

# Bid Addendum 07



**CLARK NEXSEN**  
421 N. Harrington Street, Suite 600  
Raleigh, NC 27603  
Phone: 919-828-1876

**Project:** Maritime Museum Education Center,  
Beaufort, NC – Construction Phase Services

**Date:** August 16, 2024

**SCO#:** 24-27956-01A

**Prepared by:** Allan Kram, AIA

**CN #:** 10145-01

*This ADDENDUM is to be a part of the contract documents and modifies and takes precedence over the original bid documents, as noted below and in any attached documents. Original items of the plans and specifications that have been modified, amended, voided, or suspended through previous addendums, shall remain in effect. It is the responsibility of the Bidder to notify and/or distribute this ADDENDUM to those sub-bidders who have received prints or digital files. The Bidder is to acknowledge receipt of this ADDENDUM in the space provided on the Bid Form.*

## **DRAWING MODIFICATIONS**

1. Sheets C0.00, C2.00, C2.01, C2.02, C2.03, C2.04, C4.01, C4.02, C4.03, C5.01, C5.02, and C5.03
  - a. REPLACE sheets in their entirety:
    - i. Revised fire lane alignment along waterfront.
    - ii. Added culvert under main entrance driveway.
    - iii. Removed wetland impact at western end of northern parking lot.
    - iv. Revised base bid sheets to call out concrete ribbon curb instead of river rock edging (Add Alternate 9).
2. Sheets C1.00, C1.01, C1.03, and C1.04
  - a. REPLACE sheets in their entirety:
    - i. Revised fire lane alignment along waterfront.
    - ii. An existing culvert has been indicated.
    - iii. A culvert to be removed has been indicated.
    - iv. A culvert under main entrance driveway has been added.
3. Sheets C3.01, C3.02, C7.00, and C7.01
  - a. REPLACE sheets in their entirety:
    - i. Added 3/4" irrigation service and updated the public utility easement.
    - ii. Revised fire lane alignment along waterfront.
    - iii. Added culvert under main entrance driveway.
    - iv. Removed wetland impact at western end of northern parking lot.
4. Sheet C6.01
  - a. REPLACE sheet in its entirety: A rip rap dissipator detail was added.
5. Sheet C9.00
  - a. REPLACE sheet in its entirety:
    - i. An asphalt pavement detail has been updated.
    - ii. A heavy-duty concrete paving detail for fire lane has been added.
6. Sheet L3.00, L3.01, and L7.00
  - a. REPLACE sheet in their entirety: Fire Access Road has been revised.

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7. Sheet AE514
  - a. REPLACE sheet in its entirety: A note has been modified.

## PROJECT MANUAL MODIFICATIONS

1. Refer to Specification Section 102239 - Folding Partitions
  - a. REPLACE Section in its entirety.
2. Refer to Specification Section 113034 - Ceiling Fan
  - a. ADD Section in its entirety.

## GENERAL

1. As a reminder: This is the final Addendum.
2. As a reminder: Sealed bids are to be delivered to the North Carolina Maritime Museum in Beaufort, NC in the office of Charles Oliver at **315 Front St., Beaufort, NC** up to **3:00 p.m.** on **August 26, 2024**.

## REQUEST FOR SUBSTITUTION

1. A request was made for substitution of the metal roof panel system with Construction Metal Products metal roof panel.
  - a. **RESPONSE:** This request is accepted.
2. A request was made for substitution of the folding partition with Kwik-Wall.
  - a. **RESPONSE:** This request is accepted.
3. A request was made for substitution of the elevator with Schumacher Elevator.
  - a. **RESPONSE:** This request is rejected.



# Bid Addendum 07



## QUESTIONS AND ANSWERS

1. Suggest a longer project duration of 120 additional days due to the amount of grading, site location, dewatering, and potential material delays. We are a local coastal Contractor and know the challenges that this region creates.
  - The Terracon report alone requires no building slab work for at least 30 days, after fill placement, due to the amount of settling that will take place from 6'-8' of fill needed.
  - Here are some long lead material issues which are critical to the project.
    - a. Electrical is a big unknown at this point, as those subcontractors are usually the last to submit their bids to General Contractors and remain silent. With this said, we have seen many delays on recent projects with breakers, panels, certain fixtures, etc. 2 projects we are currently doing in Wilson, carried a 6-8-month lead time on electrical panels.
    - b. Polished block specified carries a 5-month lead time, after approved submittals, per two masonry subs we use regularly.
    - c. Laminated timber/ beams/ CLT carries a 6-7-month lead time after approved shop drawings, per a turnkey vendor I talked to.
  - a. RESPONSE: No extension to the construction schedule is granted.
2. **QUESTION:** I suggest softening liquidated damages to \$500 per day as this is the norm on most projects that we are seeing and bidding. This may also help lower the overall project cost with how Contractors may view this project, to account for the higher \$1K liquidated damages.
  - a. RESPONSE: No reduction to liquidated damages is granted.
3. **QUESTION:** Would the consideration of the bid opening being held on a Tuesday, Wednesday, or Thursday be possible? I know it's been changed already, but just thought I would ask as typical bid dates are held from Tuesday – Thursday's.
  - a. RESPONSE: No change to the bid opening date is granted.
4. **QUESTION:** What are trees that are not called out on the "Type B buffer yard plant schedule"? Are they existing or are we required to plant them?
  - a. RESPONSE: All required trees for Type B Buffer Yard planting are called out in the Type B Buffer Yard Plant Schedule. Any tree locations that fall outside of the Buffer zone should refer to the larger plant schedule for "Trees." Please note that tree symbols shown with a dashed circle denote existing, while trees with a continuous circle symbol denote proposed.

## Bid Addendum 07



5. **QUESTION:** Spacing of the plants on the Legends for “wetland transition, Garden plants and Coastal Landscape” areas. It gives percentages, but does not give overall quantity or spacing.
  - a. **RESPONSE:** These areas are to be seeded with mixes that include the noted species according to the percentage of mix quantities listed in the planting schedule. Quantities of species in each mix to be calculated by Contractor by applying the listed percentages to the total surface area of each zone.
6. **QUESTION:** Is irrigation required? If so, what is the water source?
  - a. **RESPONSE:** Yes, irrigation is required in the Event Lawn and turf areas on site. Refer to revisions on sheets C3.01, C3.02, C7.00, and C7.01 for irrigation service.
7. **QUESTION:** Per detail 5&6/L4.00 The pedestrian and vehicular pavement is showing reinforcing, however there is no denotation of what kind of reinforcing. Can you provide this?
  - a. **RESPONSE:** Refer to sheet C9.00. An asphalt pavement reinforcing detail has been updated and a heavy-duty concrete paving detail for fire lane has been added.
8. **QUESTION:** Per detail 5&6/L4.00 The pedestrian and vehicular pavement is showing an integral seashell aggregate. Can you provide a type/ dosage rate for this shell?
  - a. **RESPONSE:** Seashell aggregate to consist of seeded surface of 1/2” washed coastal shell.
9. **QUESTION:** Per detail A1/AE514 the cast-in-place walls are to receive a board form finish, can you provide a size/ pattern that will be used.
  - a. **RESPONSE:** Refer to sheet AE514. A note has been modified to indicate the size to be used.
10. **QUESTION:** Plan page AE112 keynote #1 refers to fans. There is no spec section for this. What is the basis of design for this?
  - a. **RESPONSE:** Refer to the attached Specifications Section 113034 Ceiling Fan. Utilize spare 20A/1P breaker at circuit MP-25 with 2#12, 1#12 in ½” conduit to feed four (4) fans in the Multipurpose Room. Utilize spare 20A/1P breaker at circuit MP-27 with 2#12, 1#12 in ½” conduit to feed one (1) fan in Corridor 210.
11. **QUESTION:** Could you please specify the species for the timber columns and please verify that there are 3 timber columns?
  - a. **RESPONSE:** The timber columns are glulams as specified in structural keynote 104 and the Structural General Notes glulam section. There are several timber columns shown on the plan, and each column is also a double column. Bidders to review the drawings carefully.

## Bid Addendum 07



12. **QUESTION:** Could you please provide dimensional details on the Cross Laminated Timber?
- a. **RESPONSE:** Structural keynote 301 addresses the CLT. See also Cross Laminated Timber Structural General Notes.
13. **QUESTION:** Regarding the CLT materials, the specifications identify this to be constructed of southern yellow pine, however we have a couple of suppliers who are unable to fabricate/source in this species. Would it be acceptable for the CLT on this project to be constructed of douglas fir?
- a. **RESPONSE:** Yes, Douglas Fir is structurally acceptable provided that all required properties listed on the Structural General Notes are met.
14. **QUESTION:** Specification section 051200 – Structural Steel Framing, article 1.8 requires the steel fabricator to either be AISC qualified or IAS Fabricator Program certified. Given the size of this project, it may not attract many AISC or IAS certified fabricators, will it be approved to use a fabricator that engages an independent third-party inspector to inspect the shop and quality procedures for this project? This is an approved method by IBC.
- a. **RESPONSE:** Yes, having the inspections done as required by chapter 17 of the Building Code is an acceptable alternative; and the cost of third-party inspections will be at the expense of the General Contractor.
15. **QUESTION:** The specified manufacturers for 102239 (Folding Partitions) are either out of business or has decided to not bid on this project. I have no approved manufacturers to work with for this scope. We could use another option, if you could consider.
- a. **RESPONSE:** The Specifications for Folding Partitions have been updated. See attached section.

# Bid Addendum 07



## ATTACHMENTS

1. Drawing Sheets:
  - a. C0.00
  - b. C1.00
  - c. C1.01
  - d. C1.03
  - e. C1.04
  - f. C2.00
  - g. C2.01
  - h. C2.02
  - i. C2.03
  - j. C2.04
  - k. C3.01
  - l. C3.02
  - m. C4.01
  - n. C4.02
  - o. C4.03
  - p. C5.01
  - q. C5.02
  - r. C5.03
  - s. C5.03
  - t. C6.01
  - u. C7.00
  - v. C7.01
  - w. C9.00
  - x. L3.00
  - y. L3.01
  - z. L7.00
  - aa. AE514
2. Specifications Sections:
  - a. 102239 - Folding Partitions
  - b. 113034 - Ceiling Fan

**END OF ADDENDUM 07**



BID DOCUMENTS

# BEAUFORT MARITIME EDUCATION CENTER

293 WEST BEAUFORT RD EXT. | BEAUFORT, NC | CARTERET COUNTY

JUNE 7, 2024

**SURVEY BENCHMARK**

BENCHMARK IS LOCAL TO SITE.  
SEE SHEET C1.00 FOR BENCHMARK INFORMATION.  
VERTICAL DATUM BASED ON NAVD 88.

**PARCEL DATA**

PIN:	730613140379000	PIN:	730613144542000
OWNER:	STATE OF NORTH CAROLINA	OWNER:	CAROLINA CAY MARITIME FDN INC
ADDRESS:	293 WEST BEAUFORT RD EXT BEAUFORT, NC 28516	ADDRESS:	275 WEST BEAUFORT RD EXT BEAUFORT, NC 28516
ZONING:	B-W	ZONING:	R-20
AREA:	25.54 AC	AREA:	0.12 AC
DEED REF:	802-480	DEED REF:	1572-152

PIN:	730613147310000
OWNER:	STATE EXEMPTION
ADDRESS:	N/A
ZONING:	B-W
AREA:	3.27 AC
DEED REF:	0870-00577

**SITE DATA TABLE**

PARCEL PIN NO.	730613140379000, 730613144542000, 730613147310000
TOTAL PROJECT AREA (ACRES)	28.93 AC
WATERSHED	WHITE OAK
ZONING	B-W (BUSINESS WATERFRONT), R-20 (RESIDENTIAL)
EXISTING USE	EDUCATION
EXISTING BUILDING AREA	2,460 SF (BONEHENGE BUILDING)
PROPOSED USE	EDUCATION
PROPOSED BUILDING AREA	8,688 SF
TOTAL NUMBER OF UNITS	1 EXISTING, 1 PROPOSED, 2 TOTAL
PROPOSED DENSITY	0.07 UNITS PER ACRE

SETBACKS:	
FRONT	30'
SIDE	15'
REAR	15'
MAXIMUM BUILDING HEIGHT	35'

IMPERVIOUS AREAS:	
EXISTING	3.14 AC
PROPOSED	1.97 AC
FUTURE ALLOCATION	1.03 AC

WETLAND AREAS:	
COASTAL WETLANDS	0.76 AC
NON-COASTAL WETLANDS	1.68 AC

TOTAL SITE AREA LESS COASTAL WETLANDS & EXISTING IMPERVIOUS	25.04 AC
IMPERVIOUS PERCENTAGE	12.00 %
PROPOSED AREA OF DISTURBANCE	12.45 AC

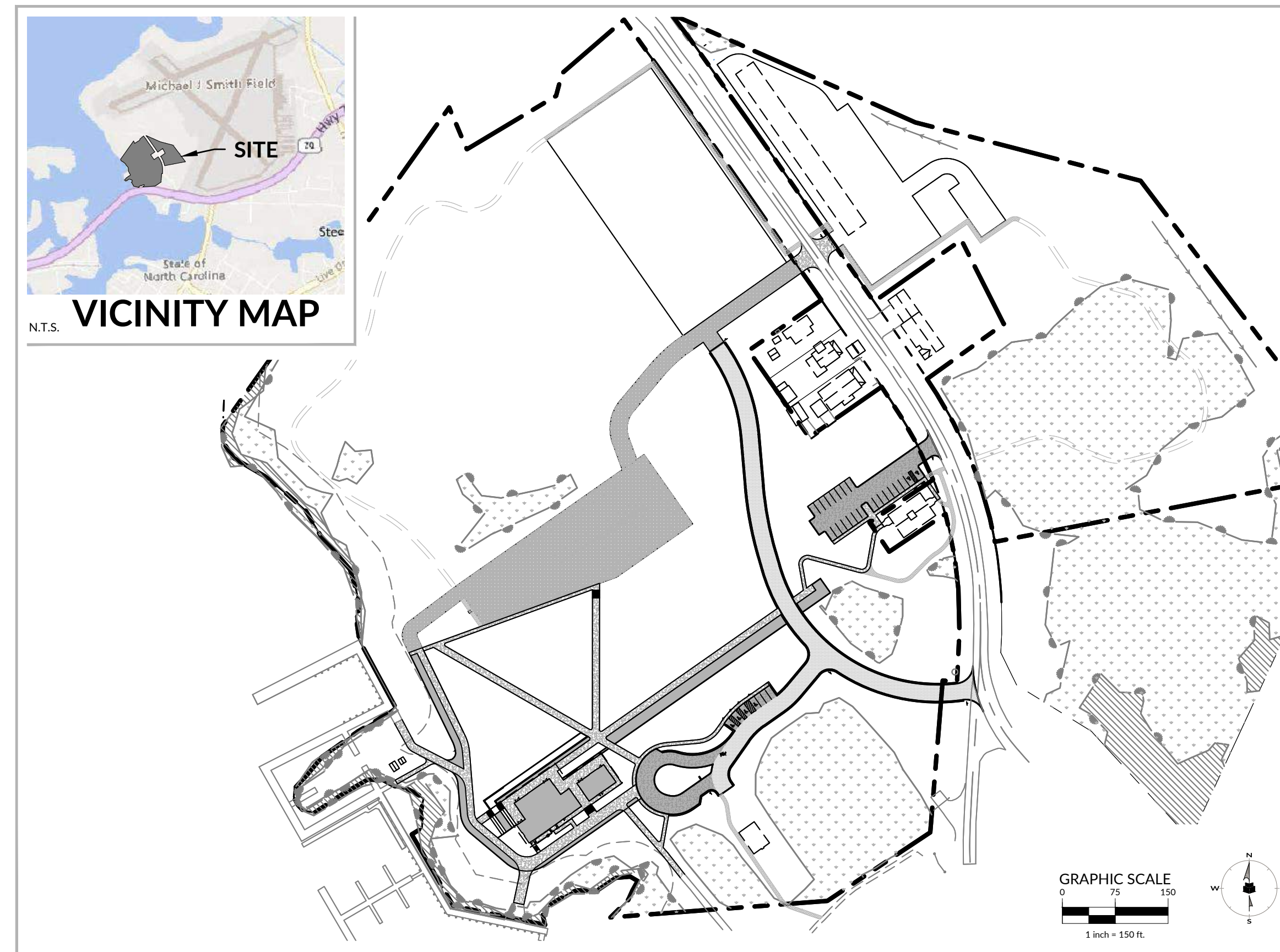
PARKING CALCULATIONS:	
SPACES REQUIRED	38 (1 SP/300 SF BUILDING AREA)
SPACES PROVIDED	121 (6 ACCESSIBLE SPACES PROVIDED)

VEHICULAR ACCESS AREA (VAA)	
	187,893.00 SF

LANDSCAPE CALCULATIONS:	
AREA REQUIRED	22,547.16 SF (SEE L7.00 FOR DETAILED CALCULATIONS)
AREA PROVIDED	130,500 SF (SEE L7.00 FOR DETAILED CALCULATIONS)



**NOTES**

- ENTIRE PROJECT DRAINS TO THE NEWPORT RIVER.
- THE PUBLIC UTILITY EASEMENT PROPOSED WILL BE CONVEYED TO THE TOWN AS A PART OF THE FINAL PLAT PROCESS.
- THE TOWN OF BEAUFORT RECOMMENDS A TRAFFIC IMPACT ANALYSIS (TIA) BE PERFORMED PRIOR TO INITIATION OF THE FUTURE MUSEUM BUILDING PHASE.
- ALL PVIOUS HARDSCAPE SURFACES ARE TO BE MAINTAINED BY THE DEVELOPER AND PROPERTY OWNER. THE TOWN OF BEAUFORT IS NOT RESPONSIBLE FOR REPAIRS TO PAVERS, PVIOUS PAVEMENT, ETC.

**INDEX OF SHEETS**

Sheet #	Sheet Title
C0.00	COVER
C0.01	GENERAL NOTES
C0.02	GENERAL NOTES
C0.03	BOUNDARY AND TOPOGRAPHIC SURVEY
C0.04	BOUNDARY AND TOPOGRAPHIC SURVEY
C1.00	OVERALL EXISTING CONDITIONS PLAN
C1.01	EXISTING CONDITIONS PLAN
C1.02	EXISTING CONDITIONS PLAN
C1.03	DEMOLITION PLAN
C1.04	DEMOLITION PLAN
C2.00	OVERALL SITE PLAN
C2.01	SITE PLAN
C2.02	SITE PLAN
C2.03	SIGNAGE AND ACCESS PLAN
C2.04	ADD ALTERNATE PLAN
C3.01	UTILITY PLAN
C3.02	UTILITY PLAN
C4.01	GRADING & DRAINAGE PLAN
C4.02	GRADING & DRAINAGE PLAN
C4.03	GRADING ENLARGEMENT
C5.01	EROSION CONTROL PLAN (STAGE 1)
C5.02	EROSION CONTROL PLAN (STAGE 1)
C5.03	EROSION CONTROL PLAN (STAGE 2)
C5.04	EROSION CONTROL PLAN (STAGE 2)
C6.00	NCG01
C6.01	EROSION CONTROL NOTES & DETAILS
C6.02	EROSION CONTROL & DRAINAGE DETAILS
C7.00	SANITARY FORCE MAIN PLAN & PROFILE
C7.01	WATER PLAN & PROFILE
C9.00	SITE DETAILS
C9.01	SITE DETAILS
C9.02	SANITARY SEWER AND WATER DETAILS
C9.04	WATER DETAILS
PS1.00	GRINDER PUMP STATION DETAILS
PS2.00	GRINDER PUMP STATION DETAILS

CN PROJ #: 10145  
SCD ID #: 24-27658-01A

DESIGNER

**CLARK NEXSEN**

421 NORTH HARRINGTON STREET, SUITE 600  
RALEIGH, NORTH CAROLINA 27603  
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER



219 STATION ROAD, SUITE 101  
WILMINGTON, NORTH CAROLINA 28405  
910-256-9277  
WWW.WITHERSRAVENEL.COM  
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL

SUBMITTAL

JUNE 7, 2024

**BID DOCUMENTS**

REVISIONS

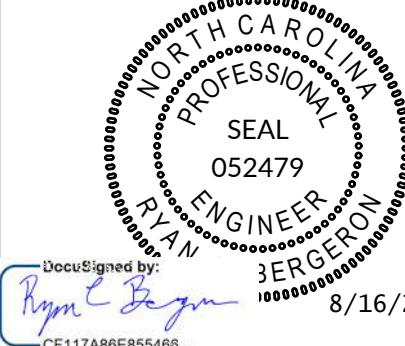
NO.	DATE	DESCRIPTION
1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5
3	08/16/2024	ADDENDUM 7

KEY PLAN

**CONTACT LIST:**

Civil Engineer  
Ryan Bergeson  
WithersRavenel  
219 Station Road, Suite 101  
Wilmington, NC 28402  
910-256-9277

Architect  
Clark Nexsen  
421 North Harrington Street  
Suite 600  
Raleigh, North Carolina  
919-828-1876



**PREPARED BY:**

**WithersRavenel**  
219 Station Road | Suite 101 | Wilmington, NC 28405  
License #: F-1479 | t: 910.256.9277 | www.withersravenel.com

**DEVELOPER:**

**MARITIME HERITAGE FOUNDATION**  
293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516  
ATTENTION: CHARLES OLIVER  
PHONE: (919) 941-8400

BID DOCUMENTS  
BEAUFORT MARITIME  
EDUCATION CENTER  
WR PROJECT NO.03221471  
TOWN OF BEAUFORT:  
MUNI PROJ NO./A  
06/07/2024

SHEET

**COVER**

**C0.00**

DESIGN: RCB  
DRAWN: GWR  
REVIEW: RCB

CN 10145

our people • your success



1 2 3 4 5 6

E  
D  
C  
B  
A



- NOTES**
1. EXISTING CONDITIONS SURVEY PROVIDED BY JAMES I. PHILLIPS LAND SURVEYING, P.O. BOX 2103, 279 ABBINGTON ROAD, BEAUFORT, NC 28516, 252-728-5848 (PHONE), JIP@COASTALNET.COM.
  2. PROJECT LIES WITHIN FEMA FLOOD ZONE AE 6. FEMA PANEL 370278600 (UNDESIGNATED PART OF COASTAL MODEL UPDATE LETTER OF FINAL DETERMINATION NOT EXPECTED TO BE ISSUED FOR 1-2 YEARS).

- EXISTING CONDITIONS LEGEND**
- | SYMBOL    | DESCRIPTION                    |
|-----------|--------------------------------|
| ---       | ADJOINER                       |
| - - - - - | BOUNDARY                       |
| ---       | BUILDING                       |
| - - - - - | CONCRETE                       |
| - - - - - | CURB LINE                      |
| - - - - - | EASEMENT                       |
| - - - - - | EDGE OF PAVEMENT               |
| - - - - - | FENCE                          |
| - - - - - | RIGHT OF WAY                   |
| - - - - - | GRAVEL                         |
| - - - - - | OVERHEAD ELECTRIC              |
| - - - - - | PAVEMENT STRIPING              |
| - - - - - | FORCEMAIN                      |
| - - - - - | SANITARY SEWER PIPE            |
| - - - - - | STORM PIPE                     |
| - - - - - | DITCH (404 JURISDICTIONAL)     |
| - - - - - | DITCH (404 NON-JURISDICTIONAL) |
| - - - - - | WATER MAIN                     |
| - - - - - | WETLAND                        |
| - - - - - | COASTAL WETLAND                |
| - - - - - | FIRE HYDRANT                   |
| ⊙         | LIGHT POLE                     |
| ⊕         | POWER POLE                     |
| ⊘         | SEWER MANHOLE                  |

MARITIME HERITAGE FOUNDATION  
THE NORTH CAROLINA MARITIME MUSEUM

# Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145  
SCD ID #: 24-27056-01A

DESIGNER



421 NORTH HARRINGTON STREET, SUITE 600  
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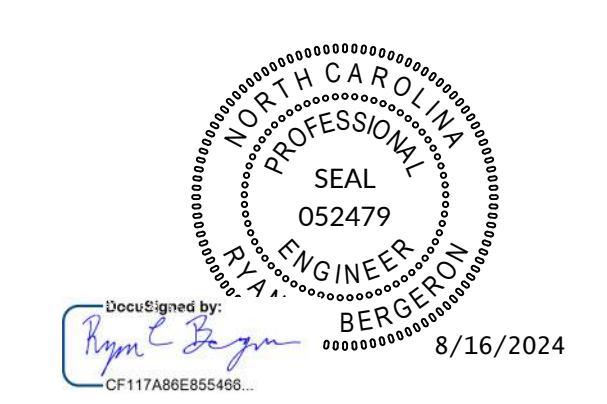
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PROFESSIONAL SEAL



SUBMITTAL

JUNE 7, 2024

## BID DOCUMENTS

### REVISIONS

NO.	DATE	DESCRIPTION
1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5
3	08/16/2024	ADDENDUM 7

KEY PLAN

SHEET

## OVERALL EXISTING CONDITIONS PLAN

# C1.00

DESIGN: RCB  
DRAWN: GWR  
REVIEW: RCB

CN 10145



**Maritime Education Center**

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

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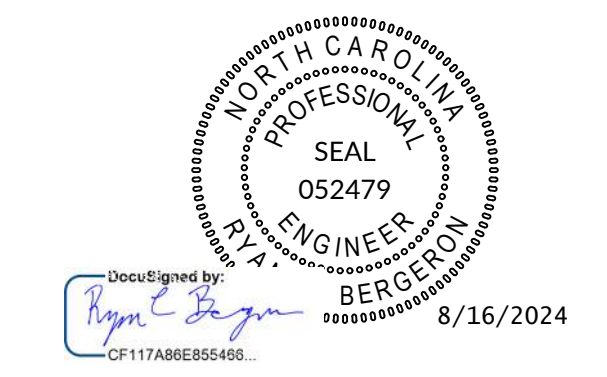
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KEY PLAN

