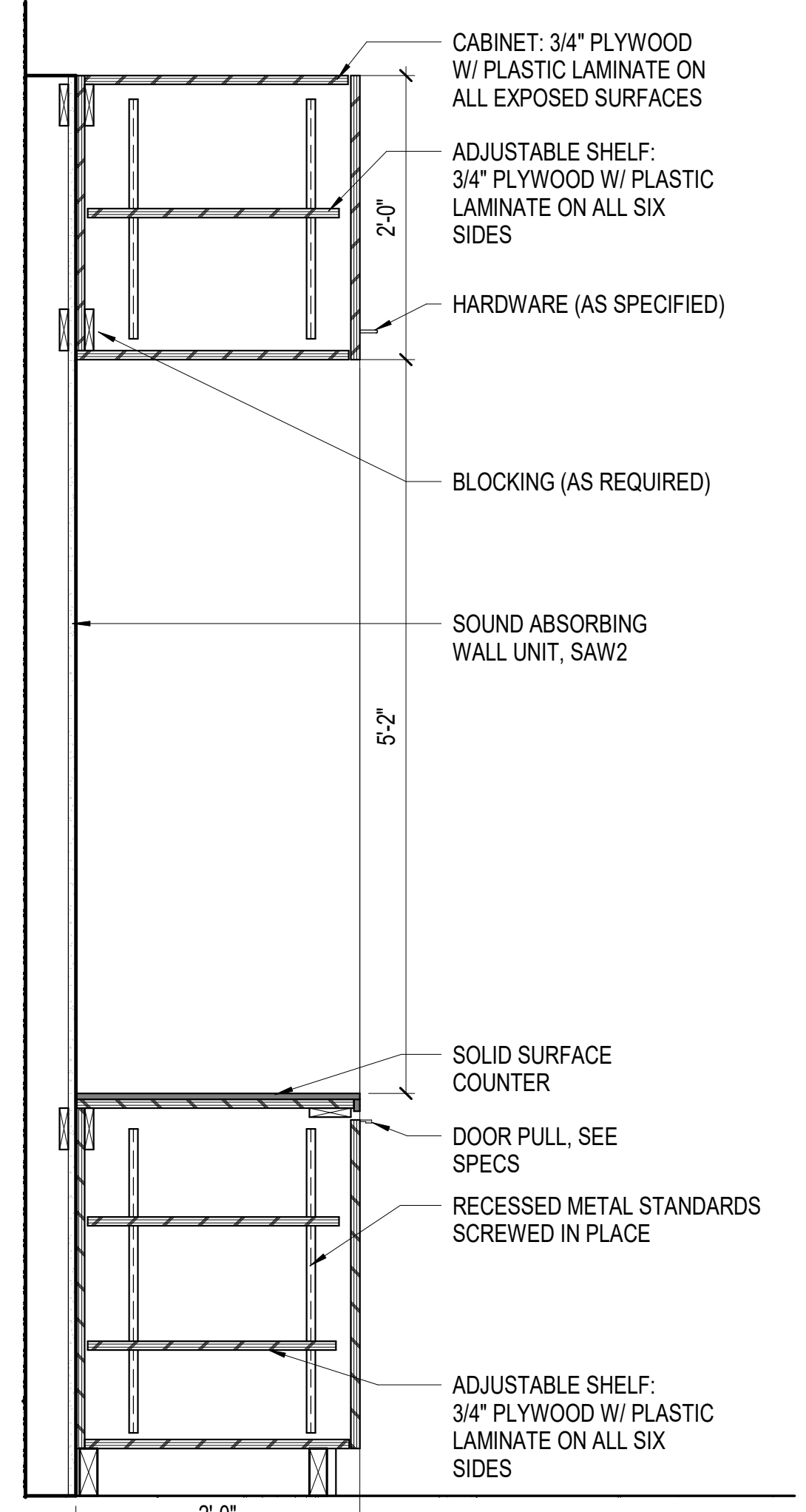
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