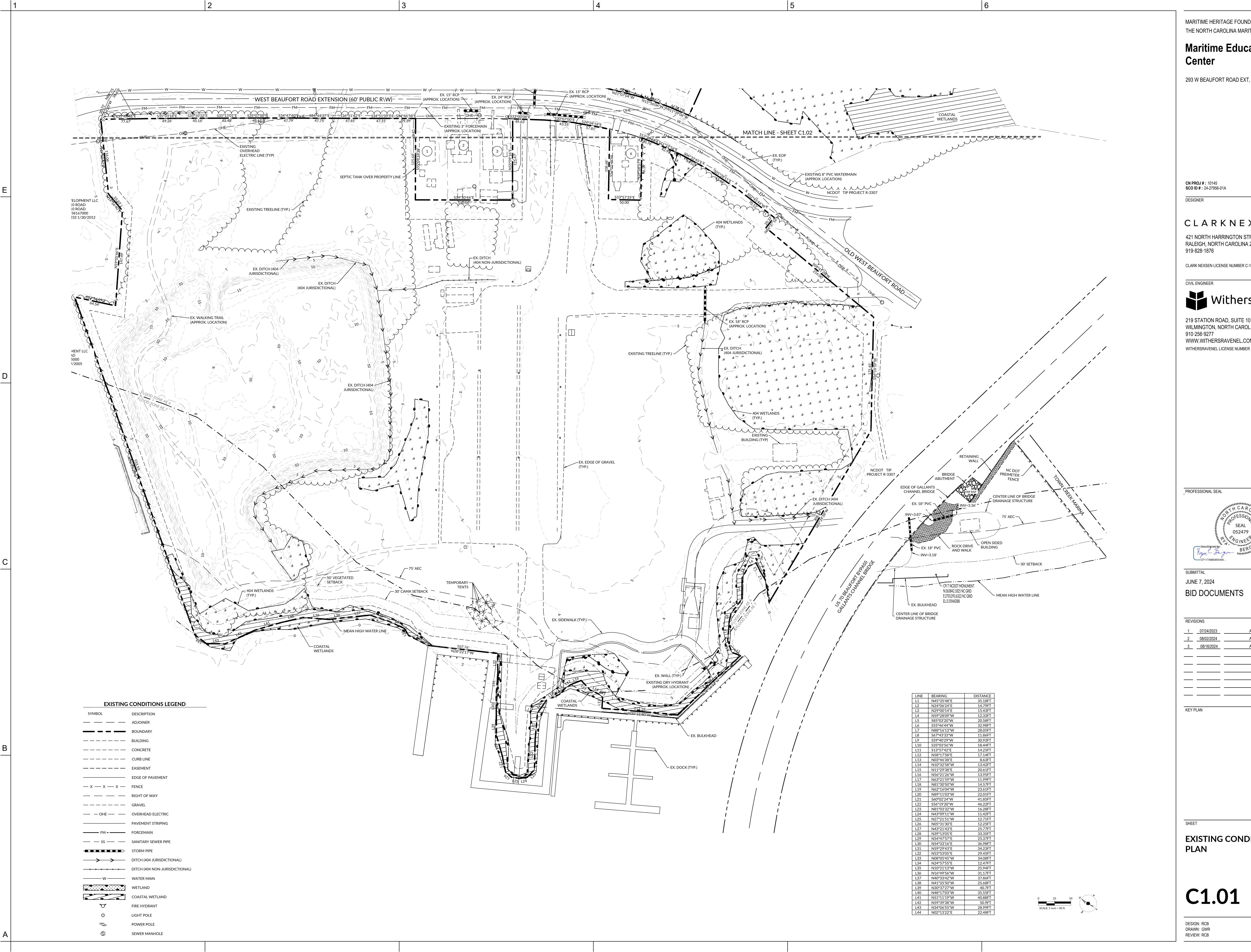
SHEET

**EXISTING CONDITIONS PLAN**

**C1.01**

DESIGN: RCB  
DRAWN: GWR  
REVIEW: RCB

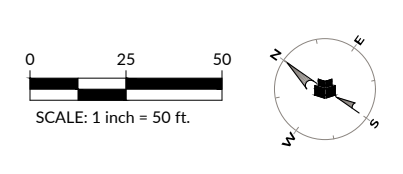
CN 10145



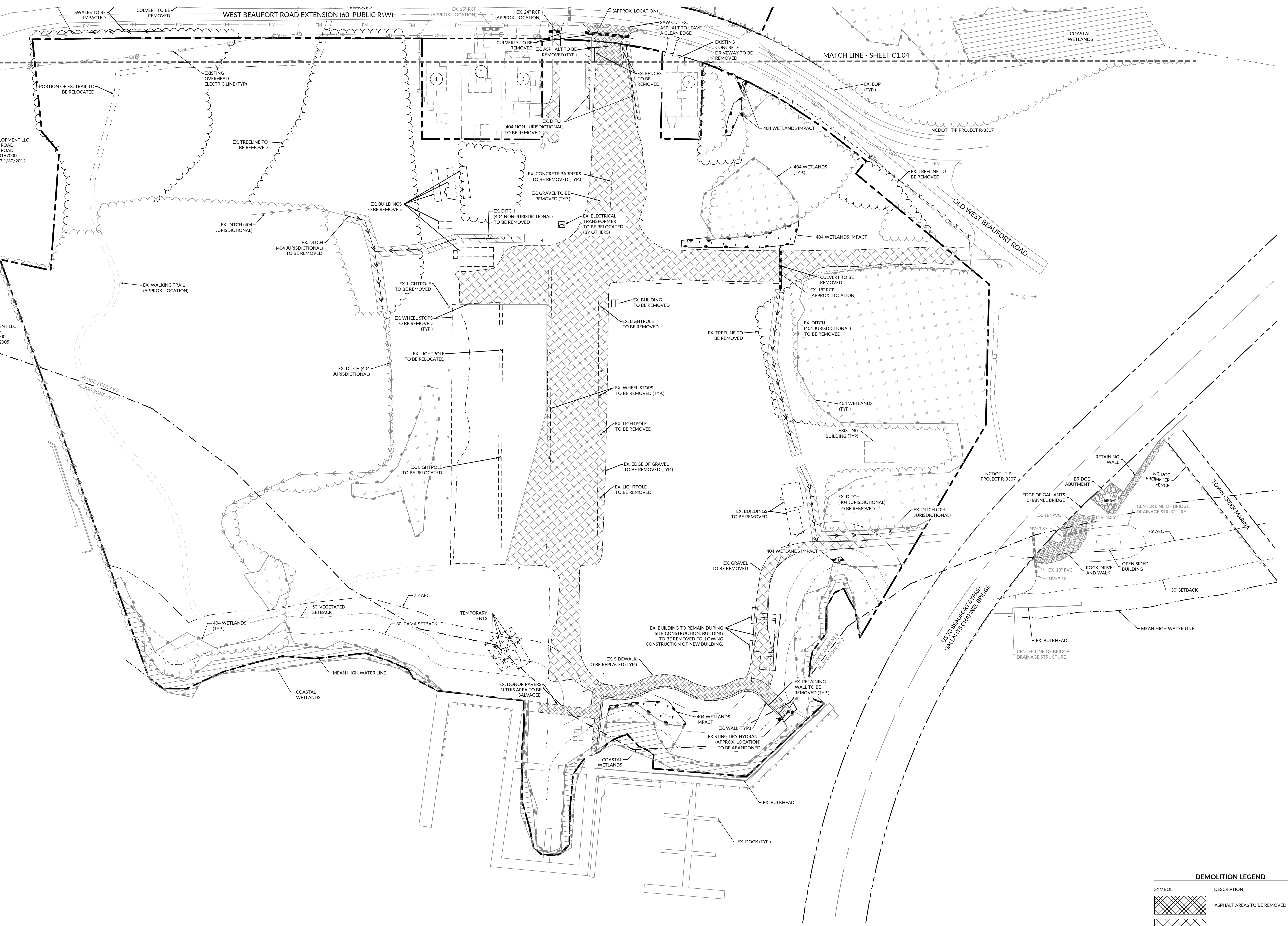
**EXISTING CONDITIONS LEGEND**

SYMBOL	DESCRIPTION
---	ADJOINER
---	BOUNDARY
---	BUILDING
---	CONCRETE
---	CURB LINE
---	EASEMENT
---	EDGE OF PAVEMENT
-X-X-X-	FENCE
---	RIGHT OF WAY
---	GRAVEL
---	OVERHEAD ELECTRIC
---	PAVEMENT STRIPING
---	FORCEMAIN
---	SANITARY SEWER PIPE
---	STORM PIPE
---	DITCH (404 JURISDICTIONAL)
---	DITCH (404 NON-JURISDICTIONAL)
---	WATER MAIN
---	WETLAND
---	COASTAL WETLAND
---	FIRE HYDRANT
---	LIGHT POLE
---	POWER POLE
---	SEWER MANHOLE

LINE	BEARING	DISTANCE
L1	N45°35'48"E	35.18FT
L2	N24°06'24"E	14.79FT
L3	N29°00'0"E	15.33FT
L4	N59°28'09"W	12.33FT
L5	S85°03'20"W	20.58FT
L6	S55°04'44"W	32.98FT
L7	N88°16'13"W	28.05FT
L8	S67°43'33"W	11.86FT
L9	S59°02'29"W	30.33FT
L10	S55°02'54"W	18.44FT
L11	S13°57'42"E	14.25FT
L12	N58°17'58"E	17.54FT
L13	N03°46'38"E	8.63FT
L14	N10°32'58"W	13.42FT
L15	N11°02'38"E	20.61FT
L16	N56°21'26"W	13.95FT
L17	N63°21'59"W	11.99FT
L18	N81°02'05"W	14.57FT
L19	N62°16'04"W	23.61FT
L20	N89°11'03"W	22.01FT
L21	S60°02'28"W	41.85FT
L22	S56°19'20"W	46.22FT
L23	N81°03'32"W	16.28FT
L24	N43°09'11"W	11.33FT
L25	N27°21'51"W	12.71FT
L26	N05°31'30"E	12.25FT
L27	N40°21'43"E	25.73FT
L28	N39°13'05"E	33.35FT
L29	N54°47'57"E	25.37FT
L30	N54°03'14"E	36.98FT
L31	N59°29'43"E	34.23FT
L32	N53°33'05"E	29.45FT
L33	N00°05'41"W	34.08FT
L34	N24°57'53"E	12.47FT
L35	N10°21'13"W	25.94FT
L36	N16°44'25"W	31.37FT
L37	N40°33'42"W	37.86FT
L38	N41°35'59"W	25.68FT
L39	N00°02'22"W	40.73FT
L40	N48°17'03"W	35.55FT
L41	N51°11'59"W	40.88FT
L42	N59°02'38"W	50.93FT
L43	N34°06'55"W	28.99FT
L44	N02°13'22"E	22.48FT

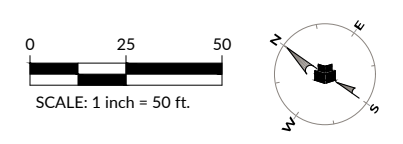






**DEMOLITION LEGEND**

SYMBOL	DESCRIPTION
	ASPHALT AREAS TO BE REMOVED
	GRAVEL AREAS TO BE REMOVED
	DITCH AREAS TO BE REMOVED



MARITIME HERITAGE FOUNDATION  
THE NORTH CAROLINA MARITIME MUSEUM

**Maritime Education Center**

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145  
SOD ID #: 24-27656-01A

DESIGNER

**CLARK NEXSEN**

421 NORTH HARRINGTON STREET, SUITE 600  
RALEIGH, NORTH CAROLINA 27603  
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER

**WithersRavenel**

219 STATION ROAD, SUITE 101  
WILMINGTON, NORTH CAROLINA 28405  
910-256-9277  
WWW.WITHERSRAVENEL.COM  
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL

SUBMITTAL  
JUNE 7, 2024

**BID DOCUMENTS**

REVISIONS

NO.	DATE	DESCRIPTION
1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5
3	08/16/2024	ADDENDUM 7

KEY PLAN

SHEET

**DEMOLITION PLAN**

**C1.03**

DESIGN: RCB  
DRAWN: GWR  
REVIEW: RCB

CN 10145



# Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145  
SDD ID #: 24-27656-01A

DESIGNER

## CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600  
RALEIGH, NORTH CAROLINA 27603  
919-828-1876

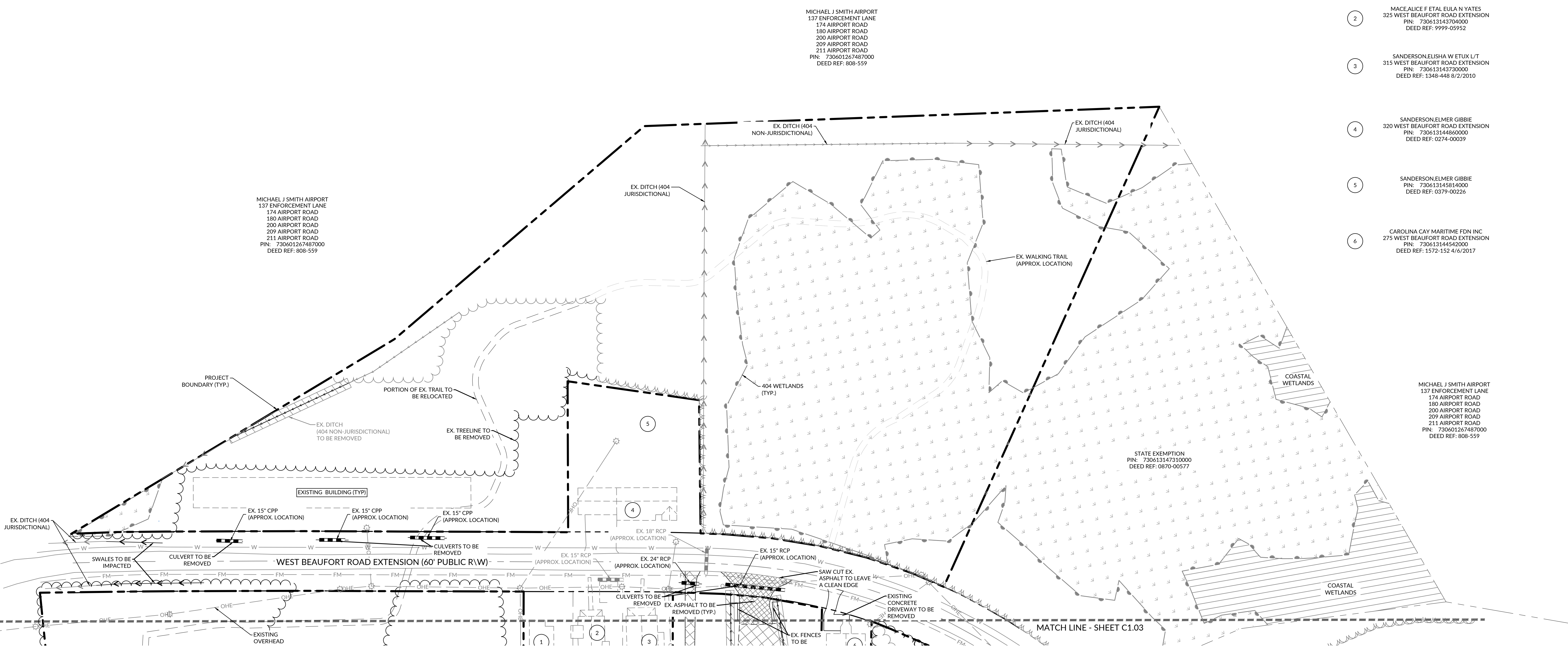
CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER



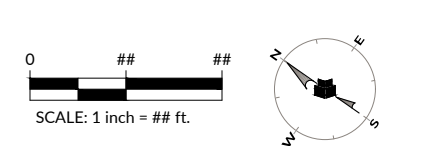
219 STATION ROAD, SUITE 101  
WILMINGTON, NORTH CAROLINA 28405  
910-256-9277  
WWW.WITHERSRAVENEL.COM  
WITHERSRAVENEL LICENSE NUMBER F-1479

- 1 BRICKHOUSE JAMES S JR  
335 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613142778000  
DEED REF: 0370-00126
- 2 MACE ALICE F ETAL EULA N YATES  
325 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613143705000  
DEED REF: 9999-05952
- 3 SANDERSON ELSHA W ETUX L/T  
315 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613143720000  
DEED REF: 1348-448 8/2/2010
- 4 SANDERSON ELMER GIBBIE  
320 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613144860000  
DEED REF: 0274-00039
- 5 SANDERSON ELMER GIBBIE  
PIN: 730613145814000  
DEED REF: 0379-00226
- 6 CAROLINA CAY MARITIME FDN INC  
275 WEST BEAUFORT ROAD EXTENSION  
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DEED REF: 1572-152 4/6/2017

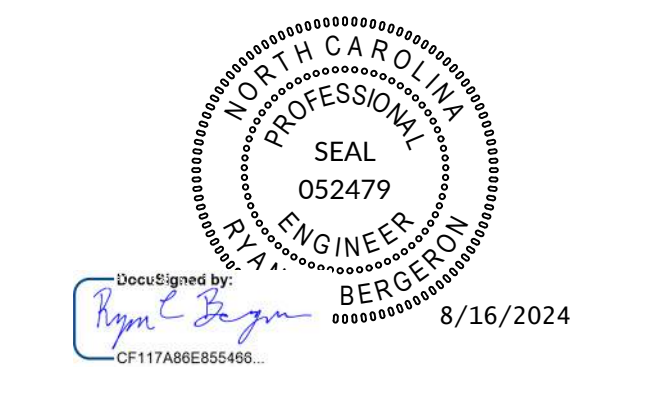


**DEMOLITION LEGEND**

SYMBOL	DESCRIPTION
	ASPHALT AREAS TO BE REMOVED
	GRAVEL AREAS TO BE REMOVED
	DITCH AREAS TO BE REMOVED



PROFESSIONAL SEAL



SUBMITTAL

JUNE 7, 2024

### BID DOCUMENTS

REVISIONS

NO.	DATE	DESCRIPTION
1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5
3	08/16/2024	ADDENDUM 7

KEY PLAN

SHEET

### DEMOLITION PLAN

# C1.04

DESIGN: RCB  
DRAWN: GWR  
REVIEW: RCB

CN 10145



**Maritime Education Center**

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145  
SOD ID #: 24-27958-01A

DESIGNER

**CLARK NEXSEN**

421 NORTH HARRINGTON STREET, SUITE 600  
RALEIGH, NORTH CAROLINA 27603  
919-828-1876

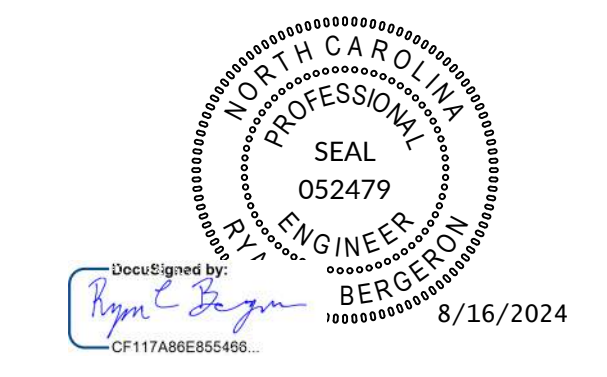
CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER



219 STATION ROAD, SUITE 101  
WILMINGTON, NORTH CAROLINA 28405  
910-256-9277  
WWW.WITHERSRAVENEL.COM  
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL



SUBMITTAL  
JUNE 7, 2024

**BID DOCUMENTS**

REVISIONS

NO.	DATE	DESCRIPTION
1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5
3	08/16/2024	ADDENDUM 7

KEY PLAN

SHEET

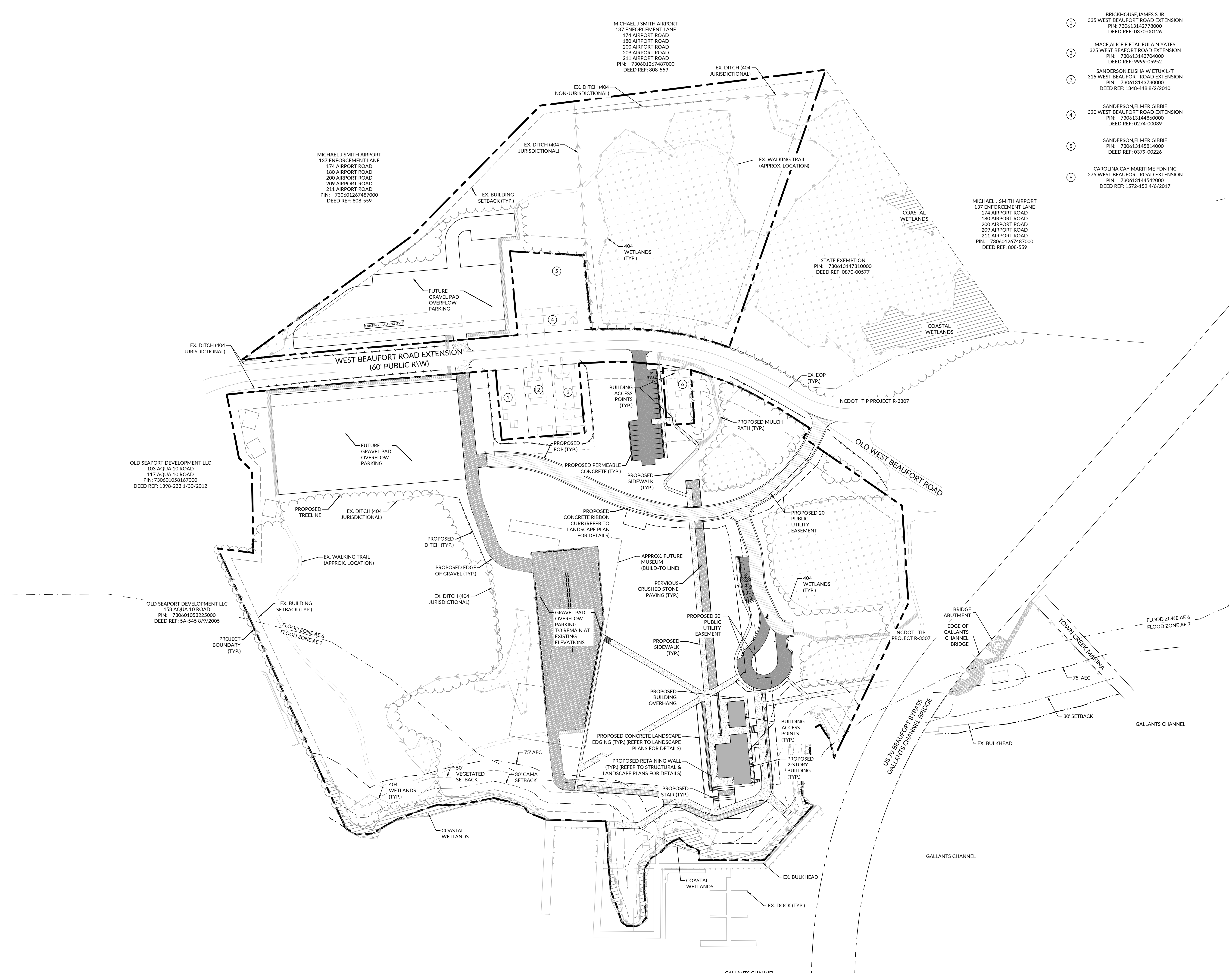
**OVERALL SITE PLAN**

**C2.00**

DESIGN: RCB  
DRAWN: GWR  
REVIEW: RCB

CN 10145

W:\2024\100224171 - Beaufort Maritime Museum\CD\100224171.dwg - 08/16/2024 10:11:11 AM - RBERGSDON



- ① BRICKHOUSE JAMES S JR  
335 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613142778000  
DEED REF: 0370-00126
- ② MACEALICE F ETAL EULA N YATES  
325 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613143704000  
DEED REF: 9999-00992
- ③ SANDERSON ELISHA W ETUX L/T  
315 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613145370000  
DEED REF: 1348-448 8/2/2010
- ④ SANDERSON ELMER GIBBIE  
320 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613144860000  
DEED REF: 0274-00039
- ⑤ SANDERSON ELMER GIBBIE  
PIN: 730613145814000  
DEED REF: 0379-00226
- ⑥ CAROLINA CAY MARITIME FDN INC  
275 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613144540000  
DEED REF: 1572-152 4/6/2017

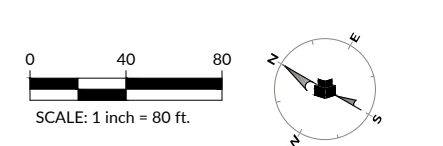
1. THE TOWN AS A PART OF THE FINAL THE TOWN OF BEAUFORT RECOMMENDATION ANALYSIS (TIA) BE PERFORMED PRIOR TO FUTURE MUSEUM BUILDING PHASE.
2. ALL PERVIOUS HARDSCAPE SURFACE THE DEVELOPER AND PROPERTY OW BEAUFORT IS NOT RESPONSIBLE FOR PERVIOUS PAVEMENT, ETC.

**BUILDING SETBACKS:**  
FRONT: 30 FEET  
SIDE: 15 FEET  
REAR: 15 FEET

**FLOOD PLAIN INVOLVEMENT:**  
DEVELOPMENT WHICH WILL TAKE PLACE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AT ELEVATION 6 IS DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF EXECUTIVE ORDER NO. 123-UNIFORM FLOODPLAIN MANAGEMENT POLICY.

**SITE LEGEND**

SYMBOL	DESCRIPTION
---	BOUNDARY
- - - -	EASEMENT
---	RIGHT OF WAY
[Solid Grey]	BUILDING
[Light Grey]	CONCRETE PAVING
[Dark Grey]	ASPHALT PAVING
[Stippled]	GRAVEL PAVING
[Dotted]	MULCH PATH
[Cross-hatched]	GRASSPAVE2





**Maritime Education Center**

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145  
SOD ID #: 24-27955-01A

DESIGNER

**CLARK NEXSEN**

421 NORTH HARRINGTON STREET, SUITE 600  
RALEIGH, NORTH CAROLINA 27603  
919-828-1876

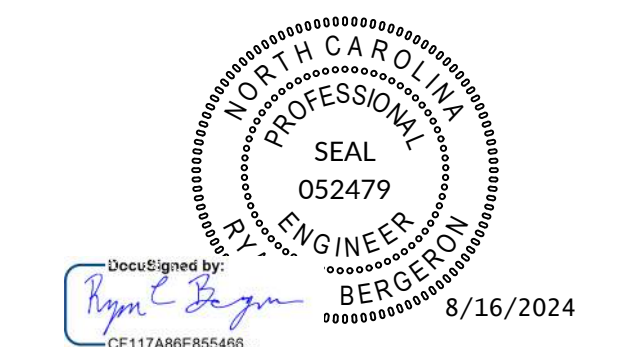
CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER



219 STATION ROAD, SUITE 101  
WILMINGTON, NORTH CAROLINA 28405  
910-256-9277  
WWW.WITHERSRAVENEL.COM  
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL



SUBMITTAL

JUNE 7, 2024

**BID DOCUMENTS**

REVISIONS

NO.	DATE	DESCRIPTION
1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5
3	08/16/2024	ADDENDUM 7

KEY PLAN

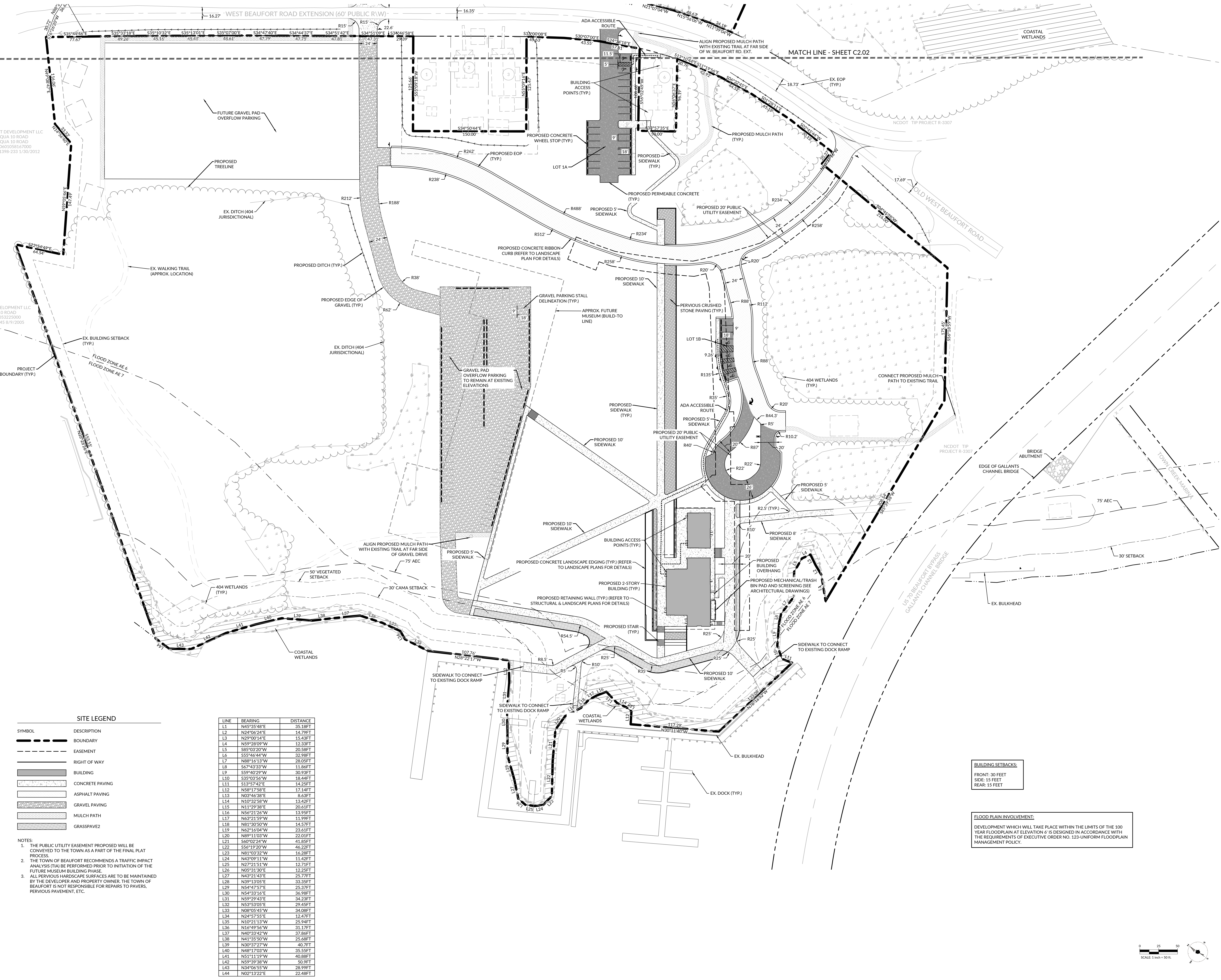
SHEET

**SITE PLAN**

**C2.01**

DESIGN: RCB  
DRAWN: GWR  
REVIEW: RCB

CN 10145



**SITE LEGEND**

SYMBOL	DESCRIPTION
---	BOUNDARY
---	EASEMENT
---	RIGHT OF WAY
█	BUILDING
█	CONCRETE PAVING
█	ASPHALT PAVING
█	GRAVEL PAVING
█	MULCH PATH
█	GRASSPAVE2

**NOTES:**

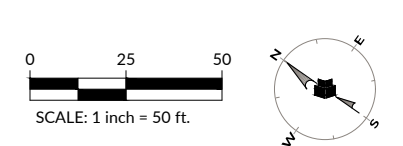
- THE PUBLIC UTILITY EASEMENT PROPOSED WILL BE CONVEYED TO THE TOWN AS A PART OF THE FINAL PLAT PROCESS.
- THE TOWN OF BEAUFORT RECOMMENDS A TRAFFIC IMPACT ANALYSIS (TIA) BE PERFORMED PRIOR TO INITIATION OF THE FUTURE MUSEUM BUILDING PHASE.
- ALL PERVIOUS HARDSCAPE SURFACES ARE TO BE MAINTAINED BY THE DEVELOPER AND PROPERTY OWNER. THE TOWN OF BEAUFORT IS NOT RESPONSIBLE FOR REPAIRS TO PAVERS, PERVIOUS PAVEMENT, ETC.

LINE	BEARING	DISTANCE
L1	N45°30'48"E	25.98FT
L2	N24°06'34"E	14.79FT
L3	N29°00'14"E	15.43FT
L4	N59°28'09"W	12.38FT
L5	S85°03'20"W	20.58FT
L6	S55°46'44"W	32.98FT
L7	N88°16'13"W	28.05FT
L8	S67°43'33"W	11.86FT
L9	S59°40'29"W	30.93FT
L10	S55°03'46"W	18.46FT
L11	S13°57'42"E	14.25FT
L12	N58°17'58"E	17.14FT
L13	N03°46'08"E	8.63FT
L14	N10°32'58"W	13.42FT
L15	N11°29'38"E	20.61FT
L16	N56°21'04"W	13.95FT
L17	N63°21'59"W	11.99FT
L18	N81°30'50"W	14.57FT
L19	N62°14'04"W	23.61FT
L20	N89°11'03"W	22.01FT
L21	S60°02'24"W	41.85FT
L22	S56°19'20"W	46.29FT
L23	N81°03'32"W	16.28FT
L24	N43°09'11"W	11.42FT
L25	N27°21'51"W	12.71FT
L26	N05°51'30"E	12.25FT
L27	N43°21'43"E	25.77FT
L28	N35°13'01"E	33.35FT
L29	N54°47'57"E	25.37FT
L30	N54°33'14"E	36.98FT
L31	N59°29'43"E	34.28FT
L32	N53°53'05"E	29.45FT
L33	N06°05'45"W	34.08FT
L34	N24°57'53"E	12.67FT
L35	N10°21'13"W	25.94FT
L36	N16°49'56"W	31.17FT
L37	N40°33'42"W	37.86FT
L38	N41°35'50"W	25.68FT
L39	N30°37'27"W	40.77FT
L40	N48°17'02"W	35.55FT
L41	N51°11'19"W	40.88FT
L42	N59°39'38"W	50.99FT
L43	N34°06'15"W	28.99FT
L44	N02°13'22"E	22.48FT

**BUILDING SETBACKS:**  
FRONT: 30 FEET  
SIDE: 15 FEET  
REAR: 15 FEET

**FLOOD PLAIN INVOLVEMENT:**  
DEVELOPMENT WHICH WILL TAKE PLACE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AT ELEVATION 6' IS DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF EXECUTIVE ORDER NO. 125-UNIFORM FLOODPLAIN MANAGEMENT POLICY.



W:\2024\1010224171 - Beaufort Maritime Museum\CD\CD\Drawings\Site\Construction\C2.01\SITE.dwg - Title - August 16, 2024 10:00:47 AM - RBERGSTEIN



### Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145  
SCD ID #: 24-2765-01A

DESIGNER

## CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600  
RALEIGH, NORTH CAROLINA 27603  
919-828-1876

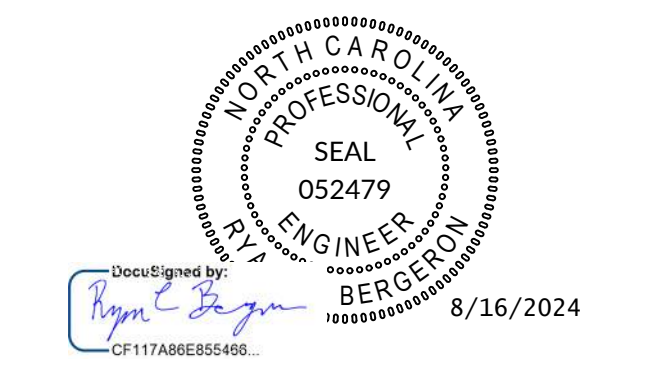
CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER



219 STATION ROAD, SUITE 101  
WILMINGTON, NORTH CAROLINA 28405  
910-256-9277  
WWW.WITHERSRAVENEL.COM  
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL



SUBMITTAL

JUNE 7, 2024

### BID DOCUMENTS

REVISIONS

NO.	DATE	DESCRIPTION
1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5
3	08/16/2024	ADDENDUM 7

KEY PLAN

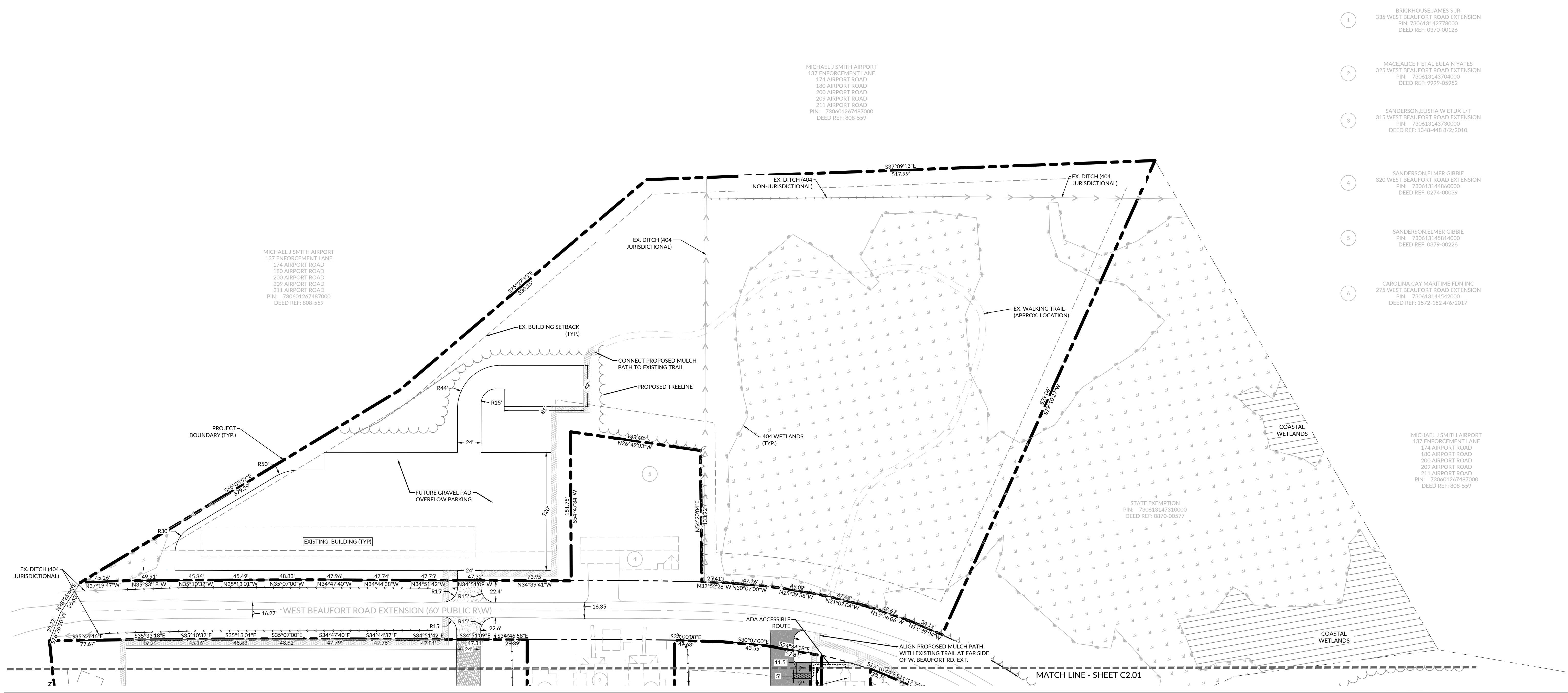
SHEET

### SITE PLAN

# C2.02

DESIGN: RCB  
DRAWN: GWR  
REVIEW: RCB

CN 10145



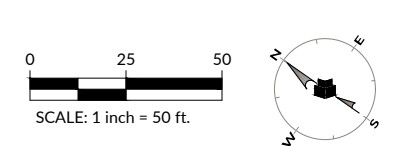
### SITE LEGEND

SYMBOL	DESCRIPTION
--- (dashed line)	BOUNDARY
--- (long dashed line)	EASEMENT
--- (short dashed line)	RIGHT OF WAY
--- (solid line)	BUILDING
--- (stippled pattern)	CONCRETE PAVING
--- (horizontal lines)	ASPHALT PAVING
--- (diagonal lines)	GRAVEL PAVING
--- (dotted pattern)	MULCH PATH
--- (cross-hatched pattern)	GRASSPAVE2

- NOTES:
1. THE PUBLIC UTILITY EASEMENT PROPOSED WILL BE CONVEYED TO THE TOWN AS A PART OF THE FINAL PLAT PROCESS.
  2. THE TOWN OF BEAUFORT RECOMMENDS A TRAFFIC IMPACT ANALYSIS (TIA) BE PERFORMED PRIOR TO INITIATION OF THE FUTURE MUSEUM BUILDING PHASE.
  3. ALL PERVIOUS HARDSCAPE SURFACES ARE TO BE MAINTAINED BY THE DEVELOPER AND PROPERTY OWNER. THE TOWN OF BEAUFORT IS NOT RESPONSIBLE FOR REPAIRS TO PAVERS, PERVIOUS PAVEMENT, ETC.

**BUILDING SETBACKS:**  
FRONT: 30 FEET  
SIDE: 15 FEET  
REAR: 15 FEET

**FLOOD PLAIN INVOLVEMENT:**  
DEVELOPMENT WHICH WILL TAKE PLACE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AT ELEVATION 6' IS DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF EXECUTIVE ORDER NO. 125-UNIFORM FLOODPLAIN MANAGEMENT POLICY.





# Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145  
SCD ID #: 24-27956-01A

DESIGNER

## CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600  
RALEIGH, NORTH CAROLINA 27603  
919-828-1876

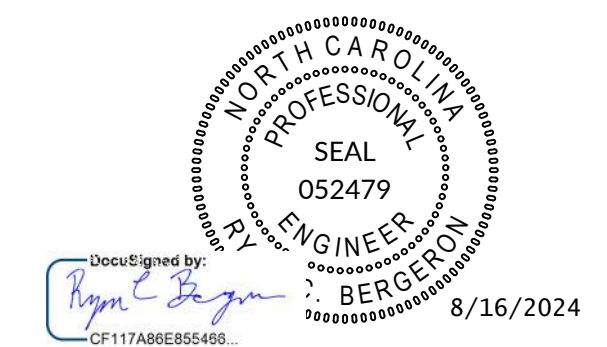
CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER

## WithersRavenel

219 STATION ROAD, SUITE 101  
WILMINGTON, NORTH CAROLINA 28405  
910-256-9277  
WWW.WITHERSRAVENEL.COM  
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL



SUBMITTAL  
JUNE 7, 2024

### BID DOCUMENTS

REVISIONS

NO.	DATE	DESCRIPTION
1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5
3	08/16/2024	ADDENDUM 7

KEY PLAN

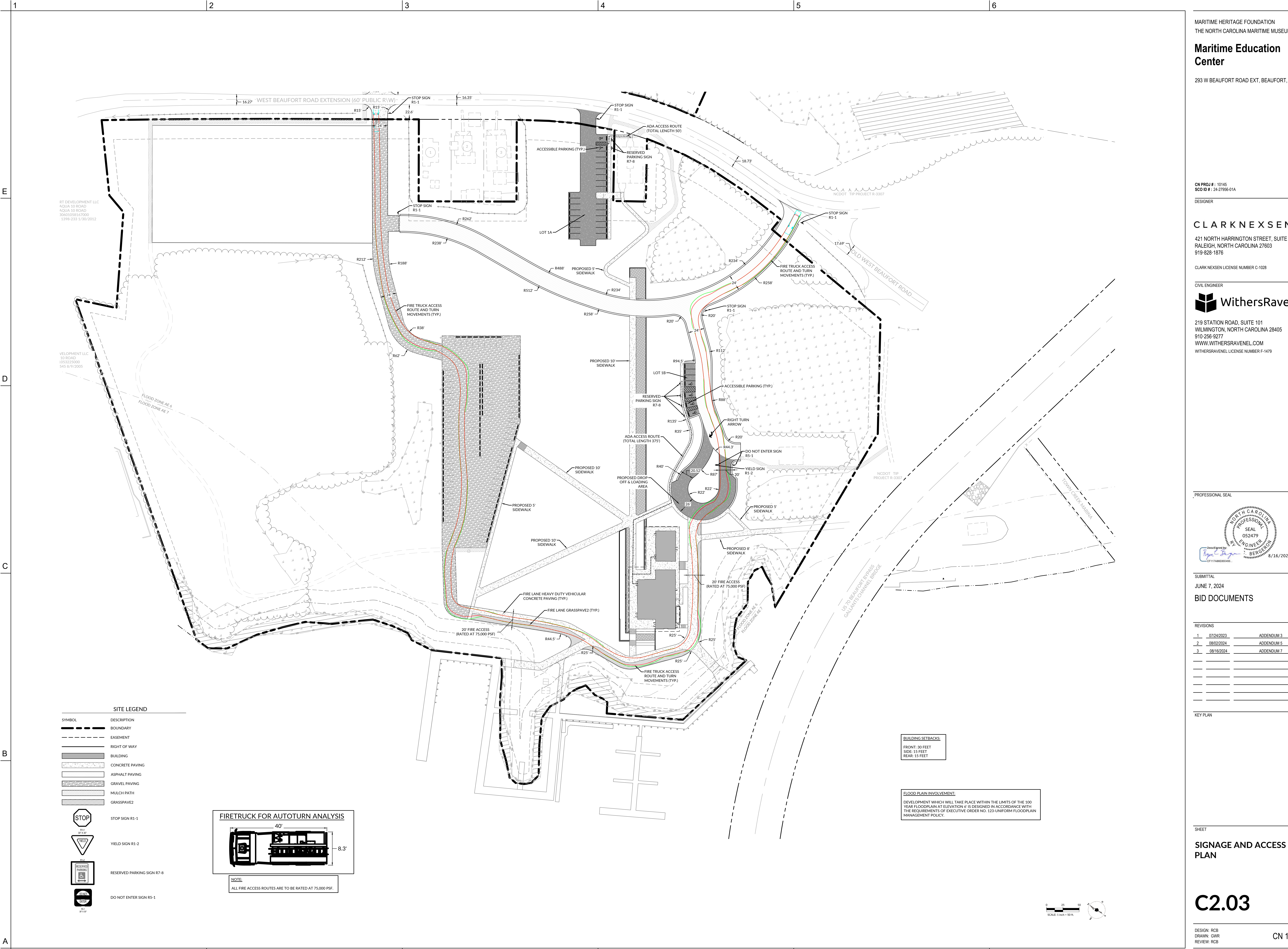
SHEET

### SIGNAGE AND ACCESS PLAN

# C2.03

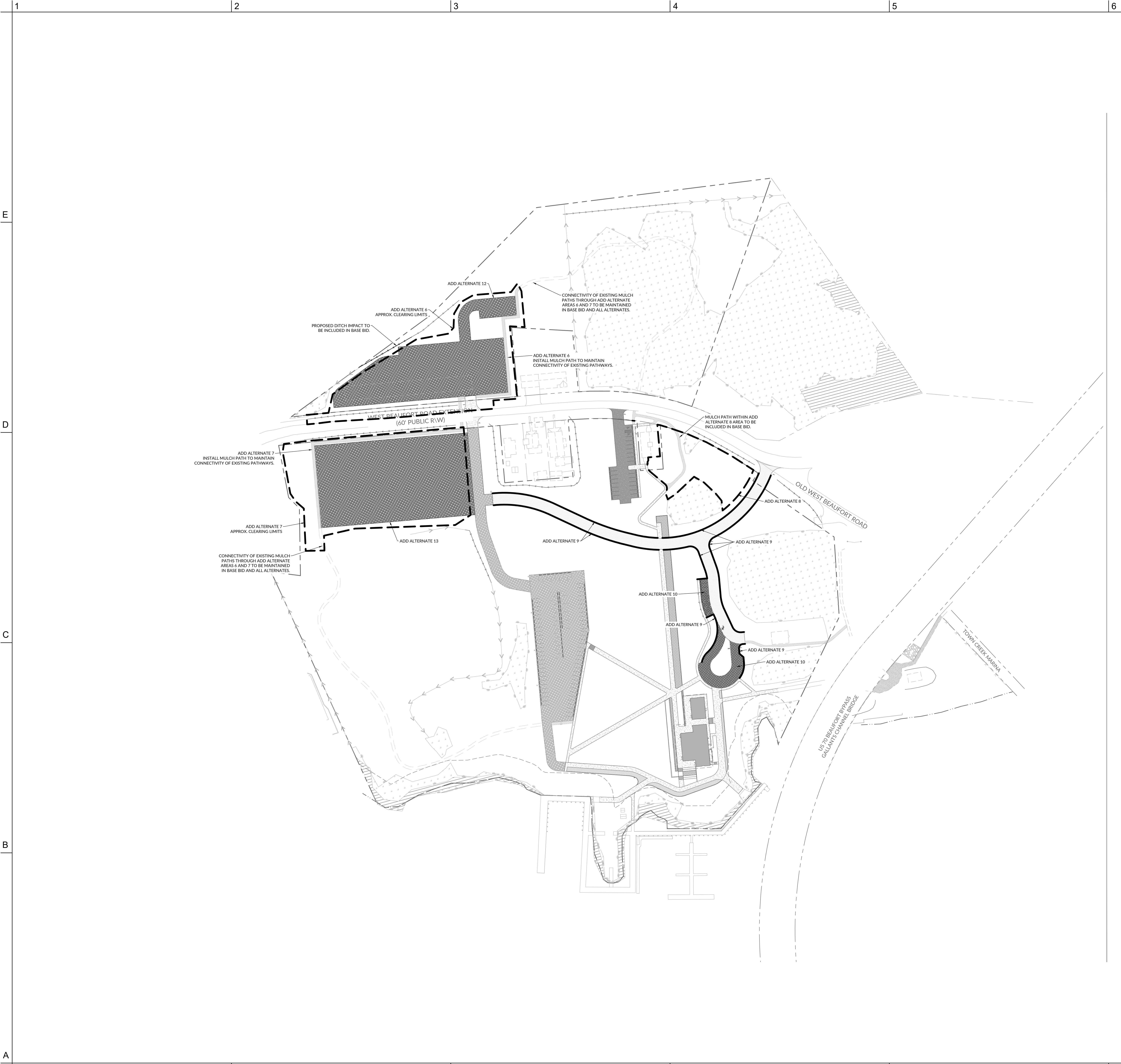
DESIGN: RCB  
DRAWN: GWR  
REVIEW: RCB

CN 10145



W:\2024\1010224171 - Beaufort Maritime Museum (C2.03) (Drawing) - Rev 00000001 (C2.03) (SS) (DWG) AND TRAFFIC PLAN (TYP) - August 14, 2024 9:58:23 AM - REVISION





**ADD ALTERNATE 6**  
 ADD CLEARING AND MASS GRADING OF THE AREA TO THE NORTH OF WEST BEAUFORT ROAD EXTENSION AND INSTALL PROPOSED MULCH PATH THROUGH THIS AREA TO PRESERVE CONNECTIVITY OF EXISTING MULCH PATHWAY.

**ADD ALTERNATE 7**  
 ADD CLEARING AND MASS GRADING OF THE AREA TO THE WEST OF THE PROPOSED GRAVEL FIRE ACCESS DRIVEWAY CONNECTION AND INSTALL PROPOSED MULCH PATH THROUGH THIS AREA TO PRESERVE CONNECTIVITY OF EXISTING MULCH PATHWAY.

**ADD ALTERNATE 8**  
 ADD ENHANCED LANDSCAPE AND WETLAND TRANSITION LANDSCAPE IN AREA NORTH OF THE NEW ROAD AND EAST OF BONEHENGE. REFER TO LANDSCAPE PLANS FOR DETAILS.

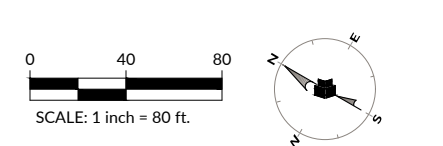
**ADD ALTERNATE 9**  
 ADD 2-FOOT WIDE RIVER ROCK EDGE DETAIL IN LIEU OF CONCRETE RIBBON CURB. REFER TO LANDSCAPE PLANS FOR DETAILS.

**ADD ALTERNATE 10**  
 INSTALL PERVIOUS PAVERS AT THE CUL-DE-SAC AND PARKING LOT 1B. REFER TO LANDSCAPE PLANS FOR DETAILS. BASE BID TO INCLUDE PERMEABLE CONCRETE PAVEMENT IN THESE AREAS.

**ADD ALTERNATE 12**  
 INSTALL GRAVEL AT OVERFLOW PARKING LOT NORTH OF WEST BEAUFORT ROAD EXTENSION.

**ADD ALTERNATE 13**  
 INSTALL GRAVEL AT OVERFLOW PARKING LOT WEST OF FIRE ACCESS DRIVEWAY.

**FLOOD PLAIN INVOLVEMENT:**  
 DEVELOPMENT WHICH WILL TAKE PLACE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AT ELEVATION 6' IS DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF EXECUTIVE ORDER NO. 123-UNIFORM FLOODPLAIN MANAGEMENT POLICY.



MARITIME HERITAGE FOUNDATION  
 THE NORTH CAROLINA MARITIME MUSEUM

**Maritime Education Center**

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145  
 SCD ID #: 24-27055-01A  
 DESIGNER

**CLARK NEXSEN**

421 NORTH HARRINGTON STREET, SUITE 600  
 RALEIGH, NORTH CAROLINA 27603  
 919-828-1876

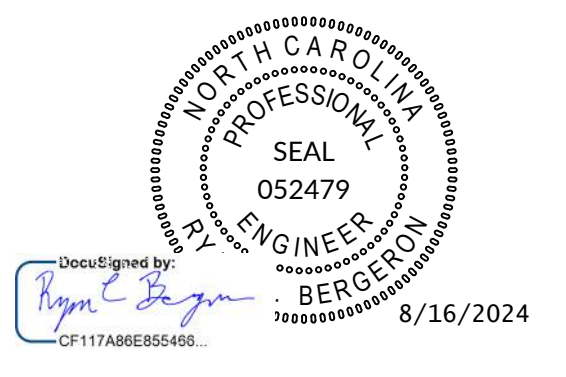
CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER

**WithersRavenel**

219 STATION ROAD, SUITE 101  
 WILMINGTON, NORTH CAROLINA 28405  
 910-256-9277  
 WWW.WITHERSRAVENEL.COM  
 WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL



SUBMITTAL  
 JUNE 7, 2024

**BID DOCUMENTS**

REVISIONS		
1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5
3	08/16/2024	ADDENDUM 7

KEY PLAN

SHEET  
**ADD ALTERNATE PLAN**

**C2.04**

DESIGN: RCB  
 DRAWN: GWR  
 REVIEW: RCB

CN 10145

W:\2024\100224177 - Beaufort Maritime Museum\CD\100224177.dwg - User: G:\100224177.dwg - Plot Date: 8/16/2024 10:51:53 AM - PLOTTER: HP DesignJet T1100e



**Maritime Education Center**

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145  
SOD ID #: 24-27958-01A

DESIGNER

**CLARK NEXSEN**

421 NORTH HARRINGTON STREET, SUITE 600  
RALEIGH, NORTH CAROLINA 27603  
919-828-1876

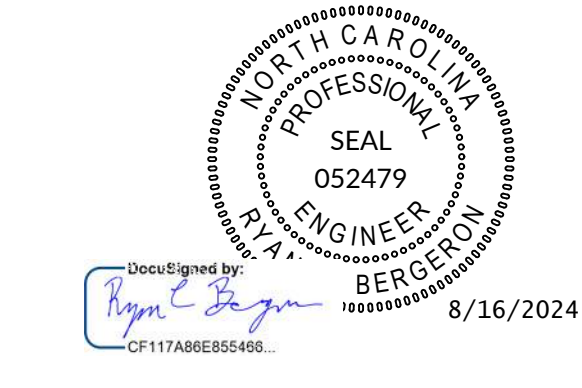
CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER



219 STATION ROAD, SUITE 101  
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3	08/16/2024	ADDENDUM 7

KEY PLAN

KEY PLAN

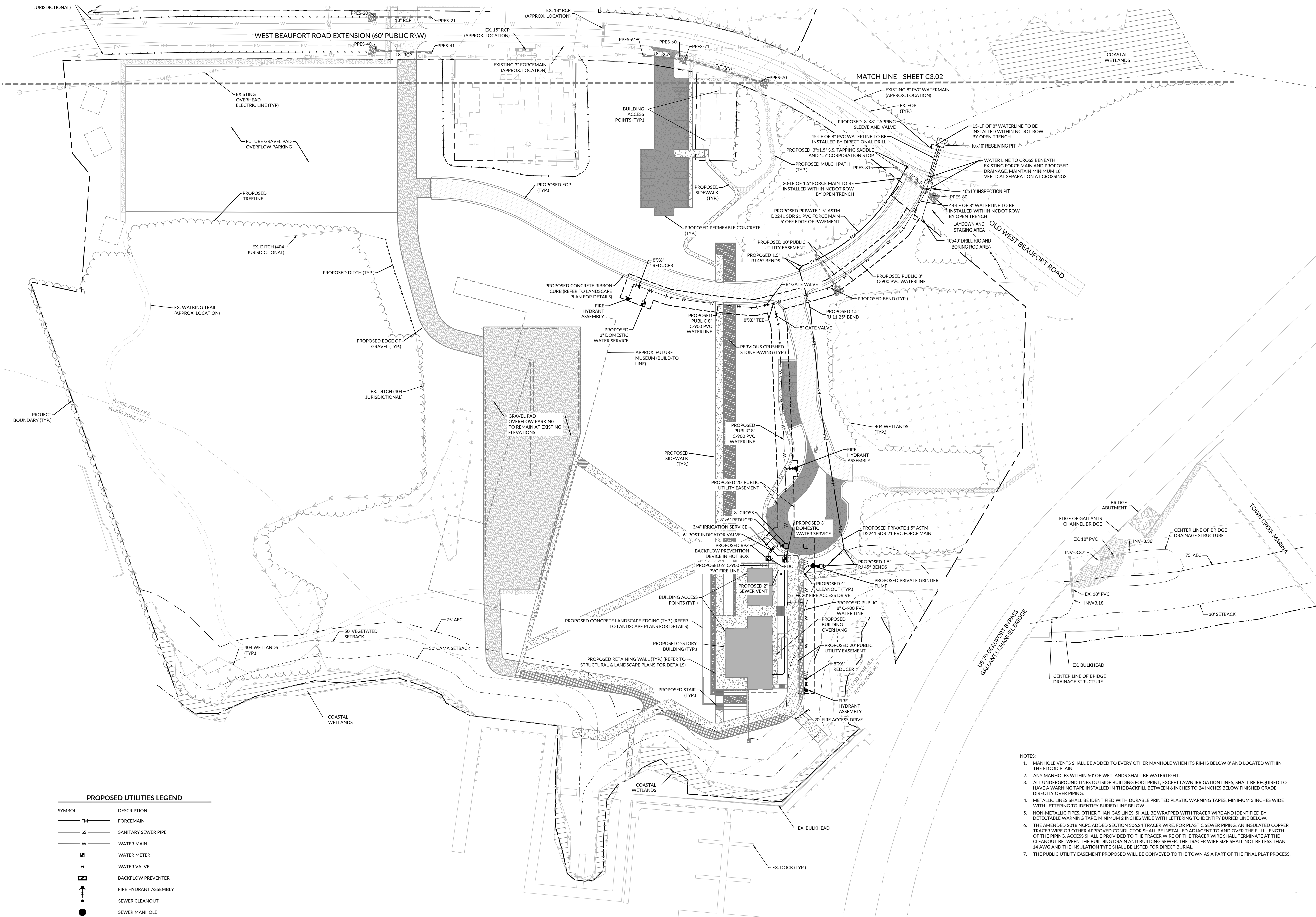
SHEET

**UTILITY PLAN**

**C3.01**

DESIGN: RCB  
DRAWN: GWR  
REVIEW: RCB

CN 10145

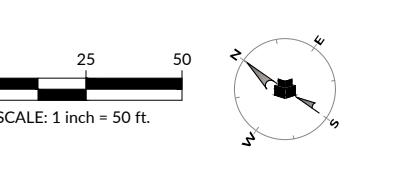


**PROPOSED UTILITIES LEGEND**

SYMBOL	DESCRIPTION
FM	FORCEMAIN
SS	SANITARY SEWER PIPE
W	WATER MAIN
⊞	WATER METER
⊞	WATER VALVE
⊞	BACKFLOW PREVENTER
⊞	FIRE HYDRANT ASSEMBLY
⊞	SEWER CLEANOUT
⊞	SEWER MANHOLE

- NOTES:
1. MANHOLE VENTS SHALL BE ADDED TO EVERY OTHER MANHOLE WHEN ITS RIM IS BELOW 8' AND LOCATED WITHIN THE FLOOD PLAIN.
  2. ANY MANHOLES WITHIN 50' OF WETLANDS SHALL BE WATERTIGHT.
  3. ALL UNDERGROUND LINES OUTSIDE BUILDING FOOTPRINT, EXCEPT LAWN IRRIGATION LINES, SHALL BE REQUIRED TO HAVE A WARNING TAPE INSTALLED IN THE BACKFILL BETWEEN 6 INCHES TO 24 INCHES BELOW FINISHED GRADE DIRECTLY OVER PIPING.
  4. METALLIC LINES SHALL BE IDENTIFIED WITH DURABLE PRINTED PLASTIC WARNING TAPES, MINIMUM 3 INCHES WIDE WITH LETTERING TO IDENTIFY BURIED LINE BELOW.
  5. NON-METALLIC PIPES, OTHER THAN GAS LINES, SHALL BE WRAPPED WITH TRACER WIRE AND IDENTIFIED BY DETECTABLE WARNING TAPE, MINIMUM 2 INCHES WIDE WITH LETTERING TO IDENTIFY BURIED LINE BELOW.
  6. THE AMENDED 2018 NCPIC ADDED SECTION 304.24 TRACER WIRE FOR PLASTIC SEWER PIPING. AN INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR SHALL BE INSTALLED ADJACENT TO AND OVER THE FULL LENGTH OF THE PIPING. ACCESS SHALL BE PROVIDED TO THE TRACER WIRE OF THE TRACER WIRE SHALL TERMINATE AT THE CLEANOUT BETWEEN THE BUILDING DRAIN AND BUILDING SEWER. THE TRACER WIRE SIZE SHALL NOT BE LESS THAN 14 AWG AND THE INSULATION TYPE SHALL BE LISTED FOR DIRECT BURIAL.
  7. THE PUBLIC UTILITY EASEMENT PROPOSED WILL BE CONVEYED TO THE TOWN AS A PART OF THE FINAL PLAT PROCESS.