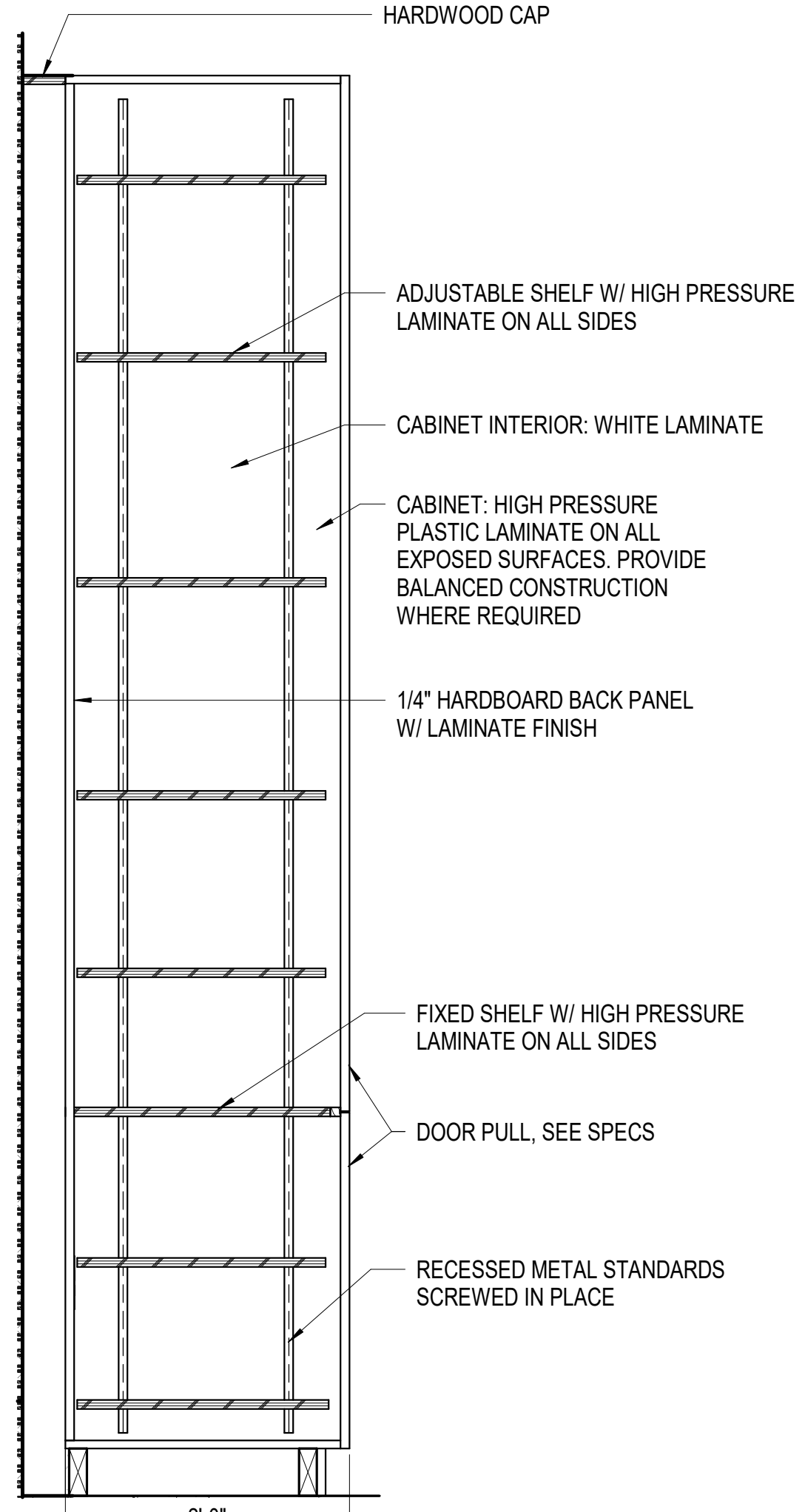
B1 MULTI-PURPOSE CLASSROOM CASEWORK
1/2" = 1'-0"



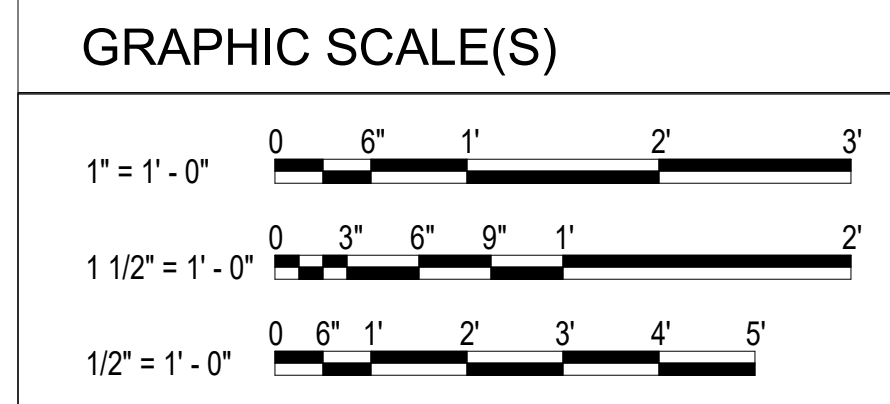
A1 101 WEST
3/8" = 1'-0"



A2 CASEWORK SECTION DETAIL
SCALE: 1" = 1'-0"

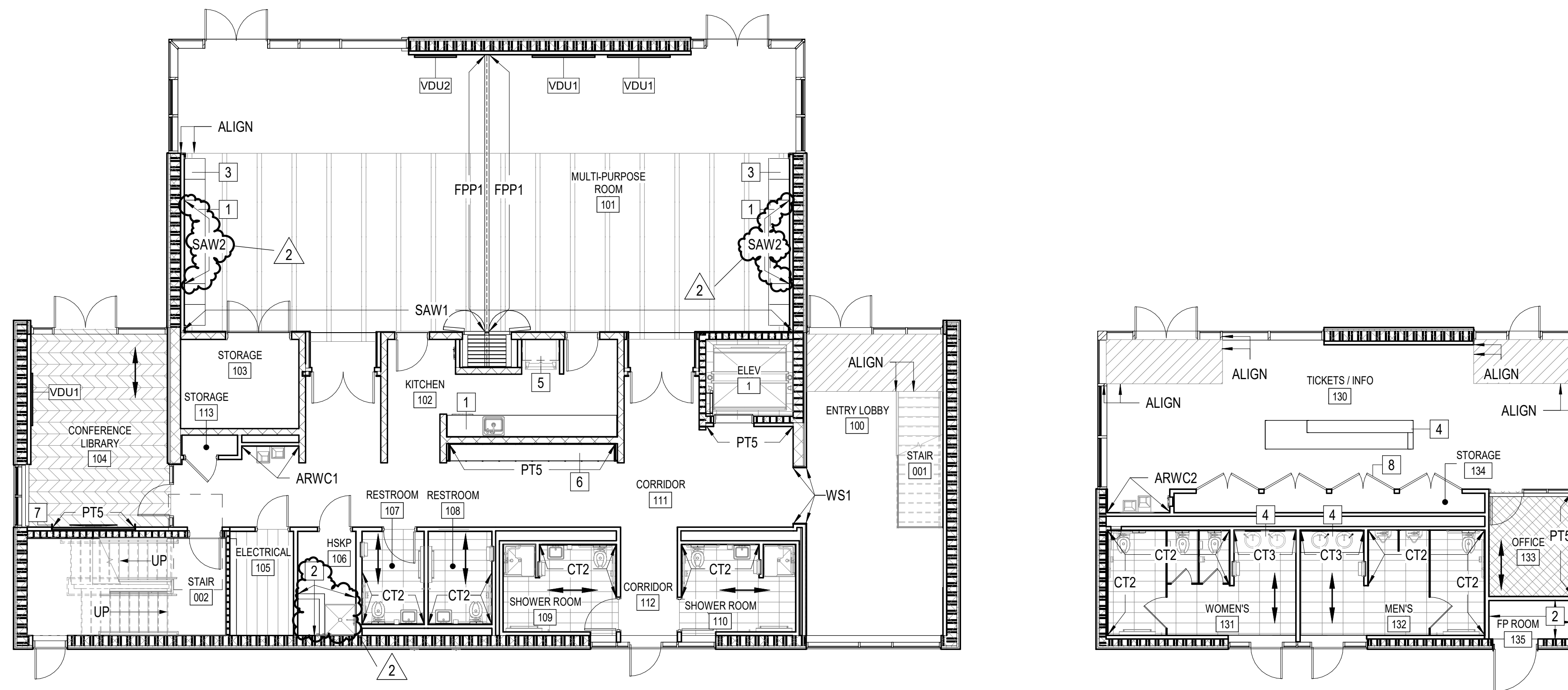


A4 CASEWORK SECTION DETAIL
SCALE: 1" = 1'-0"