FLOOD PLAIN INVOLVEMENT.  
DEVELOPMENT WHICH WILL TAKE PLACE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AT ELEVATION 6' IS DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF EXECUTIVE ORDER NO. 123-UNIFORM FLOODPLAIN MANAGEMENT POLICY.



W:\2022\1010124177\_Beaufort Maritime Museum\CDM\CDM\Utility\Enr\CDM\Utility\Utility.dwg, 15/08/2024 11:58 AM, 11/16/2024 11:58 AM

1 2 3 4 5 6  
E  
D  
C  
B  
A



# Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145  
SCD ID #: 24-27656-01A

DESIGNER

## CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600  
RALEIGH, NORTH CAROLINA 27603  
919-828-1876

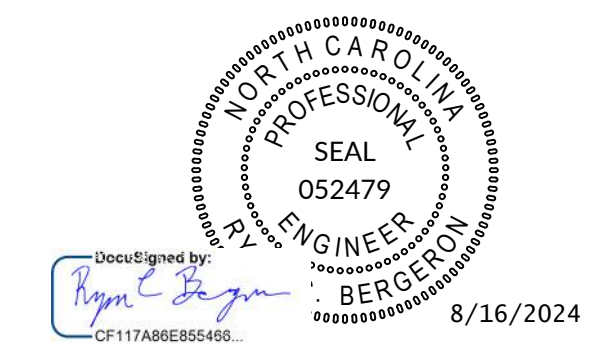
CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER

## WithersRavenel

219 STATION ROAD, SUITE 101  
WILMINGTON, NORTH CAROLINA 28405  
910-256-9277  
WWW.WITHERSRAVENEL.COM  
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL



SUBMITTAL

JUNE 7, 2024

### BID DOCUMENTS

REVISIONS

1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5
3	08/16/2024	ADDENDUM 7

KEY PLAN

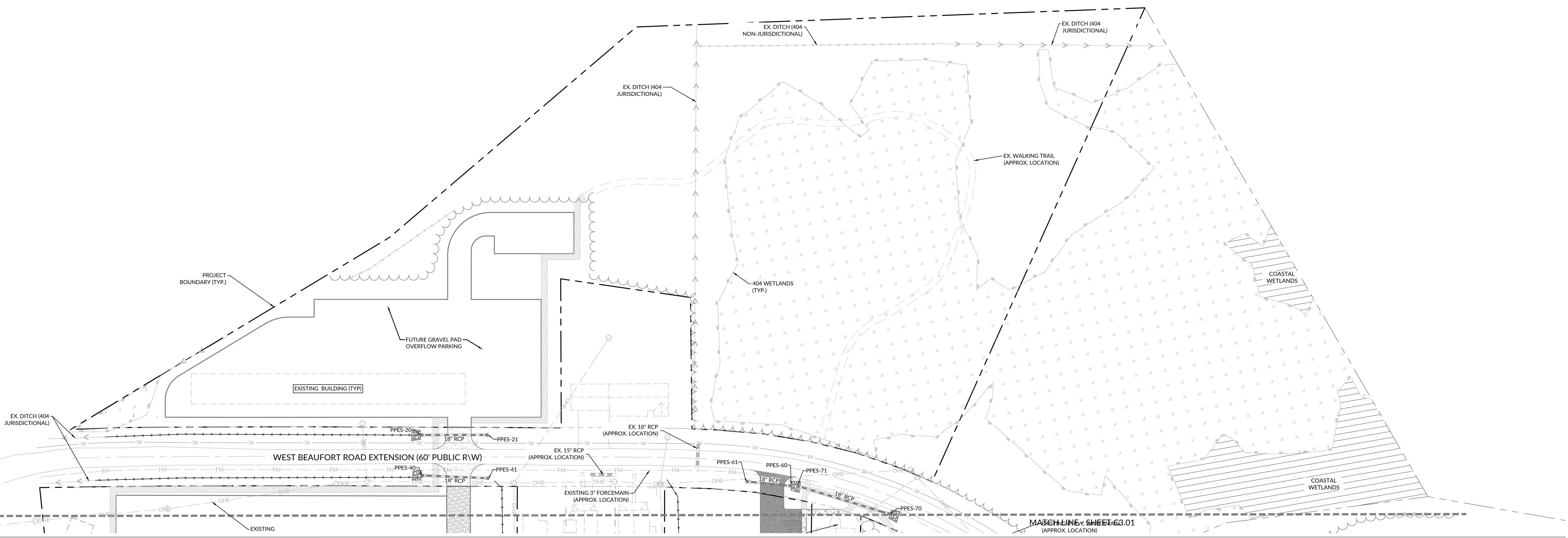
SHEET

### UTILITY PLAN

# C3.02

DESIGN: RCB  
DRAWN: GWR  
REVIEW: RCB

CN 10145

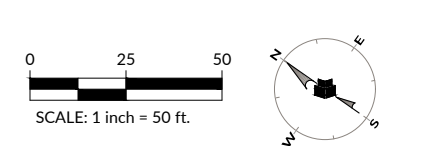


**PROPOSED UTILITIES LEGEND**

SYMBOL	DESCRIPTION
FM	FORCEMAIN
SS	SANITARY SEWER PIPE
W	WATER MAIN
W	WATER METER
+	WATER VALVE
+	BACKFLOW PREVENTER
+	FIRE HYDRANT ASSEMBLY
+	SEWER CLEANOUT
●	SEWER MANHOLE

- NOTES:**
- MANHOLE VENTS SHALL BE ADDED TO EVERY OTHER MANHOLE WHEN ITS RIM IS BELOW 8' AND LOCATED WITHIN THE FLOOD PLAIN.
  - ANY MANHOLES WITHIN 50' OF WETLANDS SHALL BE WATERTIGHT.
  - ALL UNDERGROUND LINES OUTSIDE BUILDING FOOTPRINT, EXCEPT LAWN IRRIGATION LINES, SHALL BE REQUIRED TO HAVE A WARNING TAPE INSTALLED IN THE BACKFILL BETWEEN 4 INCHES TO 24 INCHES BELOW FINISHED GRADE DIRECTLY OVER PIPING.
  - METALLIC LINES SHALL BE IDENTIFIED WITH DURABLE PRINTED PLASTIC WARNING TAPES, MINIMUM 3 INCHES WIDE WITH LETTERING TO IDENTIFY BURIED LINE BELOW.
  - NON-METALLIC PIPES, OTHER THAN GAS LINES, SHALL BE WRAPPED WITH TRACER WIRE AND IDENTIFIED BY DETECTABLE WARNING TAPE, MINIMUM 2 INCHES WIDE WITH LETTERING TO IDENTIFY BURIED LINE BELOW.
  - THE AMENDED 2018 NCPD ADDED SECTION 306.24 TRACER WIRE. FOR PLASTIC SEWER PIPING, AN INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR SHALL BE INSTALLED ADJACENT TO AND OVER THE FULL LENGTH OF THE PIPING. ACCESS SHALL BE PROVIDED TO THE TRACER WIRE OF THE TRACER WIRE SHALL TERMINATE AT THE CLEANOUT BETWEEN THE BUILDING DRAIN AND BUILDING SEWER. THE TRACER WIRE SIZE SHALL NOT BE LESS THAN 14 AWG AND THE INSULATION TYPE SHALL BE LISTED FOR DIRECT BURIAL.
  - THE PUBLIC UTILITY EASEMENT PROPOSED WILL BE CONVEYED TO THE TOWN AS A PART OF THE FINAL PLAT PROCESS.

**FLOOD PLAIN INVOLVEMENT:**  
DEVELOPMENT WHICH WILL TAKE PLACE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AT ELEVATION 6' IS DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF EXECUTIVE ORDER NO. 123-UNIFORM FLOODPLAIN MANAGEMENT POLICY.







**PROPOSED GRADING LEGEND**

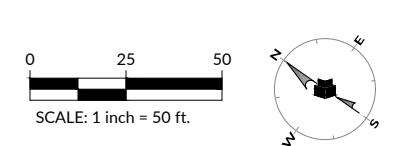
SYMBOL	DESCRIPTION
---100---	EXISTING MAJOR CONTOUR
------	EXISTING MINOR CONTOUR
---100---	PROPOSED MAJOR CONTOUR
------	PROPOSED MINOR CONTOUR
TOC	TOP OF CONCRETE
BOC	BOTTOM OF CONCRETE
TW	TOP OF WALL
BW	BOTTOM OF WALL
HP	HIGH POINT

**PROPOSED STORM DRAINAGE LEGEND**

SYMBOL	DESCRIPTION
---	STORM PIPE
▭	FLARED END SECTION (FES)
▭	RIP RAP DISSIPATER

- NOTE:**
- ALL RCP IS TO BE CLASS III UNLESS OTHERWISE NOTED.
  - SEE SHEET C6.01 FOR CHART WITH VELOCITY DISSIPATER DETAILS.
  - SEE SHEET C6.02 FOR DITCH CROSS SECTION DETAILS.
  - SEE SHEET C6.03 FOR INSET A, INSET B, AND INSET C.
  - ALL ELEVATIONS ARE FROM EDGE OF PAVEMENT/GRAVEL/SIDEWALKS UNLESS OTHERWISE STATED.

**FLOOD PLAIN INVOLVEMENT:**  
DEVELOPMENT WHICH WILL TAKE PLACE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AT ELEVATION 4' IS DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF EXECUTIVE ORDER NO. 123-UNIFORM FLOODPLAIN MANAGEMENT POLICY.



MARITIME HERITAGE FOUNDATION  
THE NORTH CAROLINA MARITIME MUSEUM

**Maritime Education Center**

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145  
SCD ID #: 24-27659-01A

DESIGNER

**CLARK NEXSEN**

421 NORTH HARRINGTON STREET, SUITE 600  
RALEIGH, NORTH CAROLINA 27603  
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER

**WithersRavenel**

219 STATION ROAD, SUITE 101  
WILMINGTON, NORTH CAROLINA 28405  
910-256-9277  
WWW.WITHERSRAVENEL.COM  
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL

SUBMITTAL  
JUNE 7, 2024

**BID DOCUMENTS**

REVISIONS

NO.	DATE	DESCRIPTION
1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5
3	08/16/2024	ADDENDUM 7

KEY PLAN

SHEET

**GRADING & DRAINAGE PLAN**

**C4.01**

DESIGN: RCB  
DRAWN: GWR  
REVIEW: RCB

CN 10145



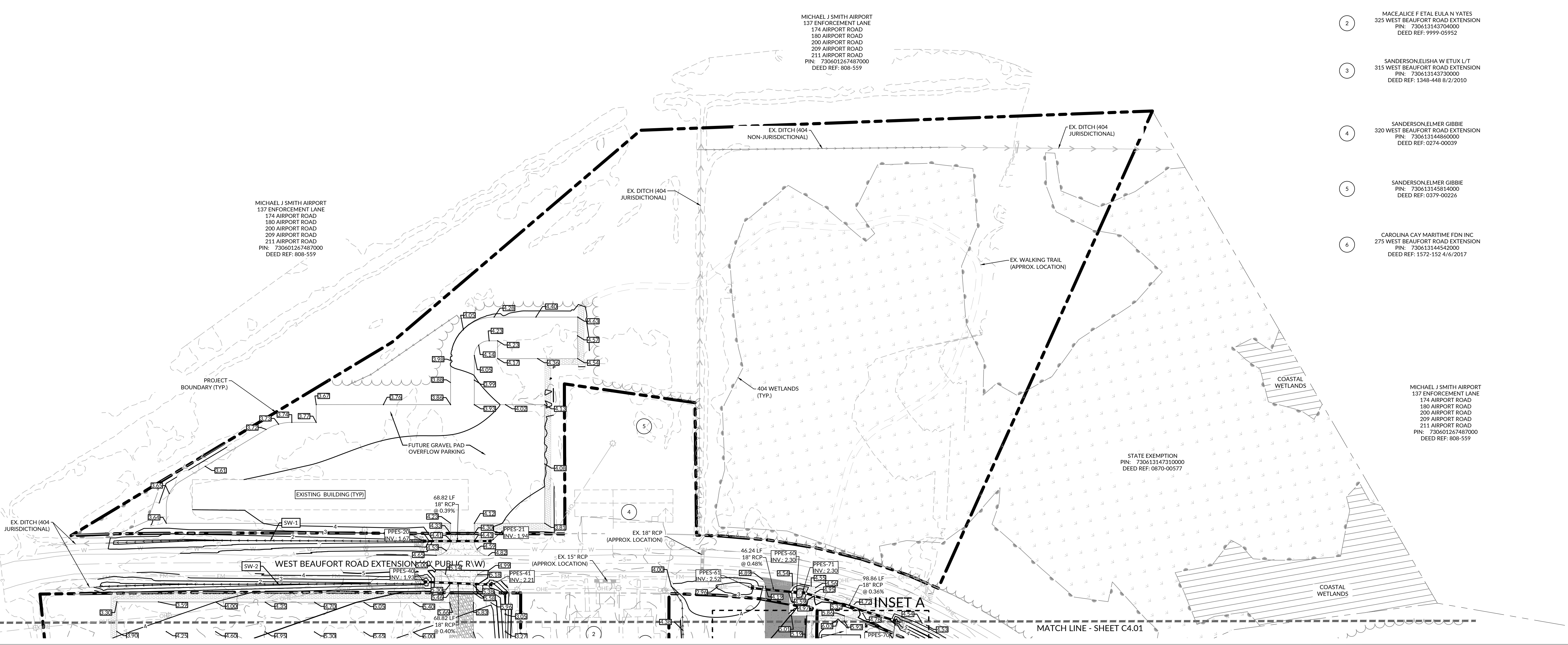
REVISIONS

NO.	DATE	DESCRIPTION
1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5
3	08/16/2024	ADDENDUM 7

KEY PLAN

SHEET  
**GRADING & DRAINAGE PLAN**

**C4.02**



- 1 BRICKHOUSE JAMES S JR  
335 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613142778000  
DEED REF: 0370-00126
- 2 MAKEALICE F ETAL EULA N YATES  
325 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613143704000  
DEED REF: 9999-00952
- 3 SANDERSON ELSHA W ETUX L/T  
315 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613143730000  
DEED REF: 1348-448 8/2/2010
- 4 SANDERSON ELMER GIBBIE  
320 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613144860000  
DEED REF: 0274-00039
- 5 SANDERSON ELMER GIBBIE  
PIN: 730613145814000  
DEED REF: 0379-00226
- 6 CAROLINA CAY MARITIME FDN INC  
275 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613144540000  
DEED REF: 1572-152 4/6/2017

**PROPOSED GRADING LEGEND**

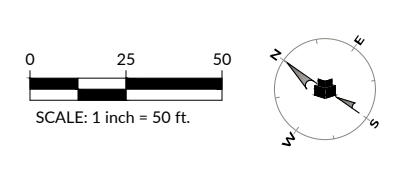
SYMBOL	DESCRIPTION
---	EXISTING MAJOR CONTOUR
- - -	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
- - -	PROPOSED MINOR CONTOUR
TOC	TOP OF CONCRETE
BOC	BOTTOM OF CONCRETE
TW	TOP OF WALL
BW	BOTTOM OF WALL
HP	HIGH POINT

**PROPOSED STORM DRAINAGE LEGEND**

SYMBOL	DESCRIPTION
---	STORM PIPE
▬	FLARED END SECTION (FES)
▬	RIP RAP DISSIPATOR

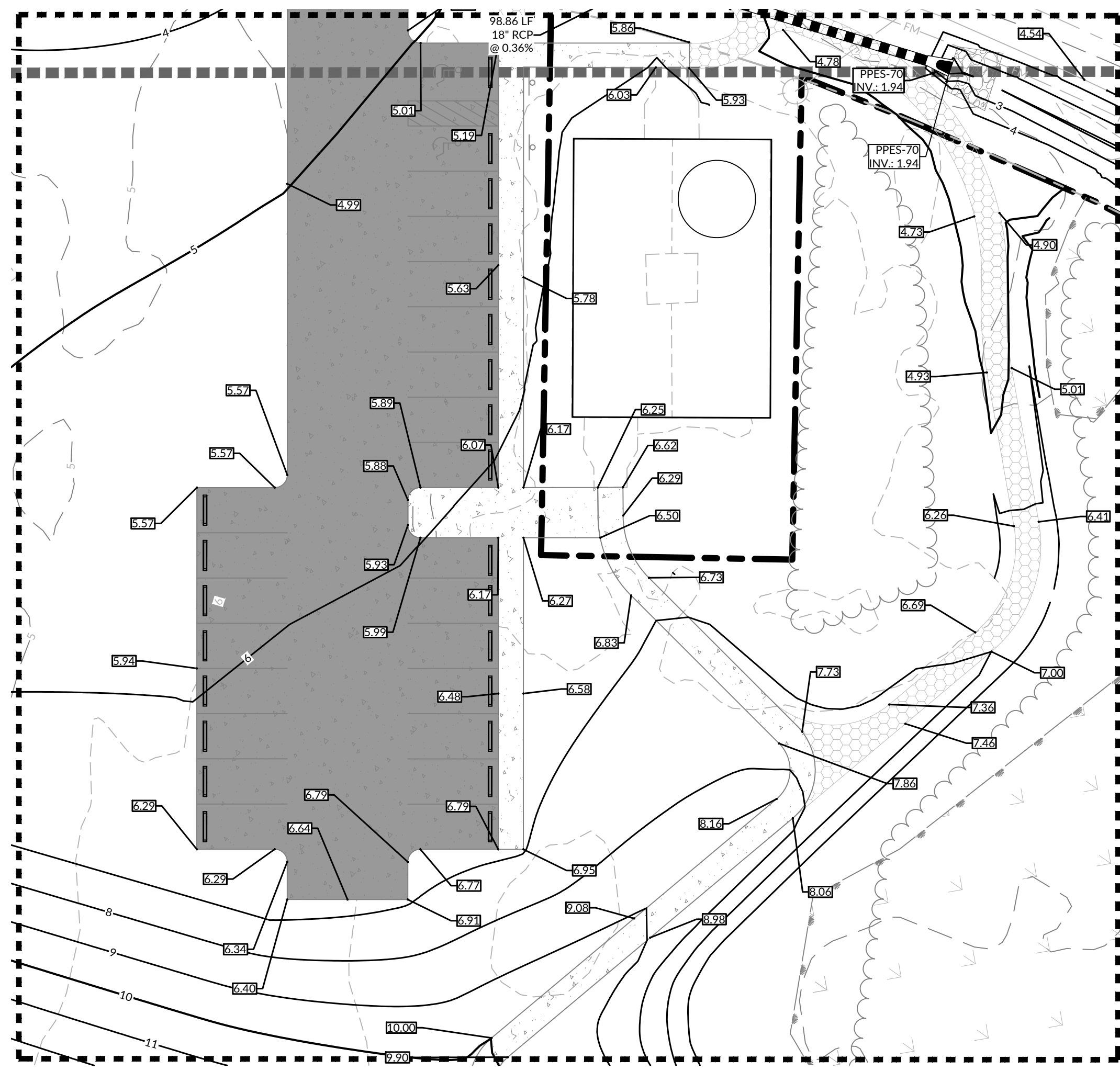
- NOTE:
1. ALL RCP IS TO BE CLASS III UNLESS OTHERWISE NOTED.
  2. SEE SHEET C4.01 FOR CHART WITH VELOCITY DISSIPATOR DETAILS.
  3. SEE SHEET C4.02 FOR DITCH CROSS SECTION DETAILS.
  4. SEE SHEET C4.03 FOR INSET A, INSET B, AND INSET C.
  5. ALL ELEVATIONS ARE FROM EDGE OF PAVEMENT/GRAVEL/SIDEWALKS UNLESS OTHERWISE STATED.

**FLOOD PLAIN INVOLVEMENT:**  
DEVELOPMENT WHICH WILL TAKE PLACE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AT ELEVATION 4' IS DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF EXECUTIVE ORDER NO. 123-UNIFORM FLOODPLAIN MANAGEMENT POLICY.

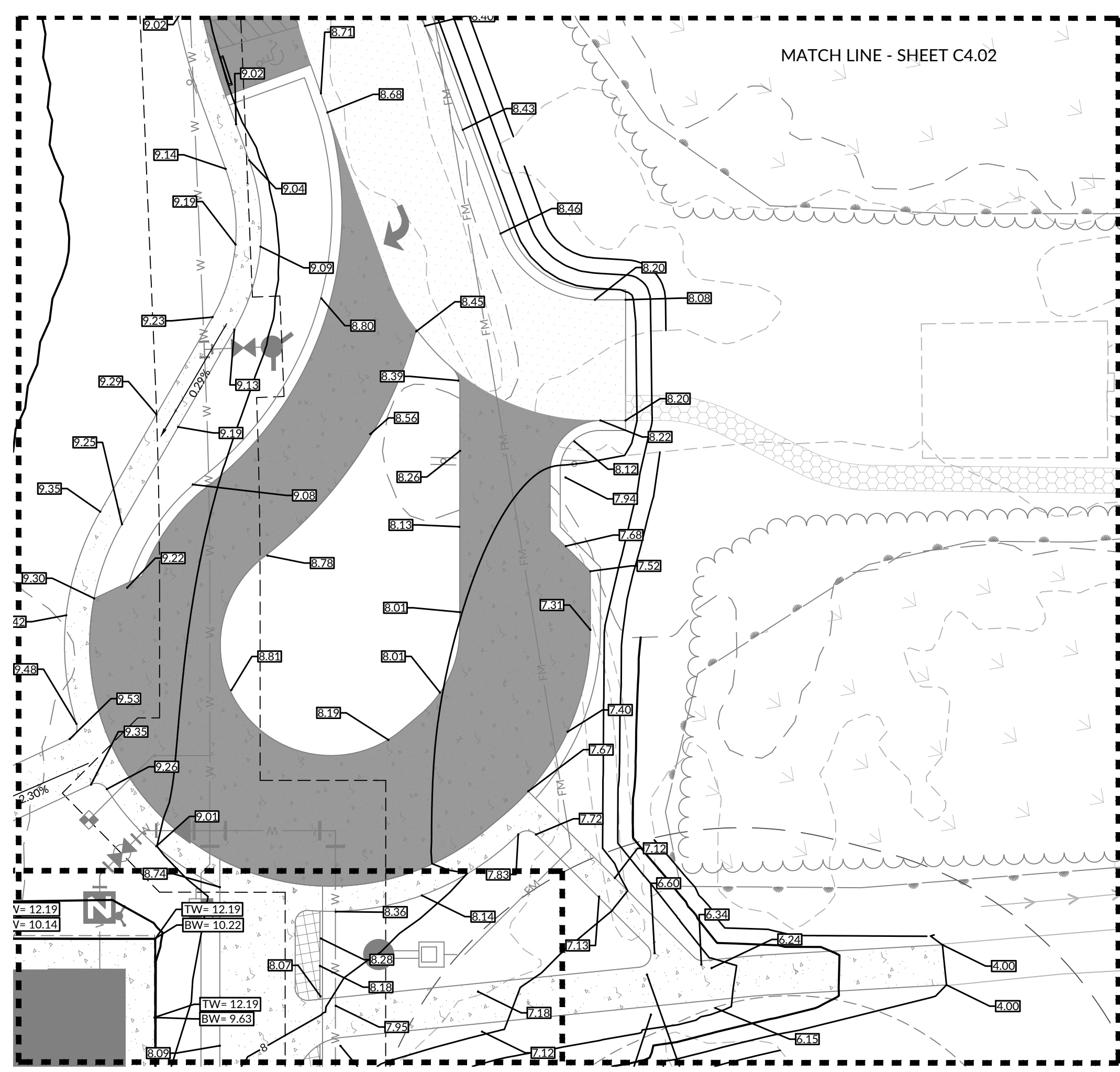


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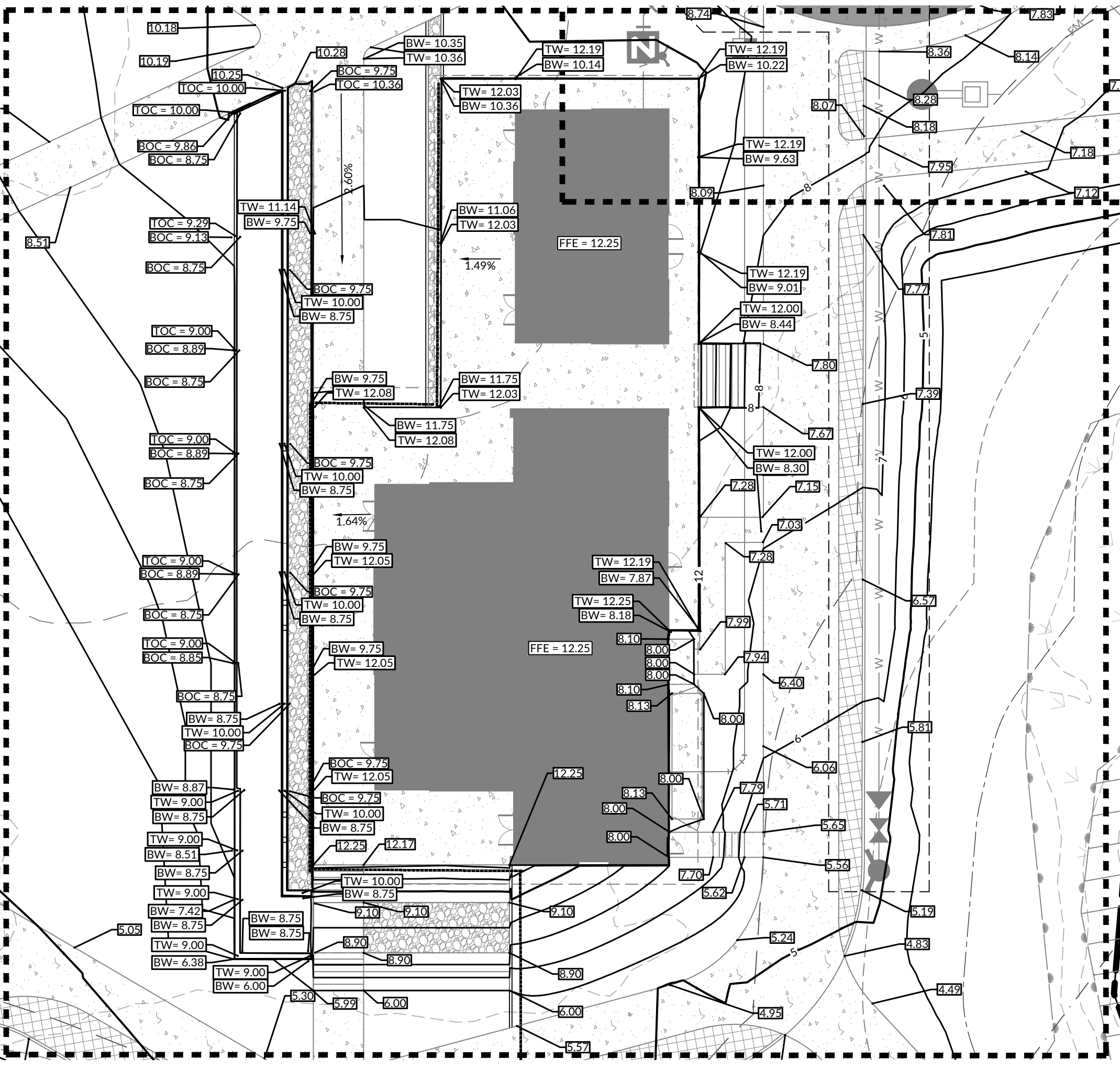




INSET A



INSET B



INSET C

**PROPOSED GRADING LEGEND**

SYMBOL	DESCRIPTION
---	EXISTING MAJOR CONTOUR
- - -	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
- - -	PROPOSED MINOR CONTOUR
TOC	TOP OF CONCRETE
BOC	BOTTOM OF CONCRETE
TW	TOP OF WALL
BW	BOTTOM OF WALL
HP	HIGH POINT

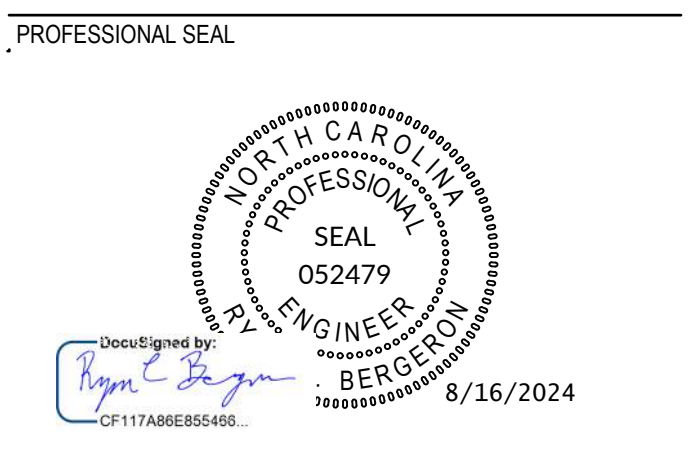
  

**PROPOSED STORM DRAINAGE LEGEND**

SYMBOL	DESCRIPTION
---	STORM PIPE
▭	FLARED END SECTION (FES)
▭	RIP RAP DISSIPATOR

- NOTE:
- ALL RCP IS TO BE CLASS III UNLESS OTHERWISE NOTED.
  - SEE SHEET C6.03 FOR CHART WITH VELOCITY DISSIPATOR DETAILS.
  - SEE SHEET C6.02 FOR DITCH CROSS SECTION DETAILS.
  - SEE SHEET C4.03 FOR INSET A, INSET B, AND INSET C.
  - ALL ELEVATIONS ARE FROM EDGE OF PAVEMENT/GRAVEL/SIDEWALKS UNLESS OTHERWISE STATED.