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910



FIRST FLOOR FINISH PLAN
SCALE: 1/8" = 1'-0"

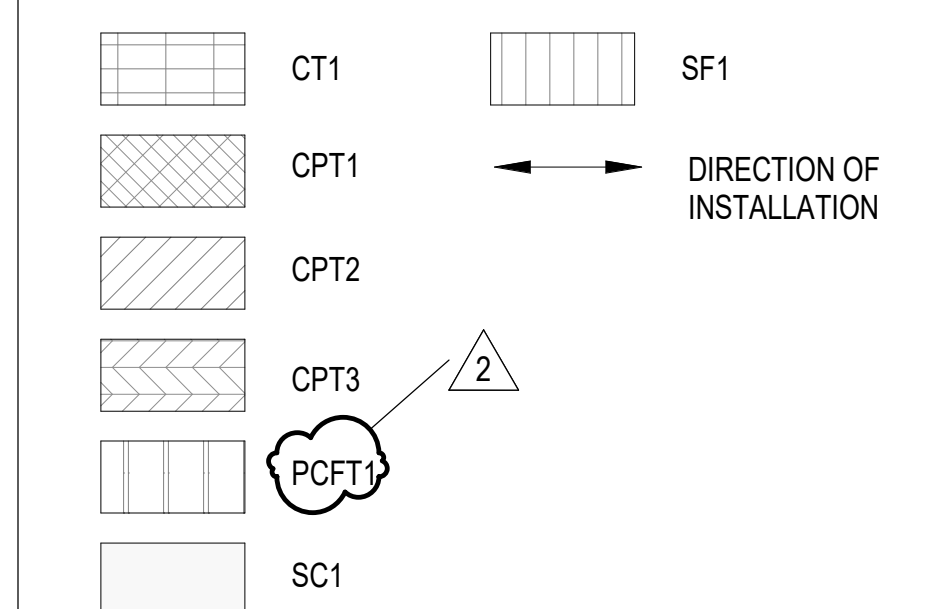
GENERAL NOTES

- A. SEE FINISH SCHEDULE AND LEGEND FOR GENERAL FINISH NOTES, AND FINISH REMARKS.
- B. SEE INTERIOR ELEVATIONS FOR MORE INFORMATION AND FINISH LOCATIONS.

KEY NOTES

- 1 SOLID SURFACE COUNTERTOP WITH PLASTIC LAMINATE BASE CABINETS.
- 2 ABUSE-RESISTANT WALL COVERING.
- 3 PLASTIC LAMINATE CASEWORK.
- 4 SOLID SURFACE COUNTERTOP WITH PLASTIC LAMINATE CASEWORK.
- 5 PLASTIC LAMINATE WALL CABINET.
- 6 STORAGE CUBBIES LK1.
- 7 STAINED WOOD.
- 8 CLOSET DOORS TO RECEIVE PAINT PT.1.

FLOOR FINISH LEGEND



GRAPHIC SCALE(S)



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CLARK NEXSEN LICENSE NUMBER C-1028

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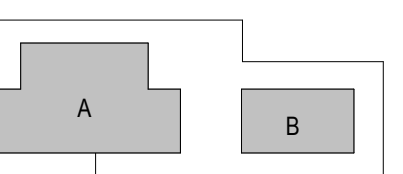
JUNE 7, 2024

BID DOCUMENTS

REVISIONS

2 08.02.24 ADDENDUM 05

KEY PLAN



SHEET

FIRST FLOOR FINISH PLAN

IN101

DESIGN: MDG
DRAWN: MDG/REV
REVIEW: MET

CN 10145

SECTION 012300 - ALTERNATES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements for alternates.

1.3 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to or deducted from the base bid amount if the Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
 - 2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternates into the Work. No other adjustments are made to the Contract Sum.

1.4 PROCEDURES

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include, as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation, whether or not indicated as part of alternate.
- B. Execute accepted alternates under the same conditions as other Work of the Contract.
- C. Schedule: A Part 3 "Schedule of Alternates" Article is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALTERNATES

A. Alternate No. 1: PV Panel System

1. Base Bid: No PV panel system. GDS, inverter, and lights with integral batteries.
2. Alternate: PV Panel system as indicated on Drawing AE121 and as specified in Section "PHOTOVOLTAIC COLLECTORS (ADD ALTERNATE NO. 1, NO. 2 & NO. 2A)" specification 263100.

B. Alternate No. 2: PV + 90-MINUTE BATTERY BACKUP FOR PANEL "INV"
(ALTERNATE NO. 2)

1. Base Bid: No PV Panel. GDS, inverter, and lights with integral batteries.
2. Alternate: Integrated Battery system that stores solar energy for back up protection as shown on electrical drawings and specified in section "PHOTOVOLTAIC COLLECTORS (ADD ALTERNATE NO. 1, NO. 2 & NO. 2A)" specification 263100

C. Alternate No. 2A: PV + 90-MINUTE BATTERY BACKUP FOR PANEL "MPD"
(ALTERNATE NO. 2A)

1. Base Bid: No PV Panel. GDS, inverter, and lights with integral batteries.
2. Alternate: Integrated Battery system that stores solar energy for back up protection as shown on electrical drawings and specified in section "PHOTOVOLTAIC COLLECTORS (ADD ALTERNATE NO. 1, NO. 2 & NO. 2A)" specification 263100

D. Alternate No. 3: Concrete Benches

1. Base Bid: No concrete benches along Great Lawn
2. Alternate: Reinforced Concrete benches as shown on drawings L3.01 and L3.02 and L4.00.

E. Alternate No. 4: Cedar Wood Siding

1. Base Bid: Fiber Cement Painted Siding.
2. Alternate: 8" Cedar wood siding planks sealed as shown on drawings and specified in "Exterior Finish Carpentry" 062013.

F. Alternate No. 5: Not Used

G. Alternate No. 6: Add grading in the area North of West Beaufort Road Extension

1. Base Bid: Grading to remain as is.
2. Alternate: Add grading to the north side of West Beaufort Road Extension as shown on the civil plans.

- H. Alternate No. 7: Add Grading Beyond Fire Access Road & Overflow Parking to the West
1. Base Bid: No grading to occur past the fire access road/overflow parking on the west side of the site.
 2. Alternate: Grading beyond what is required as noted on the civil drawings in support of the fire access road and overflow parking to the west.
- I. Alternate No. 8: Add sf of enhanced landscape.
1. Base Bid: No landscaping within area unless required in area north of the new road and east of Bonehenge.
 2. Alternate: Add 23,296 sf of enhanced landscape in area north of the new road and east of Bonehenge.
- J. Alternate No. 9: Curb Alternate
1. Base bid: Standard curb as shown on landscape drawings.
 2. Alternate: Add river rock and steel edging details in lieu of standard curb.
- K. Alternate No. 10: Pervious Concrete vs pervious pavers
1. Base Bid: Pervious Concrete as shown on landscape plans.
 2. Alternate: Add pervious pavers in lieu of pervious concrete.
- L. Alternate No. 11: Operable partition
1. Base Bid: No operable partition, storefront or structural beam.
 2. Alternate: Provide operable partition, structural beam and storefront.
- M. Alternate No. 12: Add Gravel at the Overflow Parking Lot in the area North of West Beaufort Road Extension
1. Base Bid: Fine grading at 1 overflow lot.
 2. Alternate: Add gravel at 1 overflow lot.
- N. Alternate No. 13: Add Gravel at the Overflow Parking Lot in the area South of West Beaufort Road Extension and to the West
1. Base Bid: Fine grading at 1 overflow lot.
 2. Alternate: Add gravel at 1 overflow lot.

END OF SECTION 012300

SECTION 098433 - SOUND-ABSORBING WALL UNITS

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general conditions of the contract, including general and supplementary conditions and division 1 specification sections, apply to the work of this section.