**FLOOD PLAIN INVOLVEMENT:**  
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SUBMITTAL  
 JUNE 7, 2024

**BID DOCUMENTS**

REVISIONS

NO.	DATE	DESCRIPTION
1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5
3	08/16/2024	ADDENDUM 7

KEY PLAN

**GRADING ENLARGEMENT**

**C4.03**



**Maritime Education Center**

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145  
SOD ID #: 24-27656-01A

DESIGNER

**CLARK NEXSEN**

421 NORTH HARRINGTON STREET, SUITE 600  
RALEIGH, NORTH CAROLINA 27603  
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER



219 STATION ROAD, SUITE 101  
WILMINGTON, NORTH CAROLINA 28405  
910-256-9277  
WWW.WITHERSRAVENEL.COM  
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL



SUBMITTAL

JUNE 7, 2024

**BID DOCUMENTS**

REVISIONS

NO.	DATE	DESCRIPTION
1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5
3	08/16/2024	ADDENDUM 7

KEY PLAN

SHEET

**EROSION CONTROL PLAN (STAGE 1)**

**C5.01**

DESIGN: RCB  
DRAWN: GWR  
REVIEW: RCB

CN 10145

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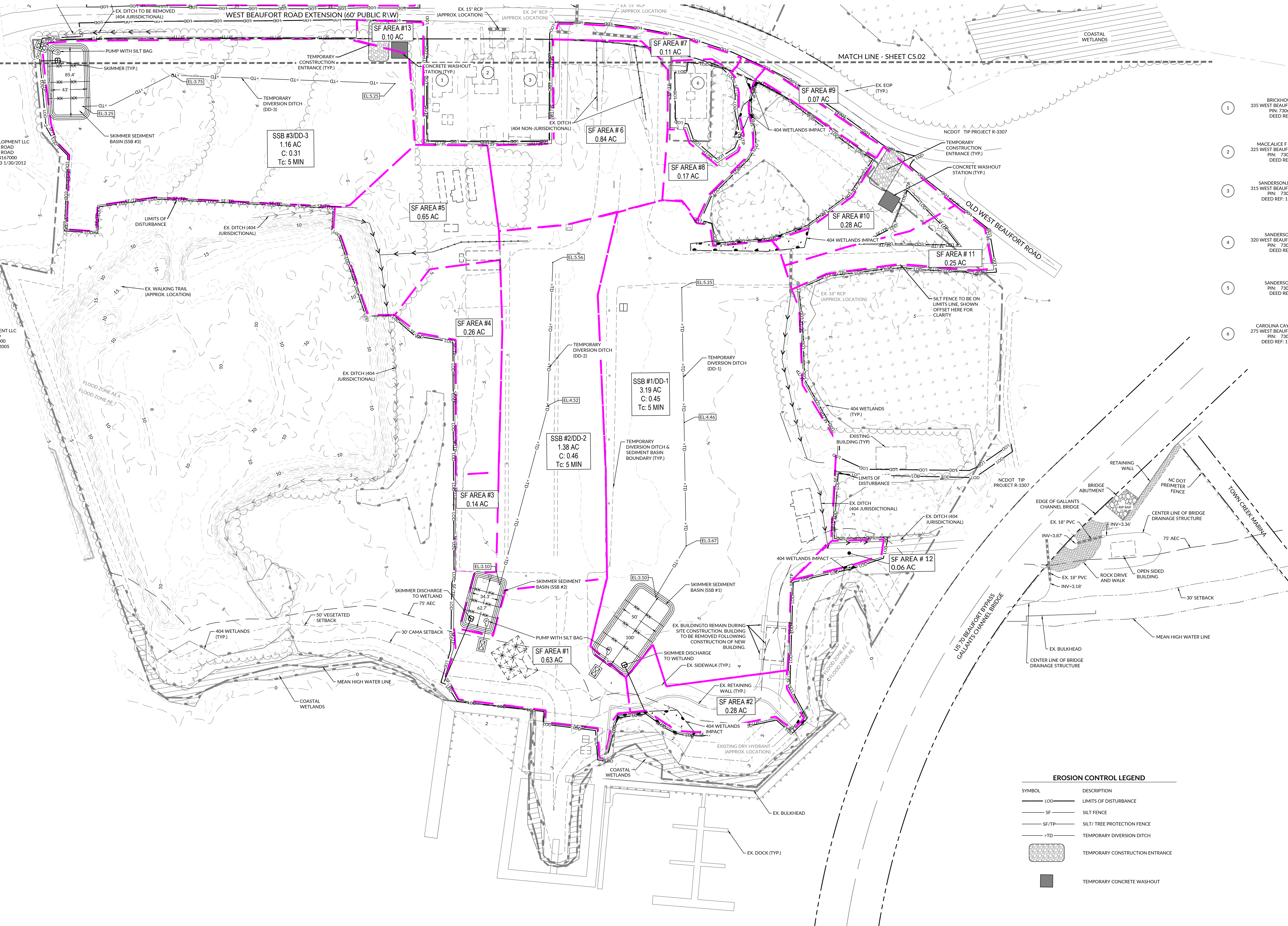
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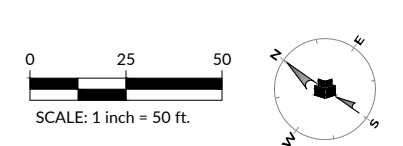
B

A



**EROSION CONTROL LEGEND**

SYMBOL	DESCRIPTION
LOD	LIMITS OF DISTURBANCE
SF	SILT FENCE
SF/TP	SILT/TREE PROTECTION FENCE
TD	TEMPORARY DIVERSION DITCH
[Hatched Box]	TEMPORARY CONSTRUCTION ENTRANCE
[Solid Box]	TEMPORARY CONCRETE WASHOUT





**EROSION CONTROL LEGEND**

SYMBOL	DESCRIPTION
LOD	LIMITS OF DISTURBANCE
SF	SILT FENCE
SF/TP	SILT/TREE PROTECTION FENCE
TD	TEMPORARY DIVERSION DITCH
[Hatched Box]	TEMPORARY CONSTRUCTION ENTRANCE
[Solid Black Box]	TEMPORARY CONCRETE WASHOUT



- 1 BRICKHOUSE JAMES S JR  
335 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613142778000  
DEED REF: 0370-00126
- 2 MACEALICE F ETAL EULA N YATES  
325 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613143704000  
DEED REF: 9999-05952
- 3 SANDERSON ELSHA W ETUX L/T  
315 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613143730000  
DEED REF: 1348-448 8/2/2010
- 4 SANDERSON ELMER GIBBIE  
320 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613144860000  
DEED REF: 0274-00039
- 5 SANDERSON ELMER GIBBIE  
PIN: 730613145814000  
DEED REF: 0379-00226
- 6 CAROLINA CAY MARITIME FDN INC  
275 WEST BEAUFORT ROAD EXTENSION  
PIN: 73061314542000  
DEED REF: 1572-152 4/6/2017

### Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145  
SOD ID #: 24-27656-01A

DESIGNER

## CLARK NEXSEN

421 NORTH HARRINGTON STREET, SUITE 600  
RALEIGH, NORTH CAROLINA 27603  
919-828-1876

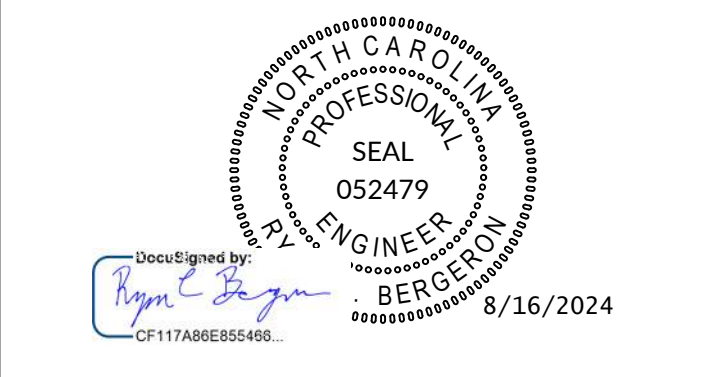
CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER



219 STATION ROAD, SUITE 101  
WILMINGTON, NORTH CAROLINA 28405  
910-256-9277  
WWW.WITHERSRAVENEL.COM  
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL



SUBMITTAL

JUNE 7, 2024

### BID DOCUMENTS

REVISIONS

NO.	DATE	DESCRIPTION
1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5
3	08/16/2024	ADDENDUM 7

KEY PLAN

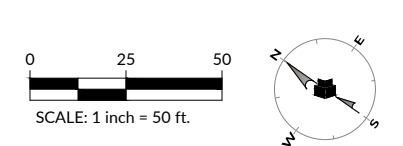
SHEET

### EROSION CONTROL PLAN (STAGE 1)

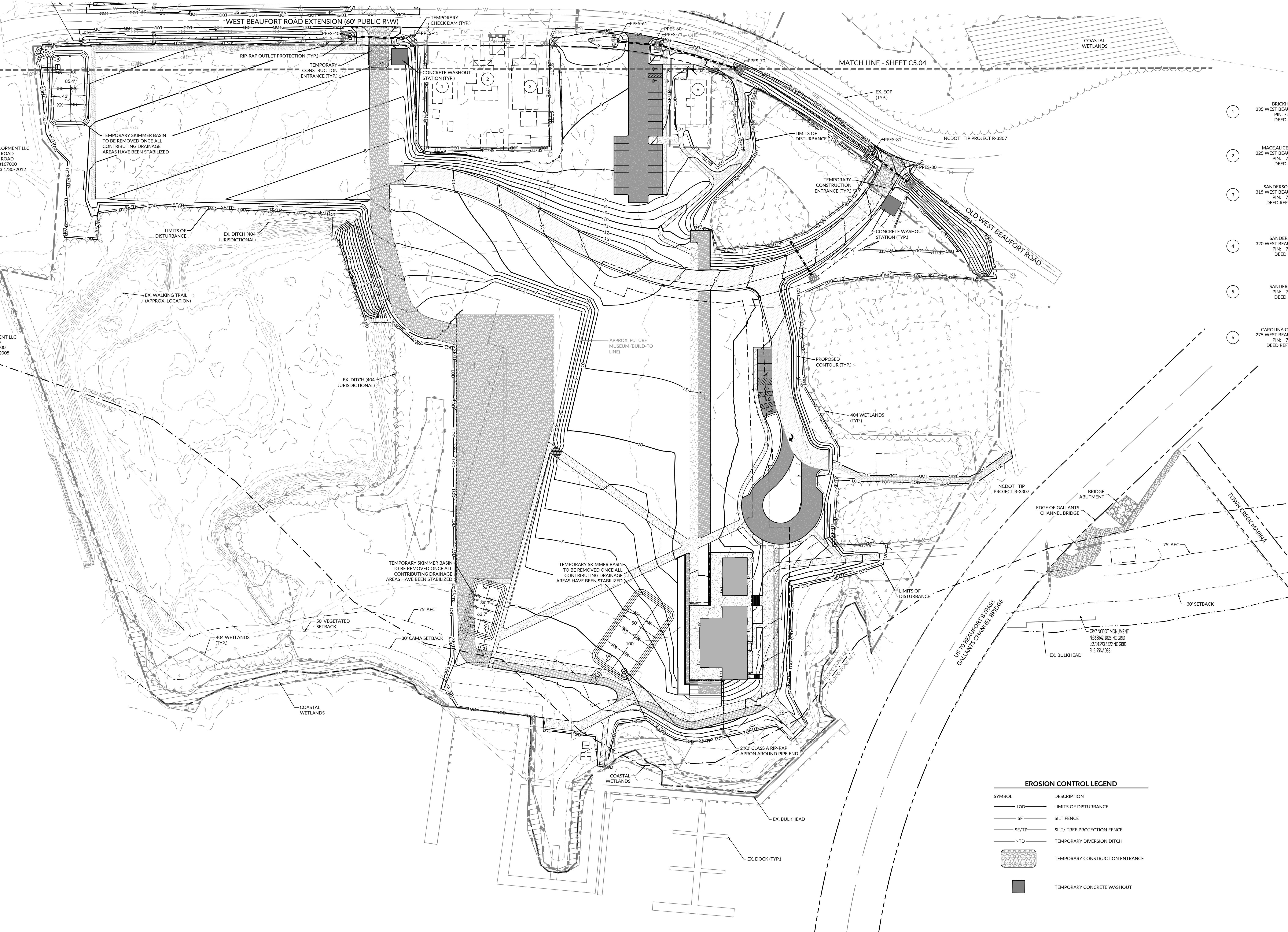
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DESIGN: RCB  
DRAWN: GWR  
REVIEW: RCB

CN 10145



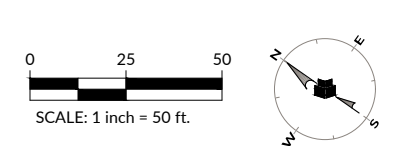




- 1 BRICKHOUSE, JAMES S JR  
335 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613145778000  
DEED REF: 0370-00126
- 2 MACE, LICE F ET AL, EULA N YATES  
325 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613145704000  
DEED REF: 9999-05952
- 3 SANDERSON, ELISHA W ETUX L/T  
315 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613144860000  
DEED REF: 1348-448.8/2/2010
- 4 SANDERSON, ELMER GIBBIE  
320 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613144860000  
DEED REF: 0274-00039
- 5 SANDERSON, ELMER GIBBIE  
PIN: 730613148140000  
DEED REF: 0379-00226
- 6 CAROLINA CAY MARITIME FDN INC  
275 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613144542000  
DEED REF: 1572-152.4/6/2017

**EROSION CONTROL LEGEND**

SYMBOL	DESCRIPTION
---	LIMITS OF DISTURBANCE
---	SILT FENCE
---	SILT/ TREE PROTECTION FENCE
---	TEMPORARY DIVERSION DITCH
[Pattern]	TEMPORARY CONSTRUCTION ENTRANCE
[Square]	TEMPORARY CONCRETE WASHOUT



**CLARK NEXSEN**

421 NORTH HARRINGTON STREET, SUITE 600  
RALEIGH, NORTH CAROLINA 27603  
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER

**WithersRavenel**

219 STATION ROAD, SUITE 101  
WILMINGTON, NORTH CAROLINA 28405  
910-256-9277  
WWW.WITHERSRAVENEL.COM  
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL

SUBMITTAL  
JUNE 7, 2024

**BID DOCUMENTS**

REVISIONS

NO.	DATE	DESCRIPTION
1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5
3	08/16/2024	ADDENDUM 7

KEY PLAN

SHEET

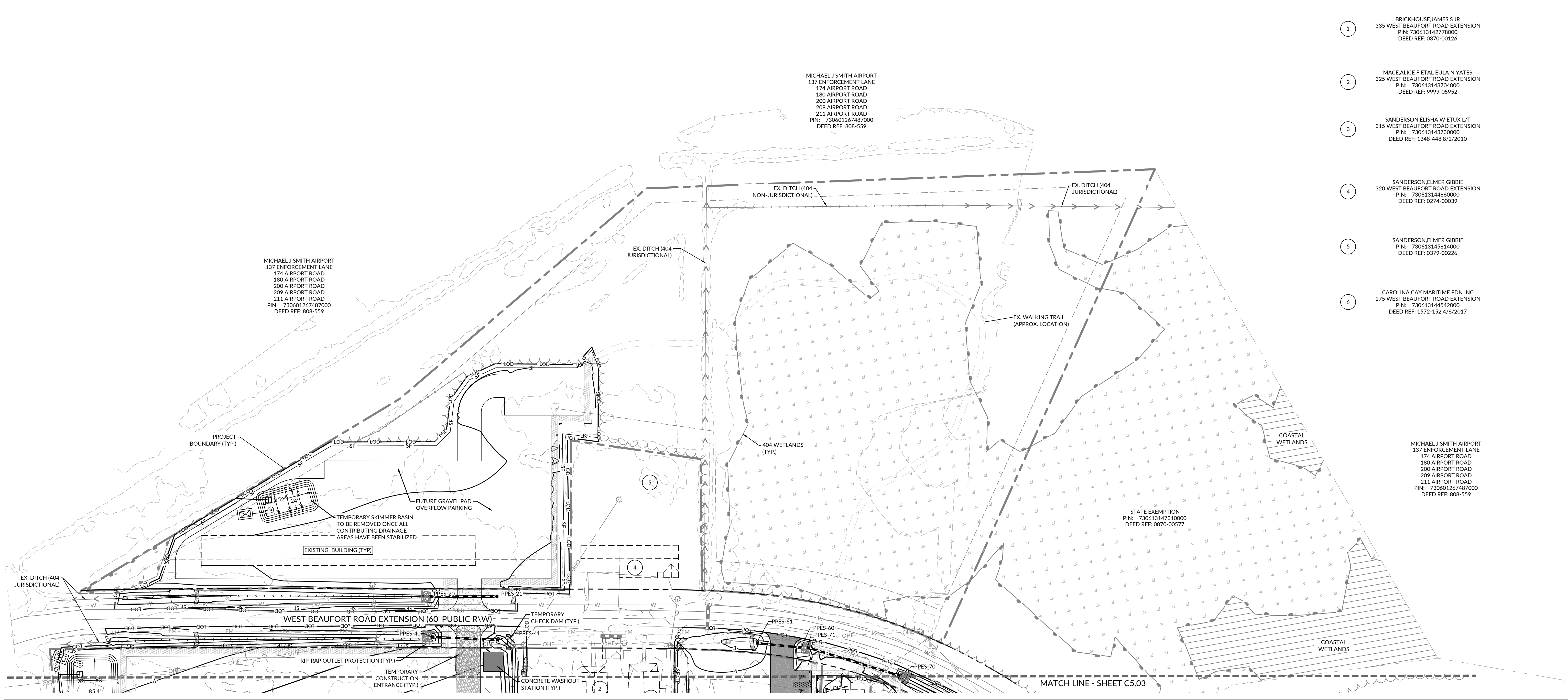
**EROSION CONTROL PLAN  
(STAGE 2)**

**C5.03**



**EROSION CONTROL LEGEND**

SYMBOL	DESCRIPTION
---	LIMITS OF DISTURBANCE
---	SILT FENCE
---	SILT / TREE PROTECTION FENCE
---	TEMPORARY DIVERSION DITCH
[Pattern]	TEMPORARY CONSTRUCTION ENTRANCE
[Square]	TEMPORARY CONCRETE WASHOUT



- 1 BRICKHOUSE, JAMES S JR  
335 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613142778000  
DEED REF: 0370-00126
- 2 MACEALICE F ETAL EULAN YATES  
325 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613143704000  
DEED REF: 9999-00952
- 3 SANDERSON ELSHA W ETUX L/T  
315 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613143730000  
DEED REF: 1348-448 8/2/2010
- 4 SANDERSON ELMER GIBBIE  
320 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613144680000  
DEED REF: 0274-00039
- 5 SANDERSON ELMER GIBBIE  
PIN: 730613145814000  
DEED REF: 0379-00226
- 6 CAROLINA CAY MARITIME FDN INC  
275 WEST BEAUFORT ROAD EXTENSION  
PIN: 730613146450000  
DEED REF: 1572-152 4/6/2017

### Maritime Education Center

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145  
SOD ID #: 24-27055-01A  
DESIGNER:

**CLARK NEXSEN**  
421 NORTH HARRINGTON STREET, SUITE 600  
RALEIGH, NORTH CAROLINA 27603  
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER  
**WithersRavenel**

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910-256-9277  
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WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL



SUBMITTAL  
JUNE 7, 2024

### BID DOCUMENTS

REVISIONS

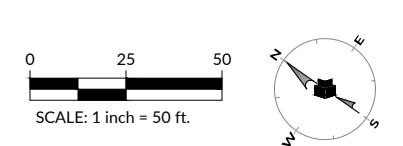
NO.	DATE	DESCRIPTION
1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5
3	08/16/2024	ADDENDUM 7

KEY PLAN

### EROSION CONTROL PLAN (STAGE 2)

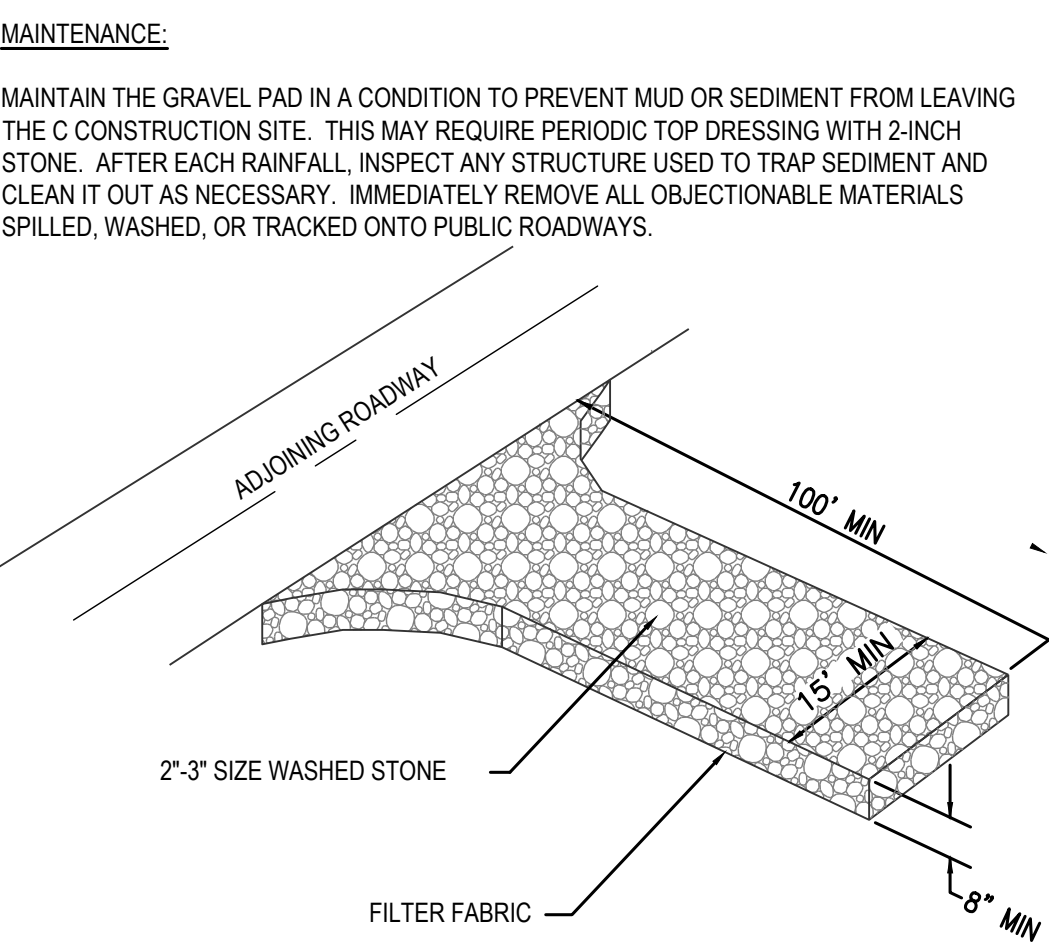
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DRAWN: GWR  
REVIEW: RCB  
CN 10145

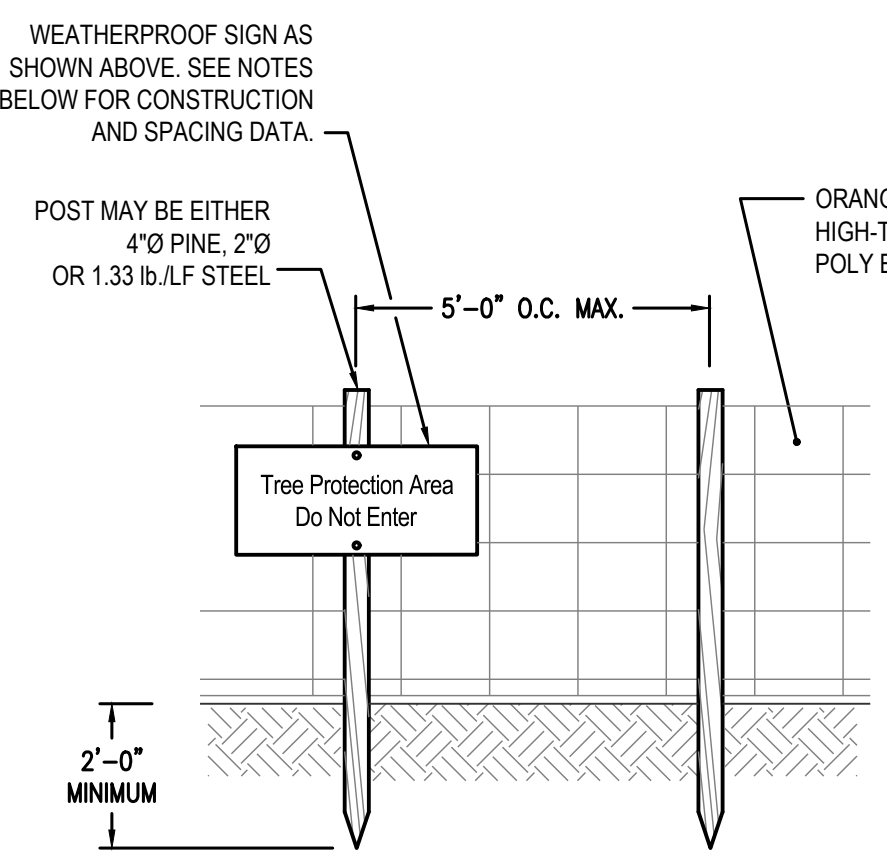




- NOTES:**
- PROVIDE TURNING RADIUS SUFFICIENT TO ACCOMMODATE LARGE TRUCKS.
  - LOCATE ENTRANCE TO PROVIDE MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES.
  - MUST BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING, OR DIRECT FLOW, OF MUD ONTO STREETS. PERIODIC TOPDRESSING WITH STONE WILL BE NECESSARY.
  - ANY MATERIAL WHICH MAKES IT ONTO THE ROAD MUST BE CLEANED UP IMMEDIATELY.
  - APPLICABLE AT ALL POINTS OF INGRESS/EGRESS UNTIL SITE IS STABILIZED. FREQUENT CHECKS OF THE DEVICE AND TIMELY MAINTENANCE MUST BE PROVIDED.
  - WHEN TEMPORARY CONSTRUCTION ENTRANCES ARE LOCATED ON PAVED SURFACES, PLACE MINIMUM OF 2" OF SCREENINGS OR SAND TO HELP FACILITATE IN CLEAN-UP AND SITE RESTORATION.

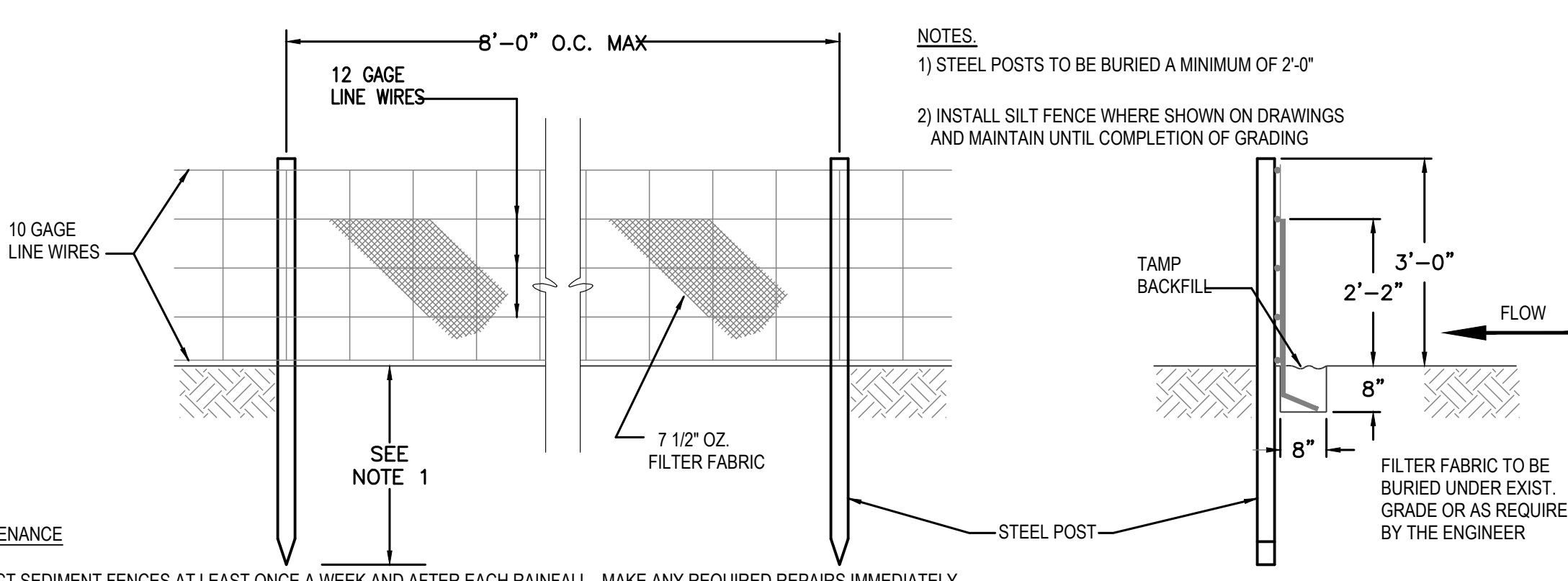


**TEMPORARY CONSTRUCTION ENTRANCE**  
NTS



- NOTES:**
- WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL.
  - LETTERS ARE TO BE 3" HIGH MIN., CLEARLY LEGIBLE AND SPACED AS DETAILED.
  - SIGNS ARE TO BE PLACED NO GREATER THAN 200' ON CENTER.
  - PLACE SIGN AT EACH END OF LINEAR TREE PROTECTION AREA AND ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
  - ATTACH SIGNS SECURELY TO FENCE POST AND FABRIC.
  - MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.

**TREE PROTECTION FENCE**  
NTS



- NOTES:**
- STEEL POSTS TO BE BURIED A MINIMUM OF 2'-0"
  - INSTALL SILT FENCE WHERE SHOWN ON DRAWINGS AND MAINTAIN UNTIL COMPLETION OF GRADING

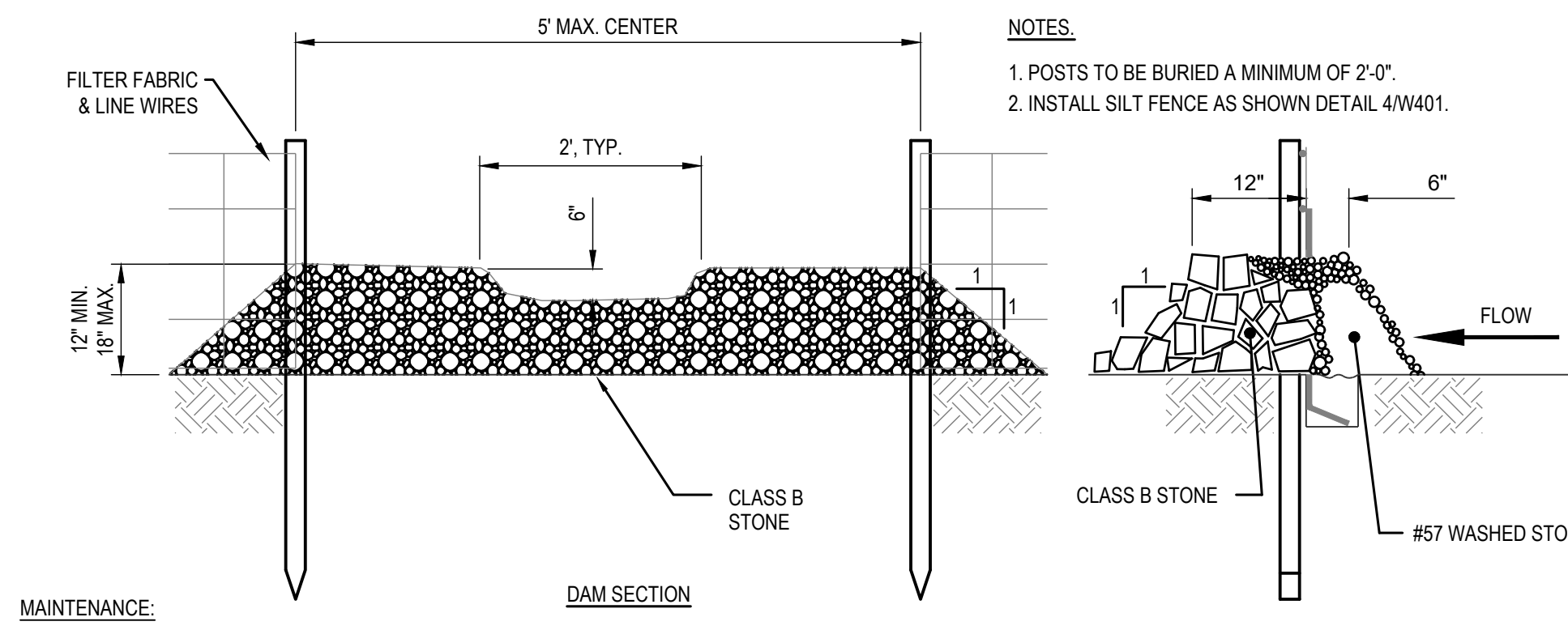
**MAINTENANCE**

INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF THE SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.

REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.

REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

**SILT FENCE**  
NTS

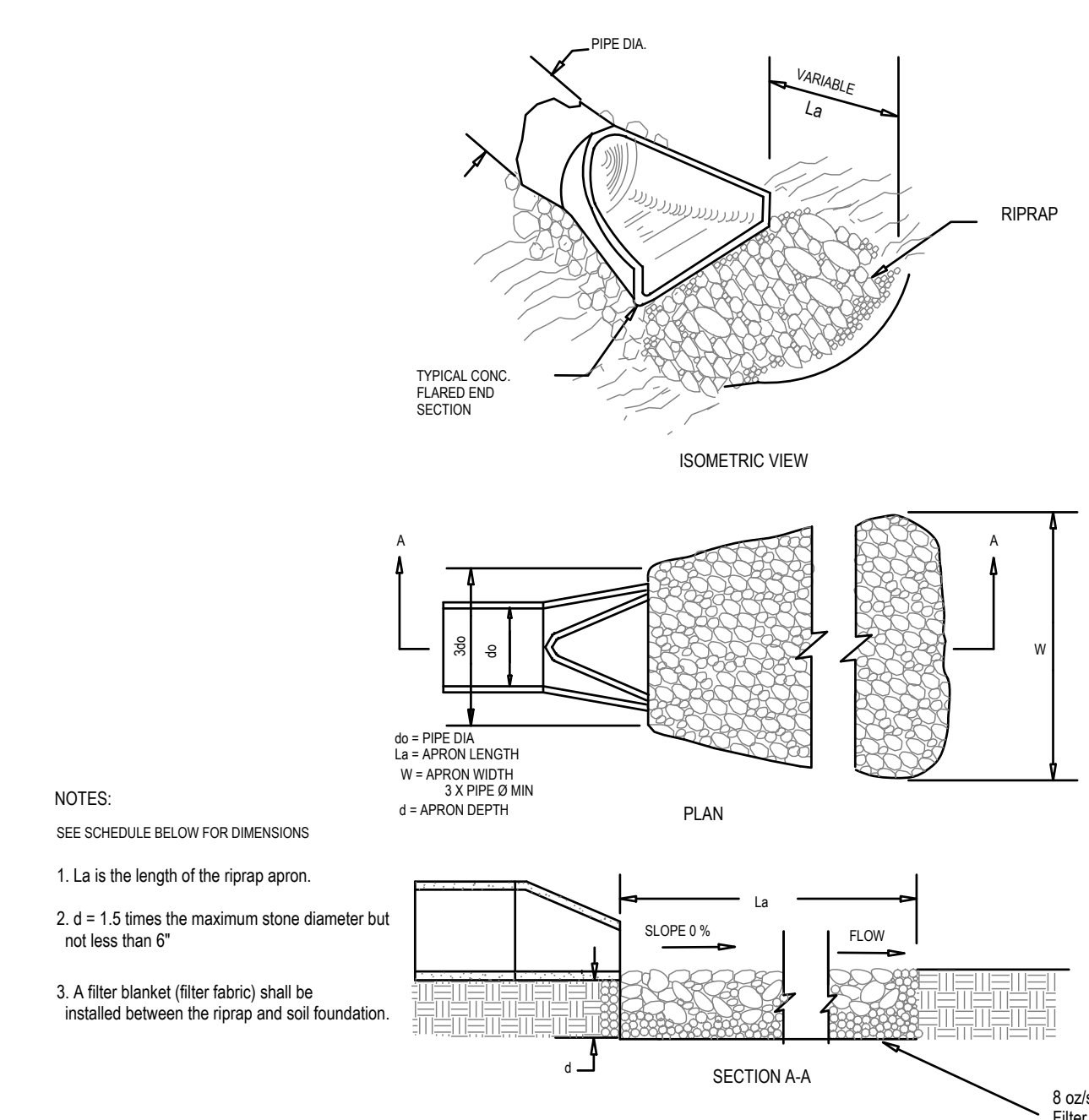


- NOTES:**
- POSTS TO BE BURIED A MINIMUM OF 2'-0"
  - INSTALL SILT FENCE AS SHOWN DETAIL 4W401.

**MAINTENANCE:**

INSPECT FOR SIGNIFICANT EROSION AROUND THE EDGES & BETWEEN SILT FENCE & DRAIN. INSTALL PROTECTIVE RIP-RAP LINERS IN PORTIONS OF THE CHANNEL WHERE EROSION OCCURS. REMOVE SEDIMENT ACCUMULATED BEHIND THE DRAINS AS REQUIRED PREVENTING DAMAGE TO SILT FENCE & ADJACENT VEGETATION. ADD STONES TO DRAINS AS REQUIRED MAINTAINING DESIGN HEIGHT & CROSS SECTION.

**SILT FENCE OUTLET**  
NTS



- NOTES:**
- SEE SCHEDULE BELOW FOR DIMENSIONS
- La is the length of the riprap apron.
  - d = 1.5 times the maximum stone diameter but not less than 6"
  - A filter blanket (filter fabric) shall be installed between the riprap and soil foundation.

**CONSTRUCTION SPECIFICATION**

- EXCAVATE BELOW CHANNEL OUTLET AND WIDEN CHANNEL TO THE REQUIRED RIPRAP THICKNESS FOR EACH APRON. FOUNDATION TO BE CUT TO ZERO GRADE AND SMOOTHED.
- PLACE FILTER CLOTH ON BOTTOM AND SIDES OF PREPARED FOUNDATION. ALL JOINTS TO OVERLAP A MINIMUM OF 1'-0".
- EXERCISE CARE IN RIPRAP PLACEMENT TO AVOID DAMAGE TO FILTER FABRIC.
- PLACE RIPRAP ON ZERO GRADE - TOP OF RIPRAP TO BE LEVEL WITH EXISTING OUTLET - NO OVERFALL AT ENDS.
- RIPRAP TO BE HARD, ANGULAR, WELL GRADED CLASS B EROSION CONTROL STONE.
- IMMEDIATELY AFTER CONSTRUCTION STABILIZED ALL DISTURBED AREAS WITH VEGETATION AS SHOWN IN VEGETATIVE PLAN.

**MAINTENANCE**

INSPECT RIP RAP DISSIPATORS WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT TO SEE IF ANY EROSION AROUND OR BELOW THE RIP RAP HAS TAKEN PLACE. OR IF STONES HAVE BEEN DISLOOGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.

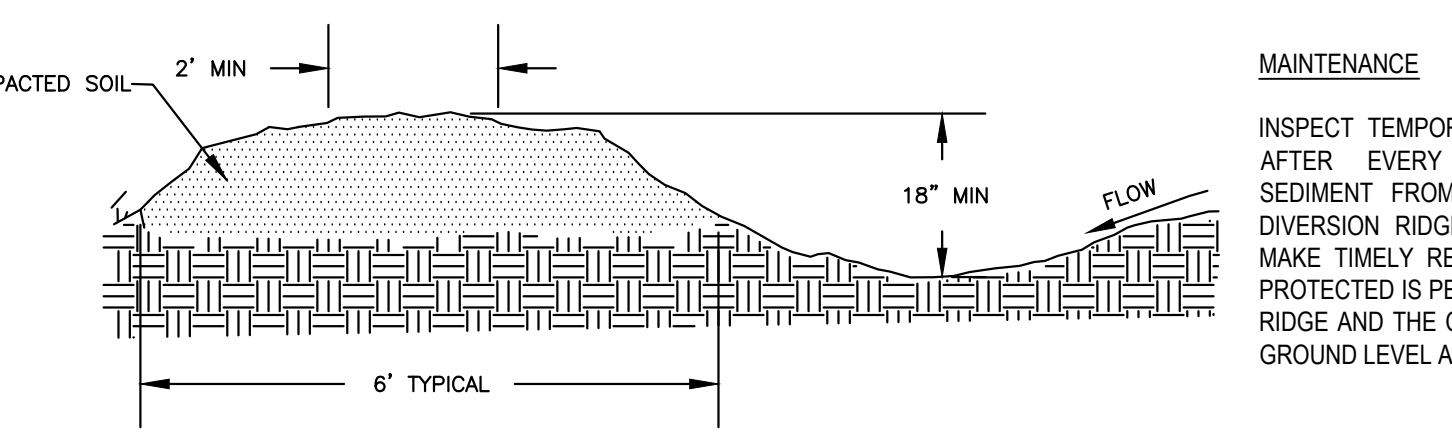
**VELOCITY DISSIPATOR DESIGN SUMMARY**

OUTLET	PIPE (D=)	Q25 (MG)	SLOPE (NO)	VELOCITY (FPS)	ZONE	TYPE	LENGTH (L) (FT)	WIDTH (W1) (FT)	WIDTH (W2) (FT)	STONE CLASS	MIN. DEPTH (IN)
PPES-10	18	2.53	0.39	3.44	1	CHANNEL	6	4.5	3.9	A	9
PPES-20	18	0.23	0.39	1.57	1	CHANNEL	6	4.5	3.9	A	9
PPES-30	15 x 2	10.99	0.39	4.60	1	CHANNEL	7.1	5.3	4.6	A	9
PPES-40	18	2.31	0.40	3.42	1	OVERLAND	4.5	4.5	6	A	12
PPES-50	18	2.17	0.44	3.43	1	CHANNEL	6	4.5	3.9	A	9
PPES-60	18	0.66	0.44	2.31	1	CHANNEL	6	4.5	3.9	A	9
PPES-70	18	1.68	2.50	6.29	1	CHANNEL	6	4.5	3.9	A	9
PPES-80	18	1.68	2.50	6.29	1	CHANNEL	6	4.5	3.9	A	9
PPES-90	18	2.18	0.38	3.26	1	OVERLAND	4.5	4.5	6	A	12

**RIP RAP ENERGY DISSIPATER**  
N.T.S.

**CHANNEL DESIGN INFORMATION**

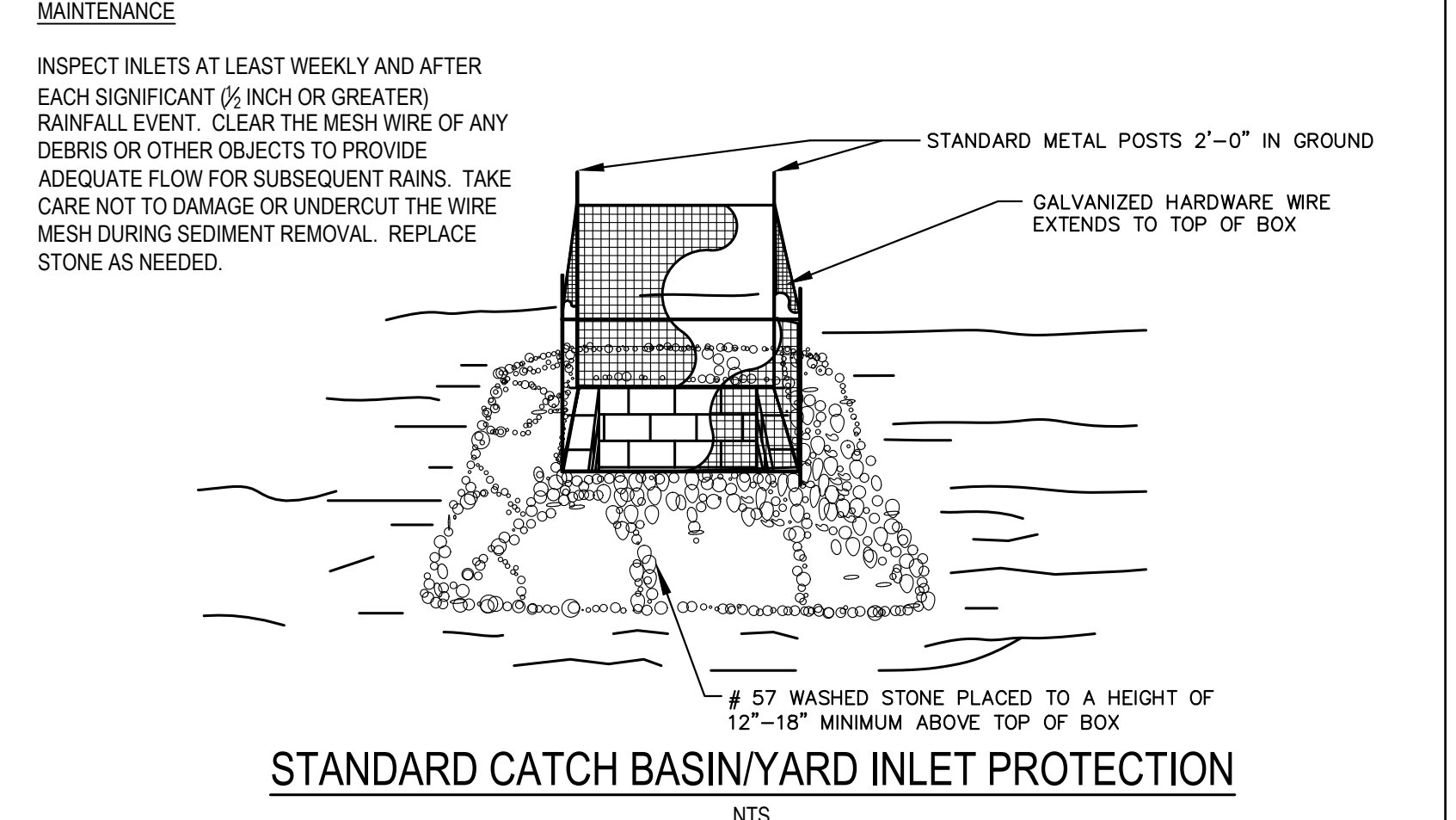
CHANNEL I.D.	DRAINAGE AREA (AC)	WEIGHTED C COEFFICIENT	CHANNEL FLOW (CFS)	CHANNEL SLOPE (%)	CHANNEL FLOW DEPTH (FT)	CHANNEL MINIMUM DEPTH (FT)	CHANNEL BOTTOM WIDTH (FT)	CHANNEL SIDE SLOPES	CHANNEL VELOCITY (FPS)	ALLOWABLE VELOCITY (FPS)	CHANNEL SHEAR STRESS (PSF)	ALLOWABLE SHEAR STRESS (PSF)	DITCH LINING
1	3.16	0.42	10.53	1.00	1.29	1.79	0.50	3:1	1.87	8.00	0.80	2.10	NAG SC150BN OR EQUAL
2	1.38	0.50	5.47	1.00	1.10	1.60	0.50	3:1	1.31	8.00	0.68	2.10	NAG SC150BN OR EQUAL
3	1.16	0.31	2.86	1.00	0.74	1.50	0.50	3:1	1.43	5.00	0.45	1.60	NAG S75BN OR EQUAL
4	0.69	0.50	2.74	1.00	0.72	1.50	0.50	3:1	1.41	5.00	0.45	1.60	NAG S75BN OR EQUAL



**MAINTENANCE**

INSPECT TEMPORARY DIVERSIONS ONCE A WEEK AND AFTER EVERY RAINFALL. IMMEDIATELY REMOVE SEDIMENT FROM THE FLOW AREA AND REPAIR THE DIVERSION RIDGE. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NEEDED. WHEN THE AREA PROTECTED IS PERMANENTLY STABILIZED, REMOVE THE RIDGE AND THE CHANNEL TO BLEND WITH THE NATURAL GROUND LEVEL AND APPROPRIATELY STABILIZE IT.

**TEMPORARY DIVERSION SWALE**  
NTS

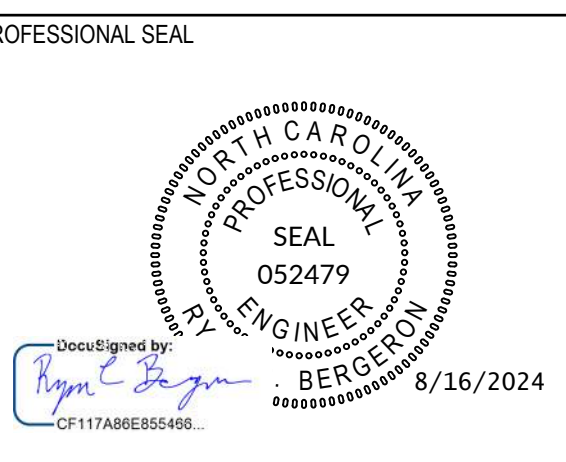


**MAINTENANCE**

INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.

**STANDARD CATCH BASIN/YARD INLET PROTECTION**  
NTS

- SEEDBED PREPARATION**
- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
  - RIP THE ENTIRE AREA TO 6 INCHES DEPTH.
  - REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
  - APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL.
  - CONTINUE TILLAGE UNTIL A WELL PULVERIZED, FIRM REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
  - SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
  - MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
  - INSPECT ALL SEEDBED AREAS AND MAKE NECESSARY REPAIRS OR RE-SEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 60% DAMAGED, RE-ESTABLISH FOLLOWING ORIGINAL LIME FERTILIZER AND SEEDING RATES.
  - CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.
- CONSULT CONSERVATION ENGINEER OR SOIL CONSERVATION SERVICE FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENIED AREAS. THE VEGETATION RATES ARE THOSE WHICH DO WELL UNDER LOCAL CONDITIONS. OTHER SEEDING RATES COMBINATIONS ARE POSSIBLE.
- \* TEMPORARY RE-SEED ACCORDING TO OPTIMUM SEASON FOR DESIRED PERMANENT VEGETATION. DO NOT ALLOW TEMPORARY COVER TO GROW OVER 12" IN HEIGHT BEFORE MOWING.