1.2 SUMMARY

- A. Section includes:
 - 1. Sound-absorptive panels (SAW1 & SAW2)
- B. Related Sections:
 - 1. Section 092116.23 – Gypsum Board Shaft Wall Assemblies

1.3 SUBMITTALS

- A. Product Data: Manufacturer's technical data and installation instructions for each type of wall panel, panel edge, core material, and mounting indicated.
- B. Certifications: Certified test reports showing compliance with performance requirements specified.
- C. Samples:
 - 1. Submit a minimum of three (3) samples of each panel type and finish type required. Include samples that show the range of variation expected in grain, texture and color.
 - 2. Mounting Devices: Full-size Samples.
 - 3. Assembled Panels: Approximately 36 by 36 inches, including joints and mounting methods.
- D. Shop Drawings: Submit shop drawings, including details, for all surfaces. Coordinate wall panel layout, installation, and suspension system components. Show overall layout with dimensions and details of penetrations and intersections with other materials or building components.
 - 1. Include plans, elevations, sections, and mounting devices and details.
 - 2. Include details at panel head, base, joints, and corners; and details at ceiling, floor base, and wall intersections. Indicate panel edge profile and core materials.
 - 3. Include details at cutouts and penetrations for other work.
 - 4. Include direction of fabric weave and pattern matching.

- E. Submit operation and maintenance data for installed products. Include precautions relating to harmful cleaning materials and methods that would affect the service life of the panels.

1.4 INFORMATIONAL SUBMITTALS

- A. Coordination Drawings: Elevations and other details, drawn to scale, on which the following items are shown and coordinated with each other, using input from installers of the items involved:
 - 1. Electrical outlets, switches, and thermostats.
 - a. Lighting fixtures.
 - b. Air outlets and inlets.
 - c. Speakers.
 - d. Alarms.
 - e. Sprinklers.
 - f. Access panels.
 - 2. Show operation of hinged and sliding components covered by or adjacent to units.

1.5 MAINTENANCE MATERIAL SUBMITTALS

- A. Furnish extra materials from same production run that match products installed and that are packaged with protective covering for storage and identified with labels describing contents.
 - 1. Sound absorbing wall panels: For each finish installed, provide length equal to 5 percent of amount installed.
 - 2. Mounting Devices: Full-size units equal to 5 percent of amount installed, but no fewer than two devices, including unopened adhesives.

1.6 QUALITY ASSURANCE

- A. Single Source Responsibility: Provide acoustic panels from a single manufacturer with at least 5 years of prior experience fabricating projects of similar size and complexity.
- B. Installer: Installation shall be done by qualified carpenters with at least 2 year's experience in the installation of architectural woodwork or acoustical systems. Installers must receive training on handling, cutting, machining and field finishing the specified product prior to receiving materials on site.
- C. Fire Performance Characteristics: Class A as tested by an independent accredited testing facility. Tests: ASTM E84. Flame spread: 25 or less. Smoke developed: 450 or less as specified by state or local codes.

- D. Coordination of Work: Installing contractor shall organize and conduct a pre-installation survey of temperature, humidity and construction elements attaching, penetrating or concealed behind the acoustic wall panels.
- E. Mockups: Build mockups to verify selections made under Sample submittals, to demonstrate aesthetic effects, and to set quality standards for materials, fabrication, and installation.
 - 1. Build mockup of typical wall area 48 inches wide by full height. Include intersection of wall and ceiling, corners, and perimeters.
 - 2. Approval of mockups does not constitute approval of deviations from the Contract Documents contained in mockups unless Architect specifically approves such deviations in writing.
 - 3. Subject to compliance with requirements, approved mockups may become part of the completed Work if undisturbed at time of Final Acceptance.

1.7 REFERENCES

- 1. ASTM C423 Sound absorption and sound absorption coefficients by the reverberation room method performed by an independent testing agency.
- 2. ASTM E84 Standard test method for surface burning characteristics of building materials.
- 3. ASTM D1037 Linear expansion with change in moisture content.
- 4. Standard Method Version 1.2 for CDPH01350 Volatile organic compounds.