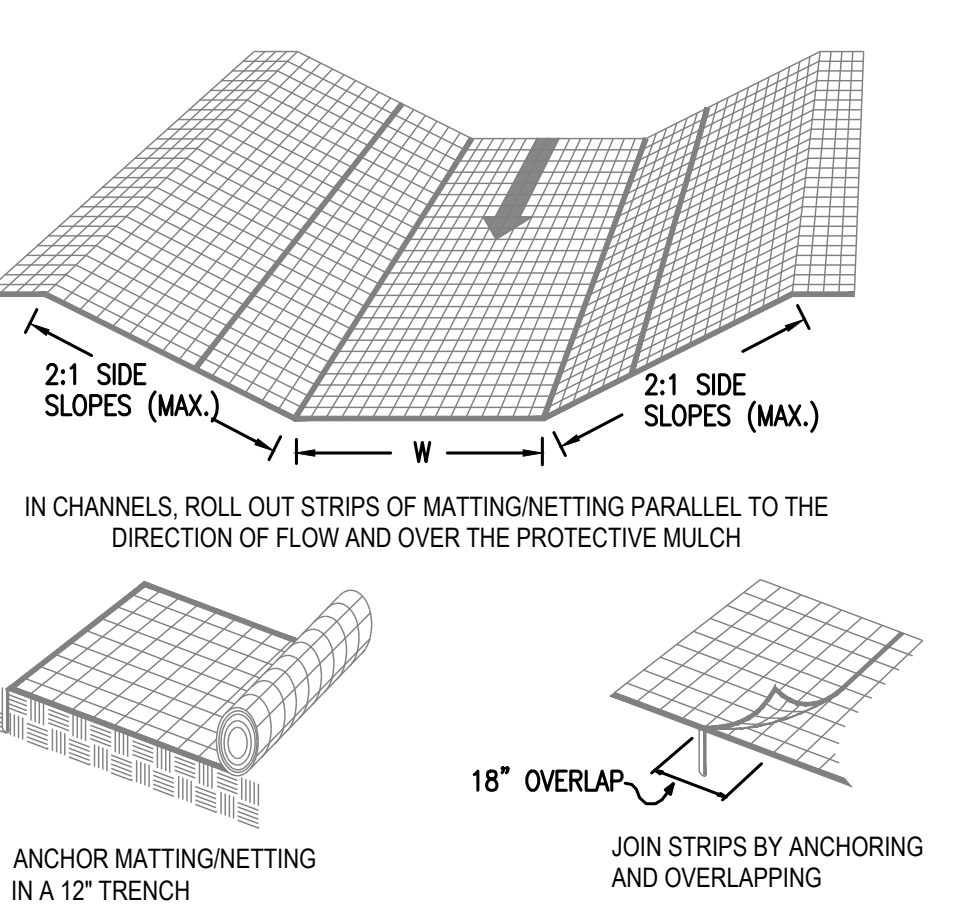


**SUBMITTAL**  
JUNE 7, 2024

**BID DOCUMENTS**

**REVISIONS**

NO.	DATE	DESCRIPTION
1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5
3	08/16/2024	ADDENDUM 7



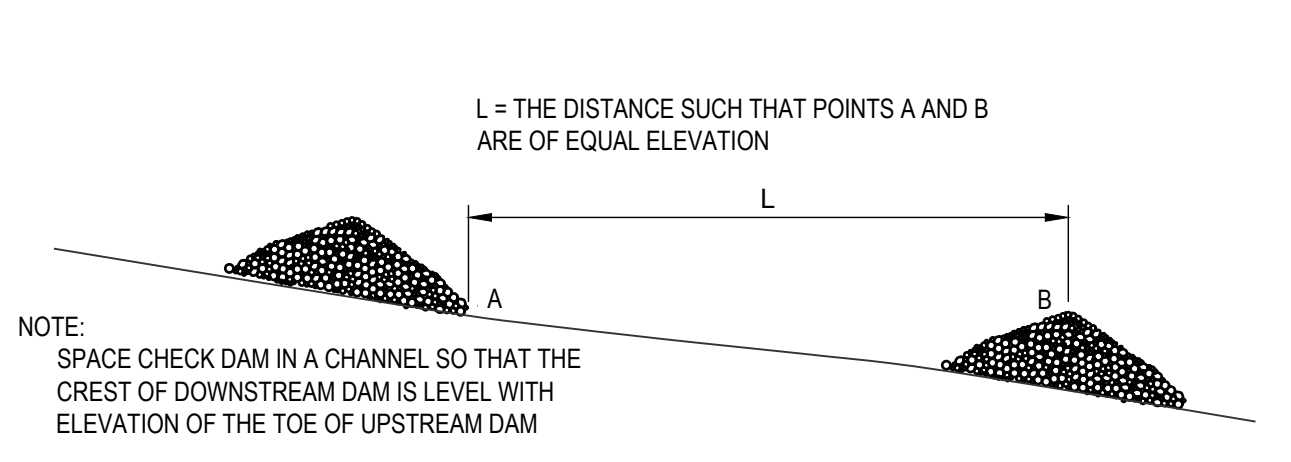
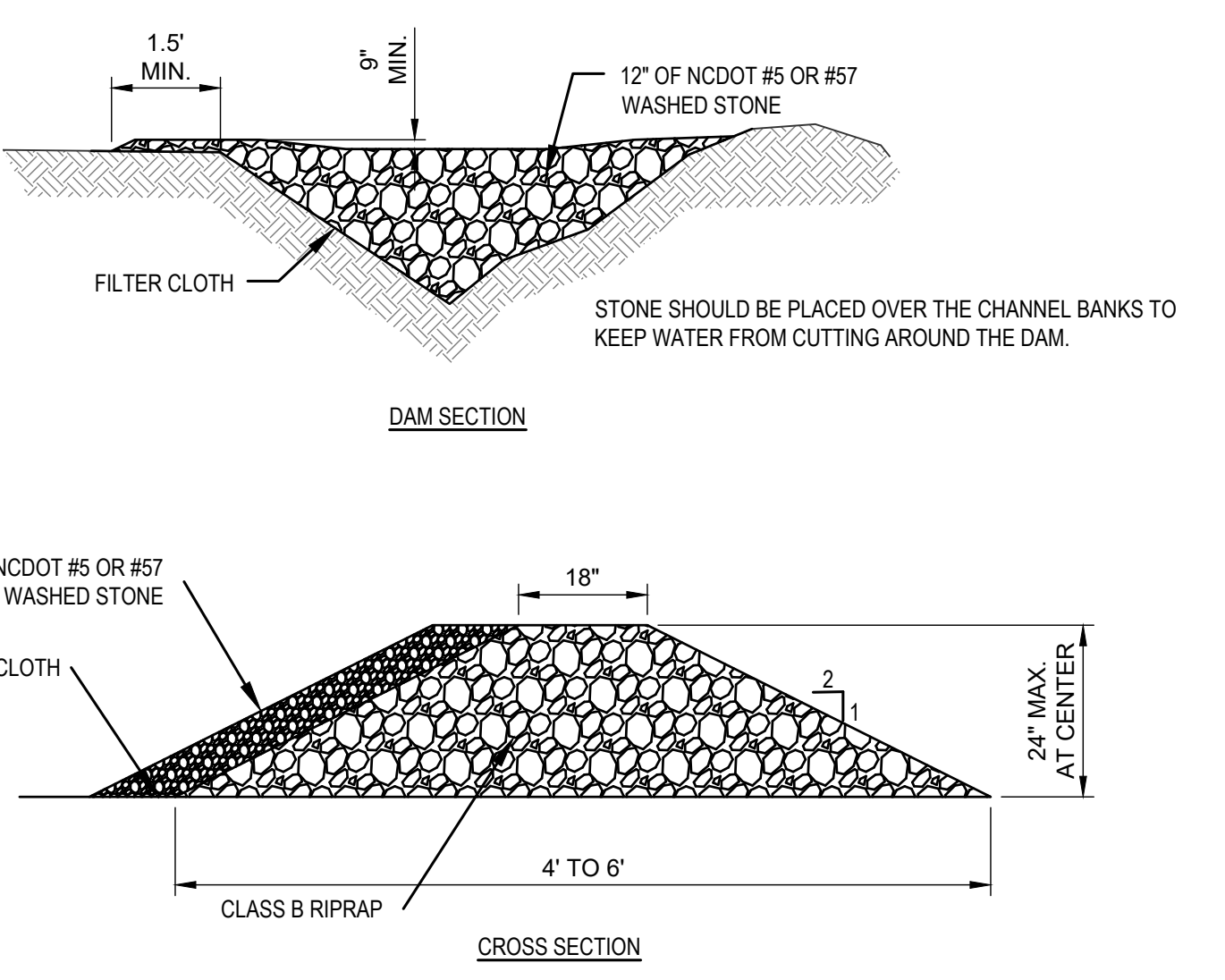
**ROLLED EROSION CONTROL PRODUCT MAINTENANCE:**

- INSPECT ROLLED EROSION CONTROL PRODUCTS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT. REPAIR IMMEDIATELY.
- GOOD CONTACT WITH THE GROUND MUST BE MAINTAINED, AND EROSION MUST NOT OCCUR BENEATH THE RECP.
- ANY AREAS OF THE RECP THAT ARE DAMAGED OR NOT IN CLOSE CONTACT WITH THE GROUND SHALL BE REPAIRED AND STAPLED.
- IF EROSION OCCURS DUE TO POORLY CONTROLLED DRAINAGE, THE PROBLEM SHALL BE FIXED AND THE ERODED AREA PROTECTED.
- MONITOR AND REPAIR THE RECP AS NECESSARY UNTIL GROUND COVER HAS ESTABLISHED.

**TEMPORARY**

Product Description	Longevity	Typical Slope Applications (H:V)	Channel Application Thresholds
Leno woven biodegradable jute top net, 100% straw fiber matrix	12 months	4:1-3:1	1.6 psf / 5.0 fps
Woven biodegradable jute top and bottom net, 100% straw fiber matrix	12 months	3:1-2:1	1.85 psf / 6.0 fps
Woven biodegradable jute top and bottom net, 70% straw/30% coconut fiber matrix	18 months	2:1-1:1	2.10 psf / 8.0 fps
UV stable polypropylene top & bottom nets, 100% coconut fiber matrix	36 months	1:1 and Greater	2.25 psf / 10.0 fps

**MATTING/NETTING PLACEMENT & SPECIFICATIONS**  
NTS



**NOTES:**

SPACE CHECK DAM IN A CHANNEL SO THAT THE CREST OF DOWNSTREAM DAM IS LEVEL WITH ELEVATION OF THE TOE OF UPSTREAM DAM

**MAINTENANCE**

INSPECT CHECK DAMS AND CHANNELS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. CLEAN OUT SEDIMENT, STRAW, LIMBS, OR OTHER DEBRIS THAT COULD CLOG THE CHANNEL WHEN NEEDED.

ANTICIPATE SUBMERGENCE AND DEPOSITION ABOVE THE CHECK DAM AND EROSION FROM HIGH FLOWS ROUND THE EDGES OF THE DAM. CORRECT ALL DAMAGE IMMEDIATELY. IF SIGNIFICANT EROSION OCCURS BETWEEN DAMS, ADDITIONAL MEASURES CAN BE TAKEN SUCH AS, INSTALLING A PROTECTIVE RIP RAP LINER IN THE THAT PORTION OF THE CHANNEL.

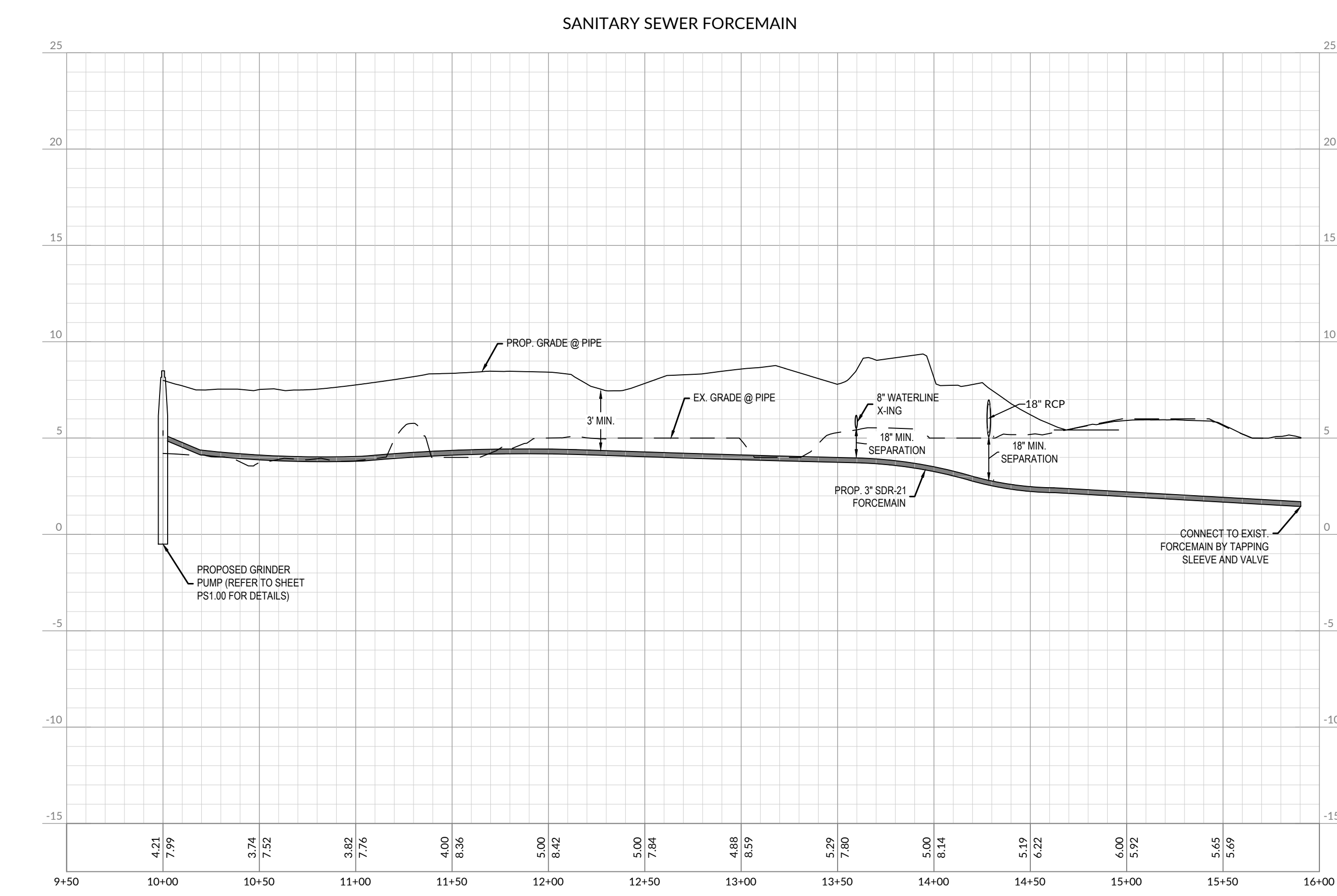
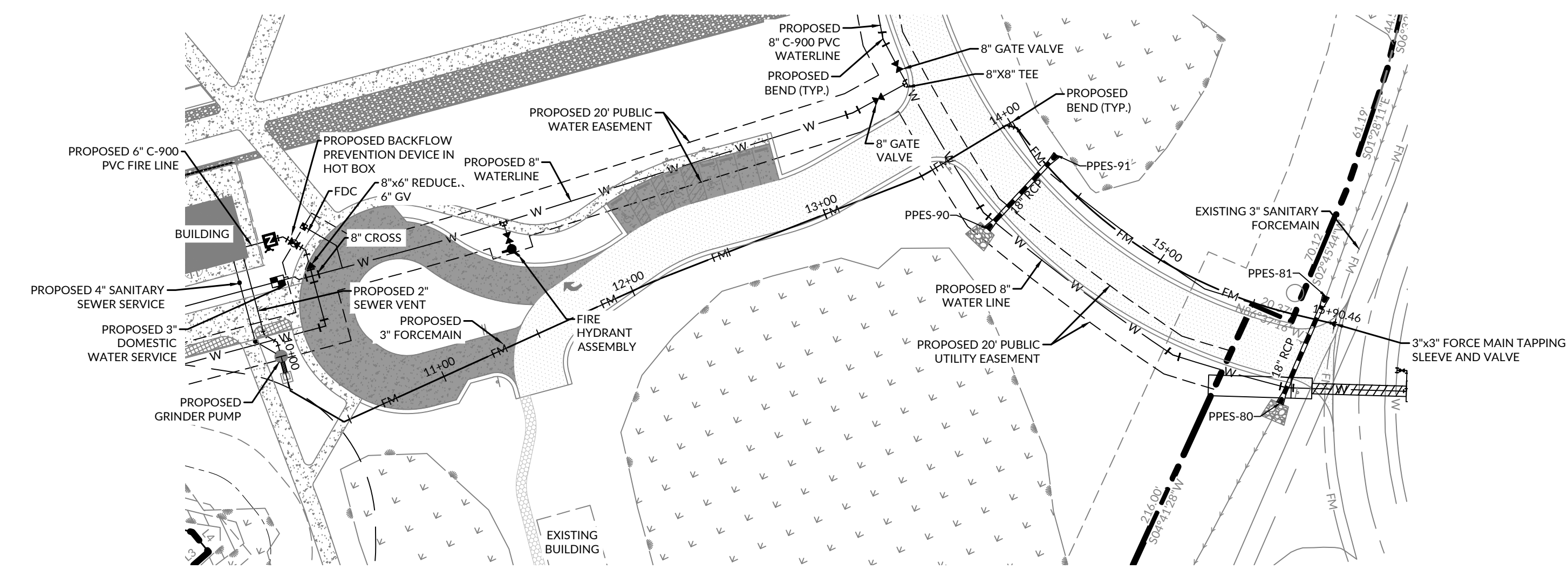
REMOVE SEDIMENT ACCUMULATED BEHIND THE DAMS AS NEEDED TO PREVENT DAMAGE TO CHANNEL VEGETATION. ALLOW THE CHANNEL TO DRAIN THROUGH THE STONE CHECK DAM, AND PREVENT LARGE FLOWS FROM CARRYING SEDIMENT OVER THE DAM. ADD STONES TO DAMS AS NEEDED TO MAINTAIN DESIGN HEIGHT AND CROSS SECTION.

**TEMPORARY CHECK DAM**  
NTS

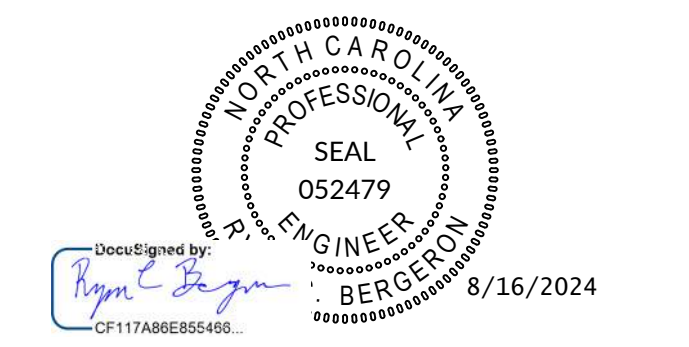
**EROSION CONTROL NOTES & DETAILS**

**C6.01**





PROFESSIONAL SEAL



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 JUNE 7, 2024  
**BID DOCUMENTS**

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1	07/24/2023	ADDENDUM 3
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3	08/16/2024	ADDENDUM 7

KEY PLAN

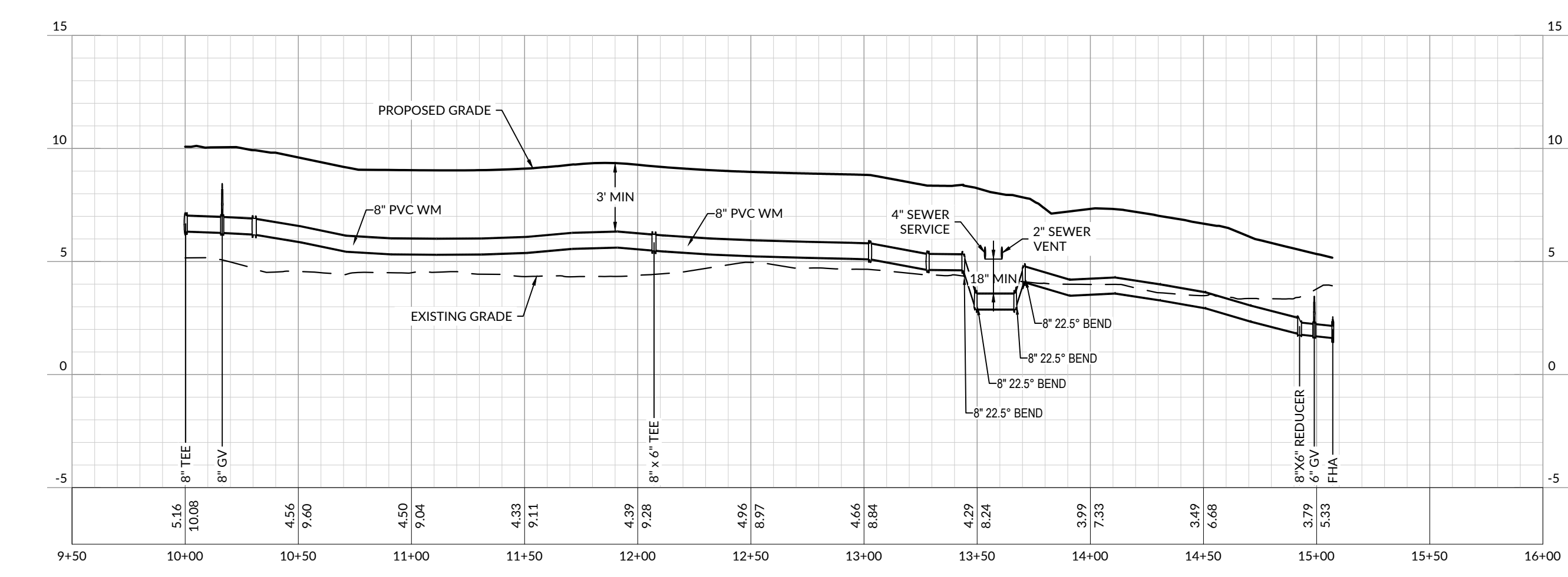
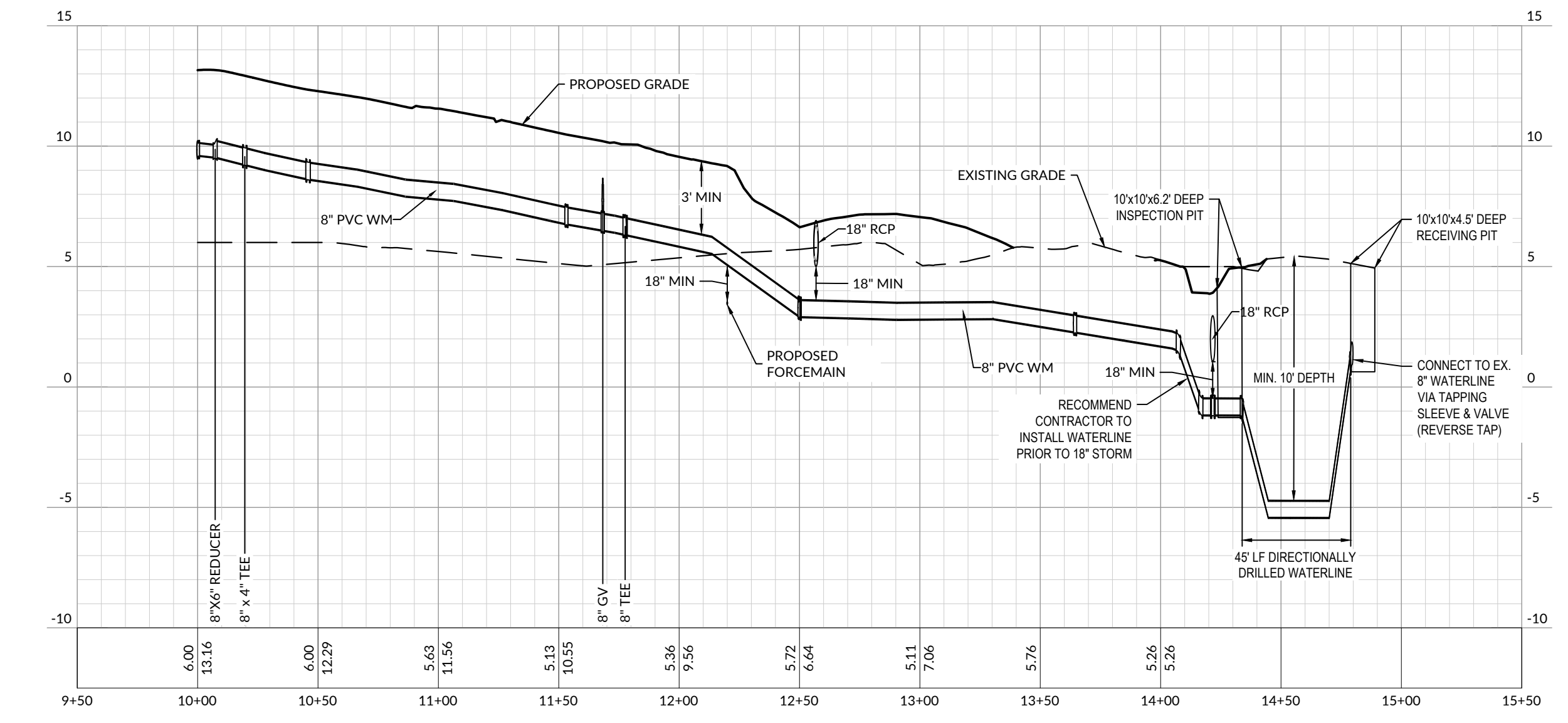
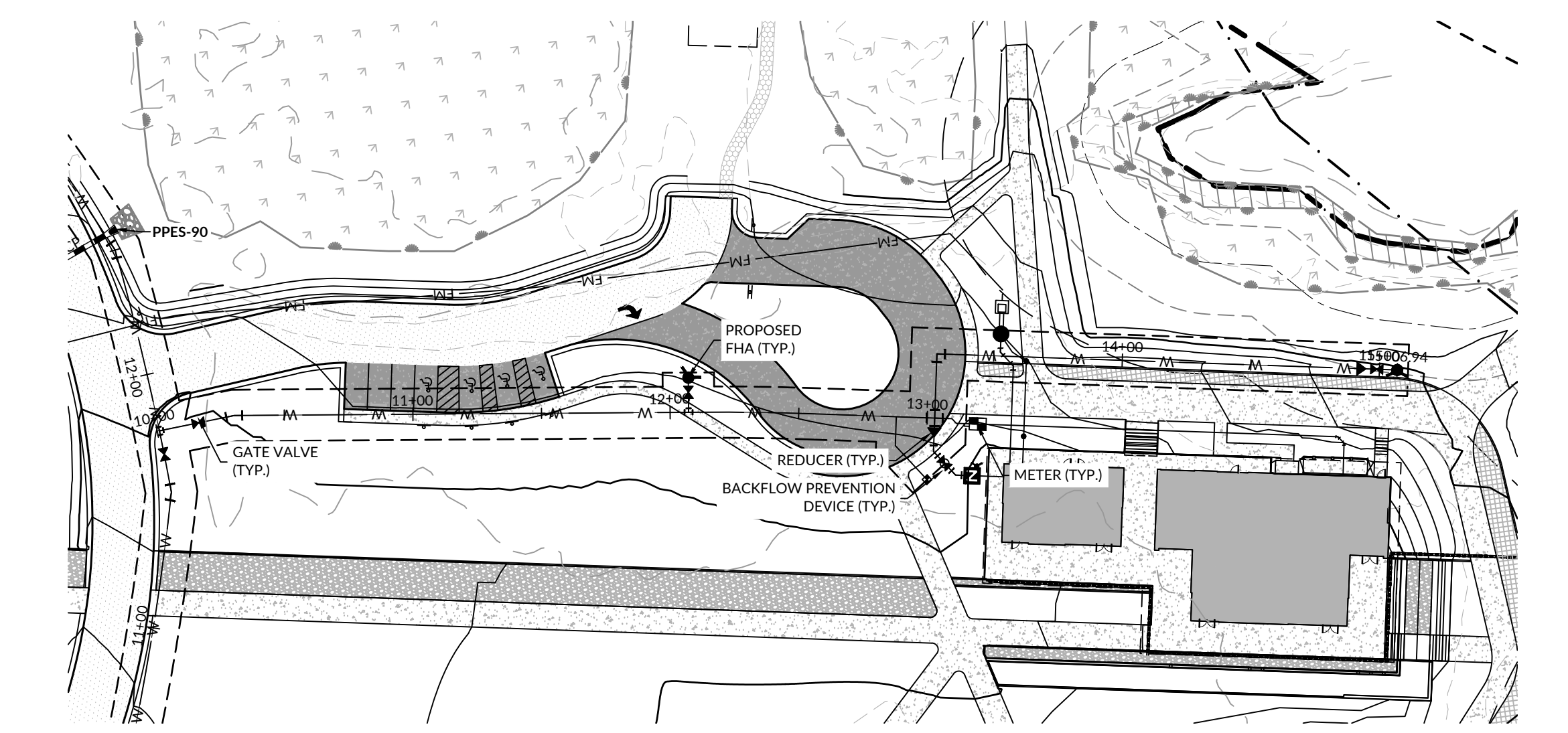
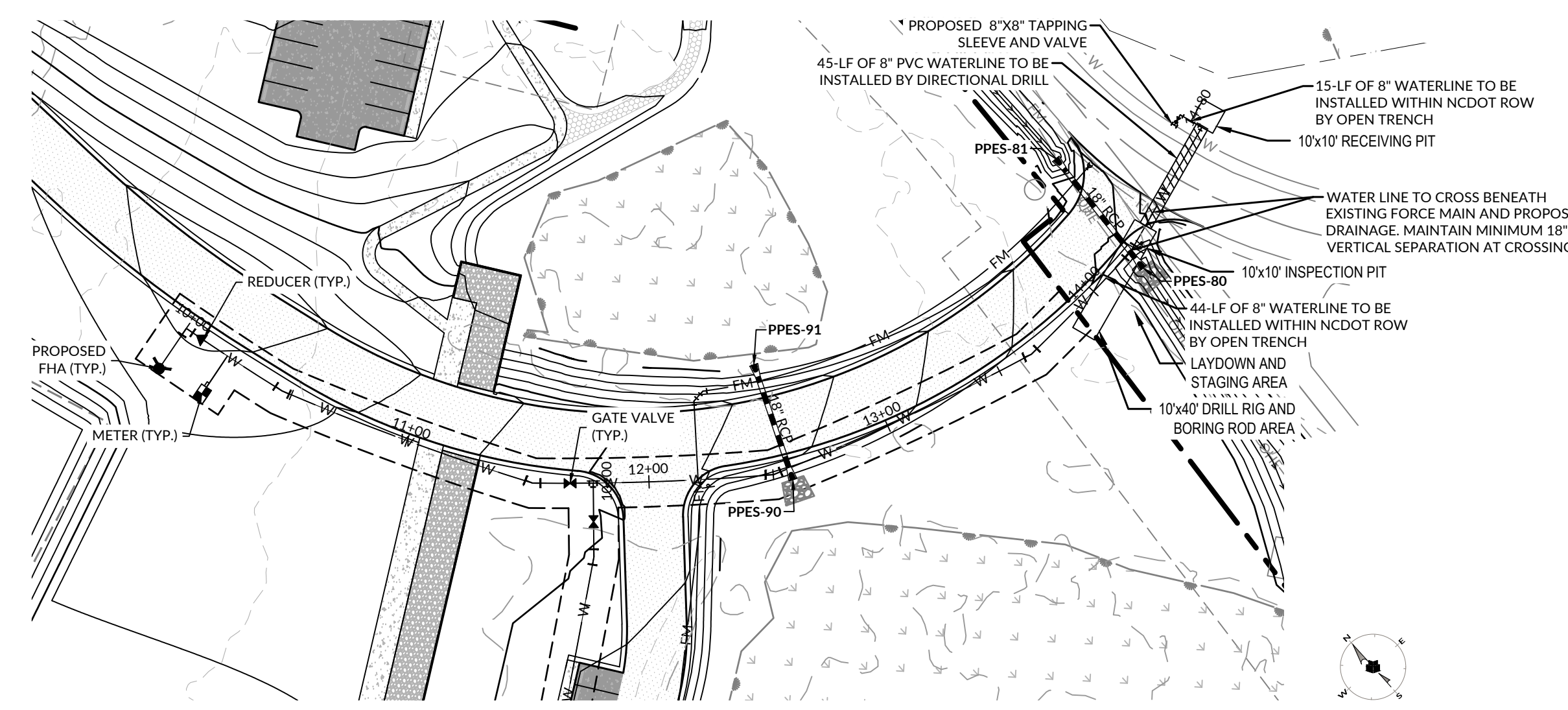
SHEET  
**SANITARY FORCE MAIN  
 PLAN & PROFILE**