1.8 DELIVERY, STORAGE AND HANDLING

- A. Deliver panels to the project in original, unopened packages. Inspect containers for visible damage and report any questionable condition to the shipper and manufacturer immediately.
- B. Store products in a fully enclosed, clean, dry space out of direct sunlight and protected from damage with temperature controlled between 50 and 86 degrees F.
- C. Handle products carefully to avoid damaging panel surfaces or chipping edges. Report any damage immediately. The installation of damaged panels is not covered by the manufacturer's warranty.

1.9 PROJECT CONDITIONS

- A. Do not install acoustic panels until space is enclosed and weather-proofed, wet work is completely dry and ambient temperature and humidity conditions are maintained at the levels indicated for the project when occupied for its intended use.
- B. Permit panels to reach room temperature, 50 to 86 degrees F, and stabilized moisture content of 25% to 55% RH for at least 72 hours before installation per AWI standards. Building should be enclosed and HVAC systems functioning in continuous operation with relative humidity maintained between 25 and 55 percent.

- C. Lighting: Do not install units until a permanent level of lighting is provided on surfaces to receive the units.
- D. Air-Quality Limitations: Protect units from exposure to airborne odors, such as tobacco smoke, and install units under conditions free from odor contamination of ambient air.
- E. Field Measurements: Verify unit locations and actual dimensions of openings and penetrations by field measurements before fabrication and indicate them on Shop Drawings.

1.10 WARRANTY

- A. Provide manufacturer's standard one-year written product warranty per Section 01770 – Closeout Procedures
- B. Special Warranty: Manufacturer agrees to repair or replace units and components that fail in materials or workmanship within specified warranty period.
 - 1. Failures include, but are not limited to the following:
 - a. Acoustical performance.
 - b. Fabric sagging, distorting, or releasing from panel edge.
 - c. Warping of core.
 - 2. Warranty Period: One year from date of Final Acceptance.

1.11 MAINTENANCE

- A. Maintenance Instructions: Provide manufacturer's standard maintenance and cleaning instructions for finishes provided.

PART 2 - PRODUCTS

- A. SOUND-ABSORBING WALL PANEL (SAW1):
- B. Manufacturers: Provide products indicated on the drawings, or approved equal:
 - 1. Soundply by Navy Island
 - 2. Certainteed
 - 3. Armstrong World Industries
 - 4. ASI
 - a. Requests for substitutions for an approved equal will be considered in accordance with provisions of Section 016000 "Product Requirements" and Section 012500 "Substitution Procedures."

- C. Acoustical Panels: Real wood veneer laminated to a fiberglass reinforced polymer or a UV printed/painted surface applied to an MDF skin. Surface skin thickness shall not be less than 1.5mm (0.060"). The core of the panels shall be comprised of a Class A sintered resin-reinforced glass wool.
- D. Panel Edge Treatment: Panels will be edge banded with the matching materials and finish, to match with the panel face.
- E. Reveal Options:
 - 1. Closed: As indicated on drawings.
- F. Panel Weight: 1.8 lbs.
- G. Panel Sizes: As indicated in drawings.
- H. Panel Thickness: As indicated in drawings.
- I. Flame Resistance: Class 1(A) rating based on ASTM E84 standard test method for surface burning characteristics in building materials. Depending on the use and the type of veneer selected, Latus Panels can be used in Class A environments (IBC Chapter 8 Section 803)
- J. Perforations: Panels will be furnished with perforated faces consisting of 0.5mm (0.02") diameter holes in an offset pattern. The perforations must be clean without rounded edges or grain pull out between perforations. A minimum of 99.5% of the perforations must be acoustically functional, providing unobstructed passage into the core. Perforations must maintain consistent diameter through the face material and backer with no tapering or roughness.
- K. Acoustic Performance: To generate the standing sound waves required for resistive absorption, each panel must have an acoustically reflective back surface that extends the panel's full length and width. Each panel must achieve a minimum NRC test value as stated without any cavity space or back loading: Select:
 - 1. .80 NRC
- L. Panel Stability: Linear contraction or expansion to not exceed 0.4% maximum variation in width or height per ASTM D1037.
- M. VOC Emissions: Panels must be third party certified to be in compliance with CDPH01350 for volatile organic compounds.
- N. Finish for Veneer Faced Panels:
 - 1. Species: as indicated on drawings.
 - 2. Cut: plain sliced.
 - 3. Matching veneer leaves: slip matching.
 - 4. Matching between panels: end matched.
 - 5. Finish: as indicated on drawings.

- O. SOUND-ABSORBING WALL PANEL (SAW2):
- P. Manufacturers: Provide products indicated on the drawings, or approved equal:
 - 1. Acuofelt
 - 2. Kirei
 - 3. Turf
 - 4. Frasch
- a. Requests for substitutions for an approved equal will be considered in accordance with provisions of Section 016000 "Product Requirements" and Section 012500 "Substitution Procedures."
- Q. Acoustical Panels: Polyester Felt.
- R. Panel Weight: 24mm, 0.98 lb./ft² (±10%)
- S. Panel Sizes: As indicated in drawings.
- T. Panel Thickness: As indicated in drawings.
- U. Flame Resistance: Class 1(A) rating based on ASTM E84 standard test method for surface burning characteristics in building materials. Depending on the use and the type of veneer selected, Latus Panels can be used in Class A environments (IBC Chapter 8 Section 803)
- V. Acoustic Performance: 0.60 NRC
- W. Finish for Veneer Faced Panels: As indicated on drawings.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Inspect installation area and conditions under which work is to be performed for compliance with all manufacturer's environmental requirements. All wet work in the installation area must be complete, cured and dry prior to installation. Do not proceed until all unsatisfactory conditions have been corrected.

3.2 INSTALLATION

- A. Installation must be done by qualified carpenters with 2 years experience in the installation of architectural woodwork or acoustic systems. The firm must demonstrate successful experience installing materials of similar type and quality of those required for this project. The use of proper carpentry tools and techniques will be required for the installation.

- B. Comply with manufacturer's instruction and recommendations for hanging panels.
- C. Confirm all field dimensions are coordinated with shop drawings.

3.3 INSTALLATION TOLERANCES

- A. Variation from Plumb and Level: Plus or minus 1/16 inch in 48 inches, noncumulative.
- B. Variation of Joint Width: Not more than 1/16-inch variation from reveal line in 48 inches, noncumulative.

3.4 ADJUSTING AND CLEANING

- A. Clean soiled surfaces of panels per manufacturer's instructions.
- B. Remove and replace damaged or discolored materials not in compliance with manufacturer's tolerances.
- C. Cover and protect panels from damage until project completion.

END OF SECTION 098433

SECTION 321723 - PAVEMENT MARKINGS

PART 1 - GENERAL

1.1 SUMMARY

A. Section Includes:

1. Painted markings applied to asphalt paving.
2. Painted markings applied to concrete surfaces.

1.2 ACTION SUBMITTALS

A. Product Data:

1. Pavement-marking paint, solvent-borne.
2. Pavement-marking paint, acrylic.
3. Pavement-marking paint, latex.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

2.2 PERFORMANCE REQUIREMENTS

- ##### A. Accessibility Standard: Comply with applicable provisions in the USDOJ's "2010 ADA Standards for Accessible Design".

2.3 PAVEMENT-MARKING PAINT

A. Pavement-Marking Paint, Solvent-Borne: MPI #32, solvent-borne traffic-marking paint.

1. Color: White .

B. Pavement-Marking Paint, Acrylic: Acrylic, waterborne emulsion, lead and chromate free, ready mixed, complying with FS TT-P-1952F, Type II, with drying time of less than three minutes.

1. Color: White.

C. Pavement-Marking Paint, Latex: MPI #97, latex traffic-marking paint.

1. Color: White.

PART 3 - EXECUTION

3.1 PAVEMENT MARKING

- A. Do not apply pavement-marking paint until layout, colors, and placement have been verified with Architect.
- B. Allow asphalt paving or concrete surfaces to age for a minimum of 30 days before starting pavement marking.
- C. Sweep and clean surface to eliminate loose material and dust.
- D. Apply paint with mechanical equipment to produce pavement markings, of dimensions indicated, with uniform, straight edges. Apply at manufacturer's recommended rates to provide a minimum wet film thickness of 15 mils (0.4 mm).

END OF SECTION 321723