**C7.00**

DESIGN: RCB  
 DRAWN: GWR  
 REVIEW: RCB

CN 10145





**Maritime Education Center**

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145  
SDD ID #: 24-27955-01A

DESIGNER

**CLARK NEXSEN**

421 NORTH HARRINGTON STREET, SUITE 600  
RALEIGH, NORTH CAROLINA 27603  
919-828-1876

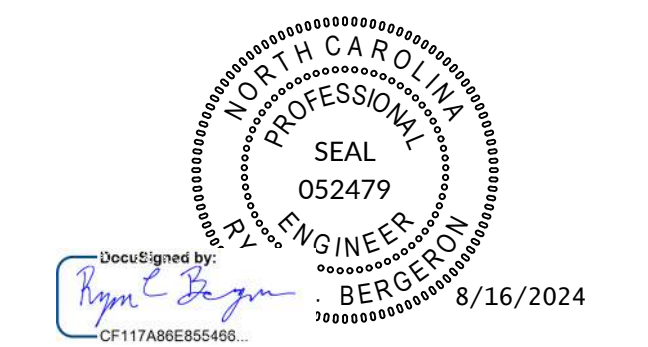
CLARK NEXSEN LICENSE NUMBER C-1028

CIVIL ENGINEER



219 STATION ROAD, SUITE 101  
WILMINGTON, NORTH CAROLINA 28405  
910-256-9277  
WWW.WITHERSRAVENEL.COM  
WITHERSRAVENEL LICENSE NUMBER F-1479

PROFESSIONAL SEAL



SUBMITTAL

JUNE 7, 2024

**BID DOCUMENTS**

REVISIONS

1	07/24/2023	ADDENDUM 3
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3	08/16/2024	ADDENDUM 7

KEY PLAN

SHEET

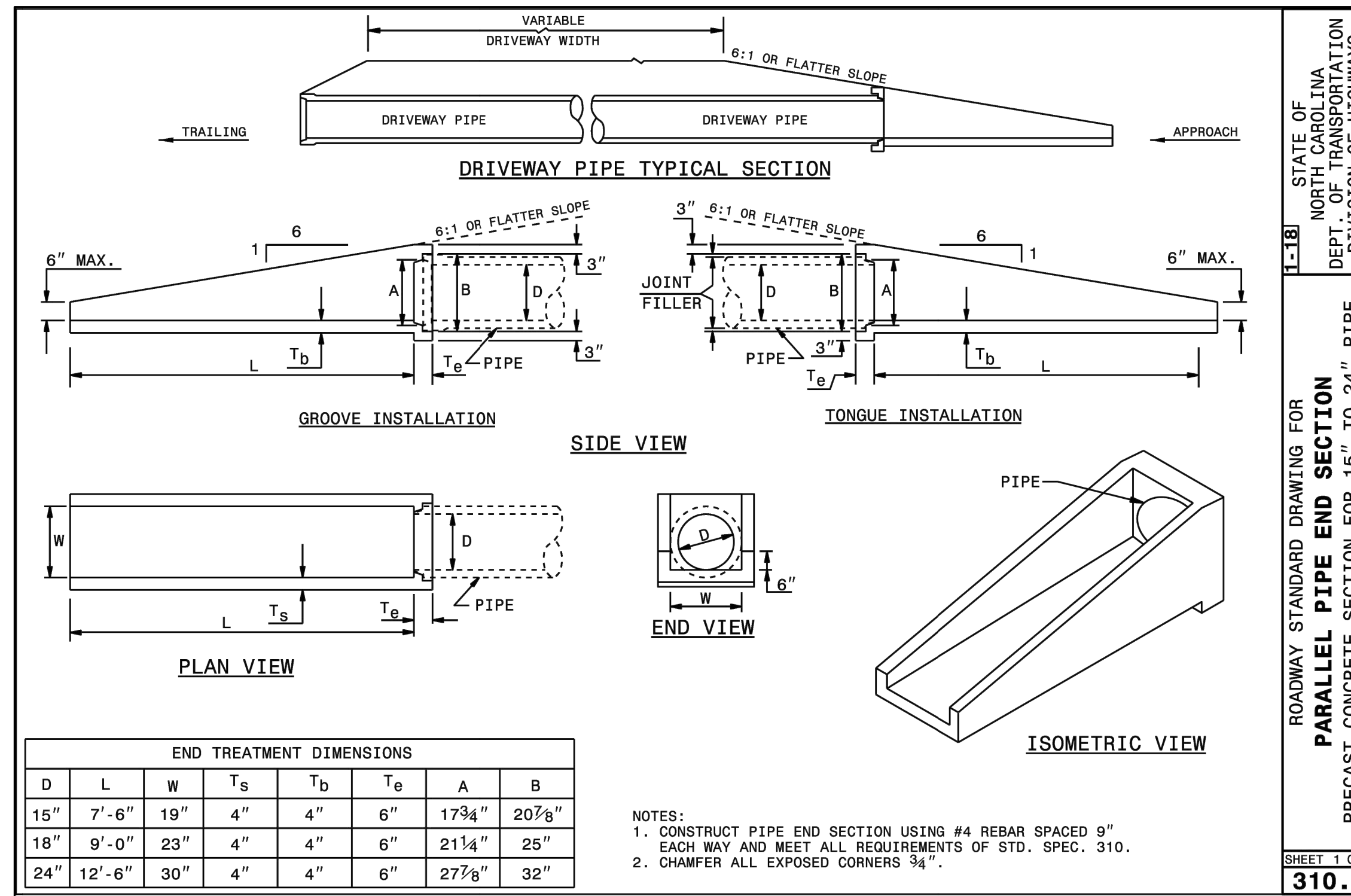
**WATER PLAN & PROFILE**

**C7.01**

DESIGN: RCB  
DRAWN: GWR  
REVIEW: RCB

CN 10145

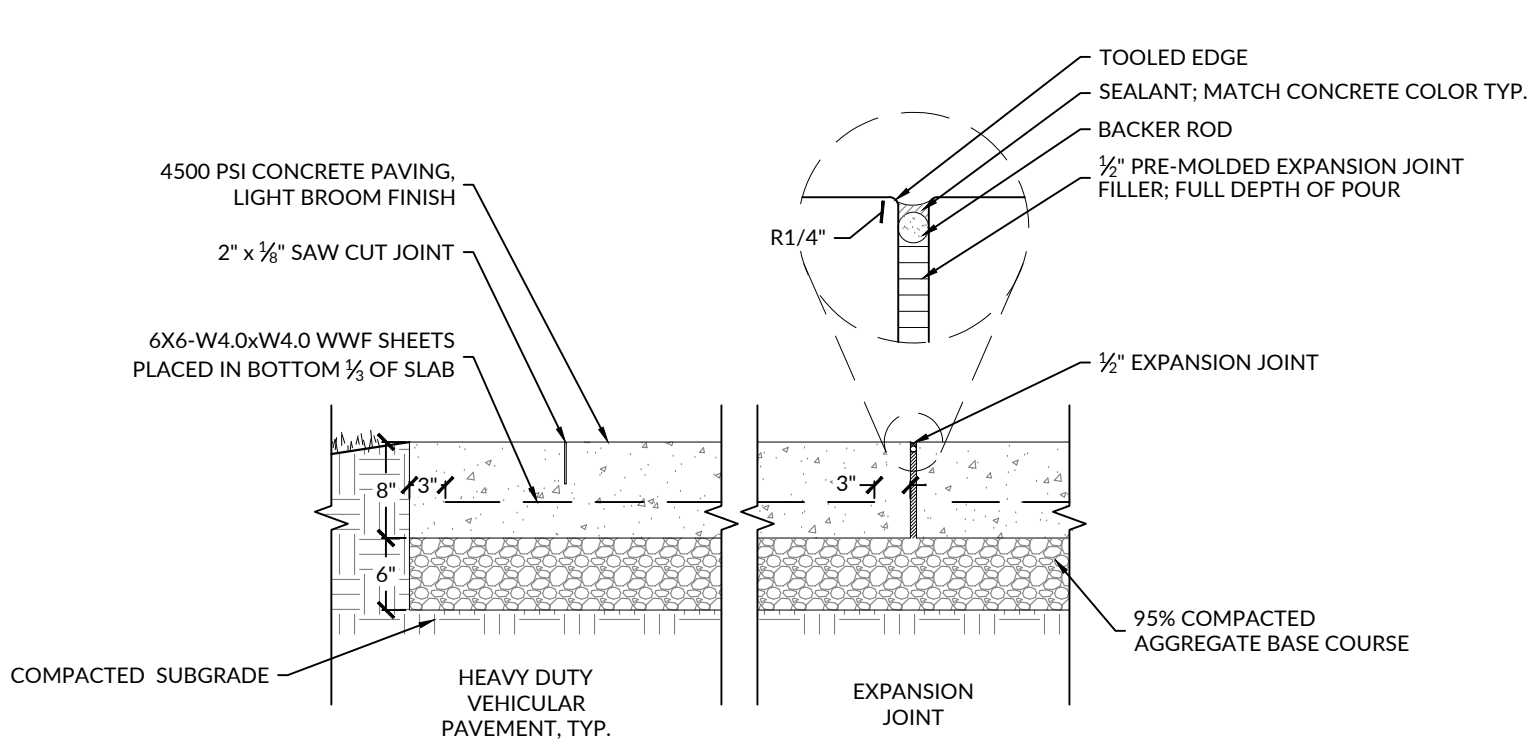
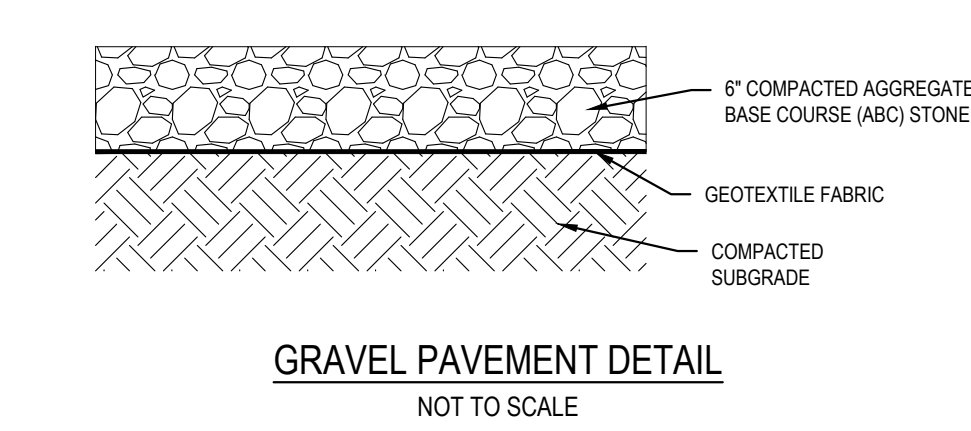
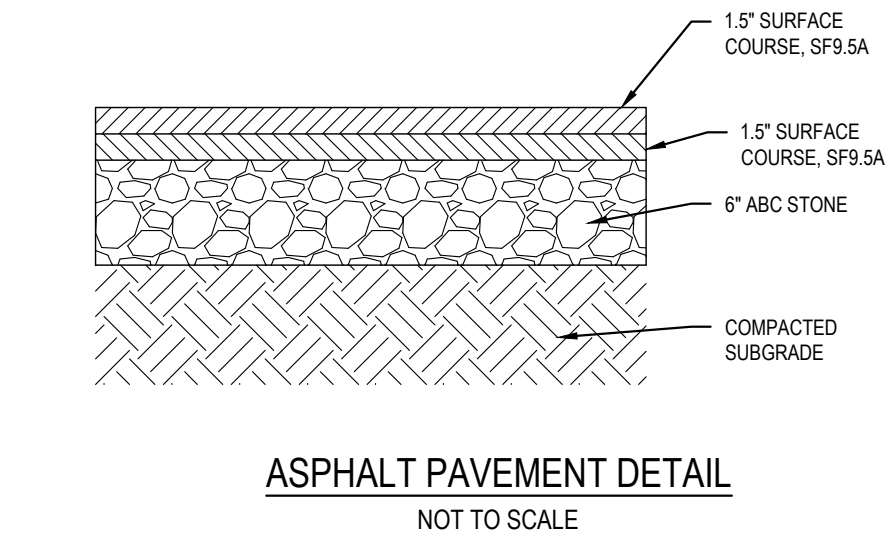
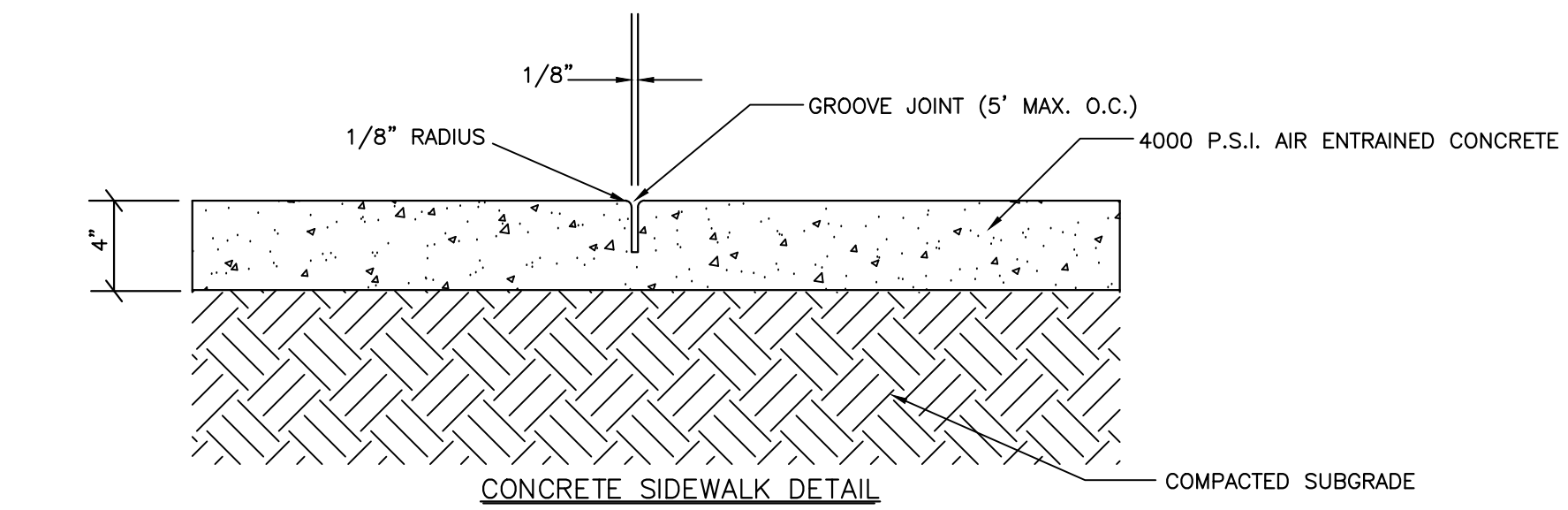




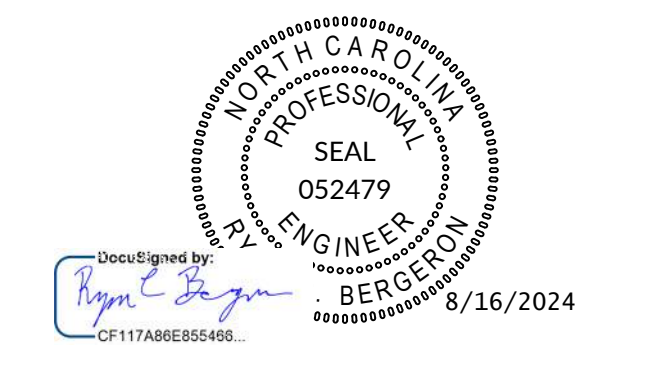
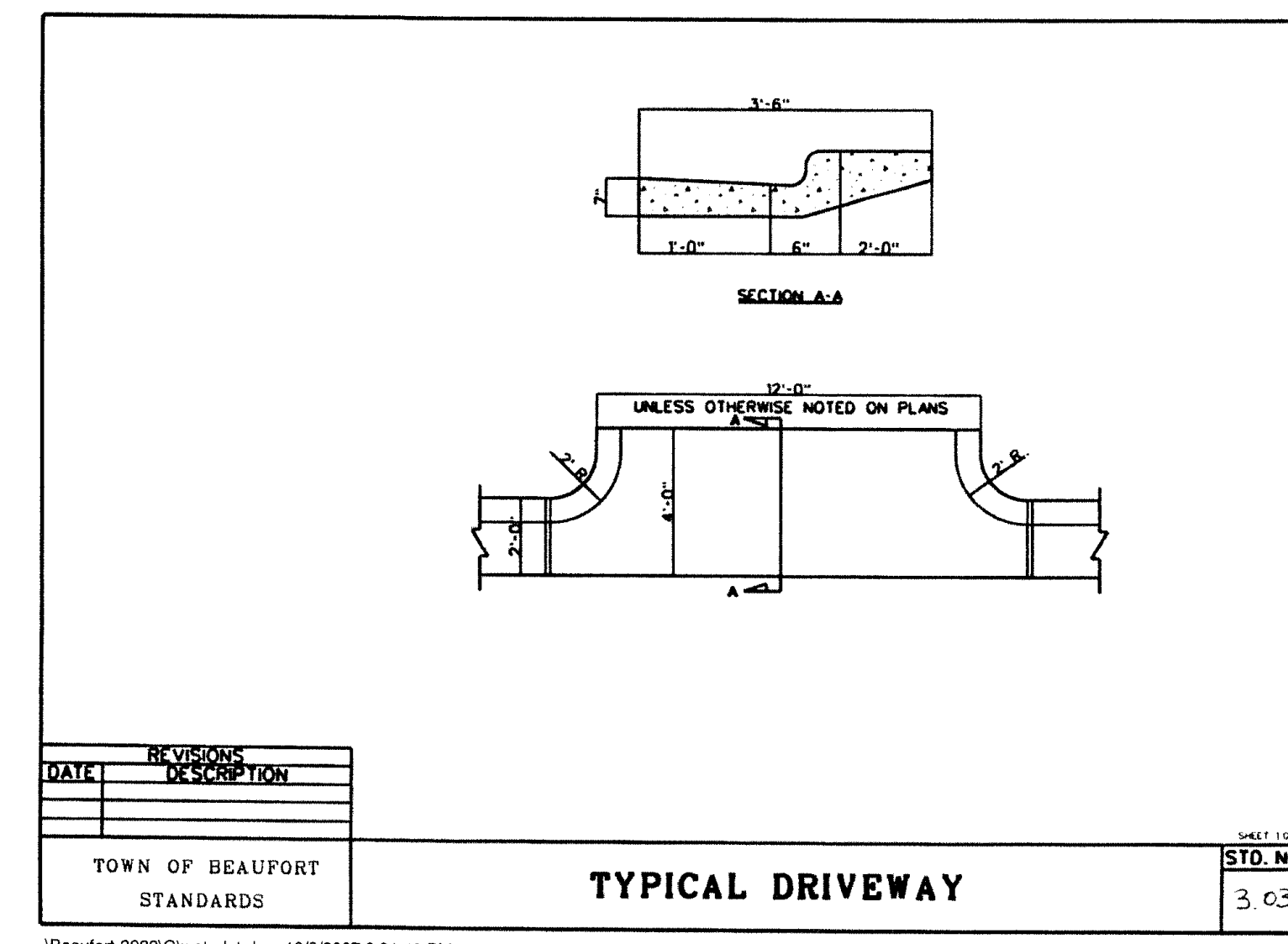
STATE OF NORTH CAROLINA  
 DEPARTMENT OF TRANSPORTATION  
 DIVISION OF HIGHWAYS  
 RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR  
**PARALLEL PIPE END SECTION**  
 PRECAST CONCRETE SECTION FOR 15" TO 24" PIPE

SHEET 1 OF 1  
**310.02**

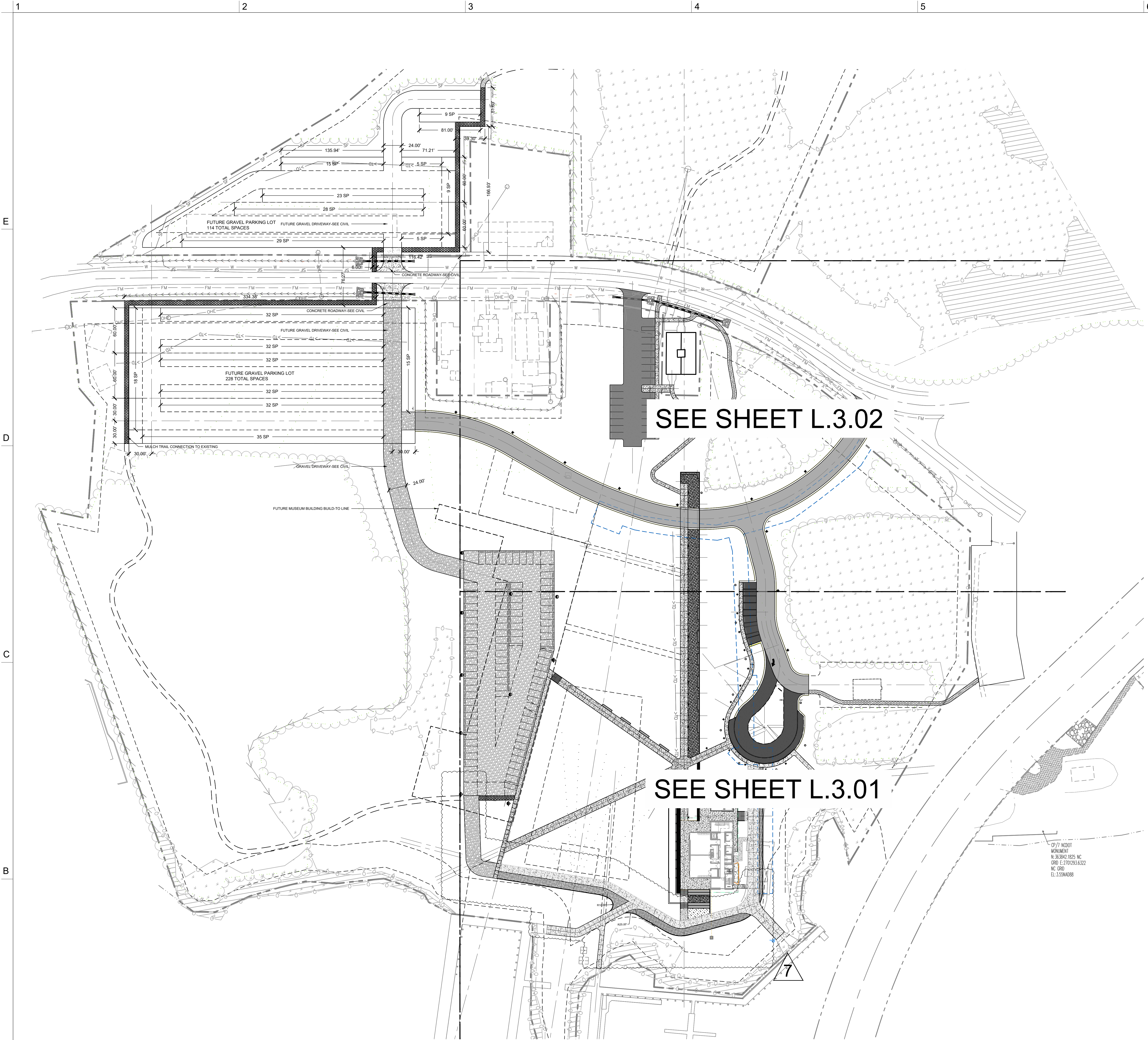


- NOTES:
- CONTRACTOR TO PROVIDE MOCK-UP OF CONCRETE PAVEMENT FINISH, COLOR, & SCORING FOR OWNERS APPROVAL. MOCK-UP CAN BE USED AS PART OF FINAL PROJECT.
  - PROVIDE EXPANSION JOINT WHERE SLAB MEETS VERTICAL SURFACES AND/OR DIFFERENT PAVING MATERIALS & AS SPECIFIED ON PLANS.
  - PROVIDE 1/2" EXPANSION JOINTS AT 50' INTERVALS MIN. TYP.
  - SAW CUT (CONTROL JOINTS AT 4' INTERVALS OR AS SHOWN ON PLANS).



REVISIONS		
1	07/24/2023	ADDENDUM 3
2	08/02/2024	ADDENDUM 5
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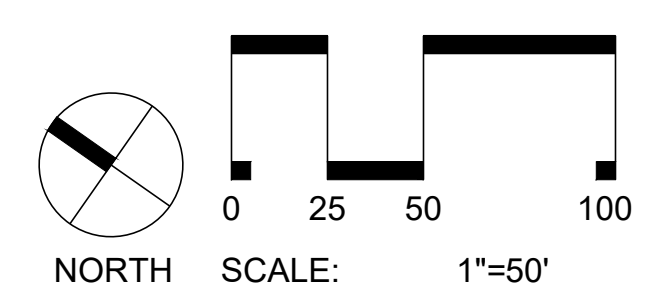


SEE SHEET L.3.02

SEE SHEET L.3.01

CP 71 MONUMENT  
N. 36.5842 1825 NC  
GRID E: 2701293.6322  
NC. GRID  
EL. 3.5584088

ALL PERVIOUS HARDSCAPE SURFACES ARE TO BE MAINTAINED BY THE DEVELOPER AND PROPERTY OWNER. THE TOWN OF BEAUFORT IS NOT RESPONSIBLE FOR REPAIRS TO PAVERS, PERVIOUS PAVEMENT, ETC.



REVISIONS

1.	07/24/2024	ADDENDUM 3
2.	08/02/2024	ADDENDUM 5
3.	08/16/2024	ADDENDUM 7



**Maritime Education Center**

293 W BEAUFORT ROAD EXT, BEAUFORT, NC 28516

CN PROJ #: 10145  
SCD ID #: 24-27956-01A

DESIGNER

**CLARK NEXSEN**

421 NORTH HARRINGTON STREET, SUITE 600  
RALEIGH, NORTH CAROLINA 27603  
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

CONSULTANT



**STEWART**

223 S. WEST ST., #1100  
RALEIGH, NC 27603  
1 919.380.8750

PROFESSIONAL SEAL



SUBMITTAL

JUNE 7, 2024

**BID DOCUMENTS**

REVISIONS

- 1 07/24/2024 ADDENDUM 3
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- 3 08/16/2024 ADDENDUM 7

KEY PLAN

SHEET

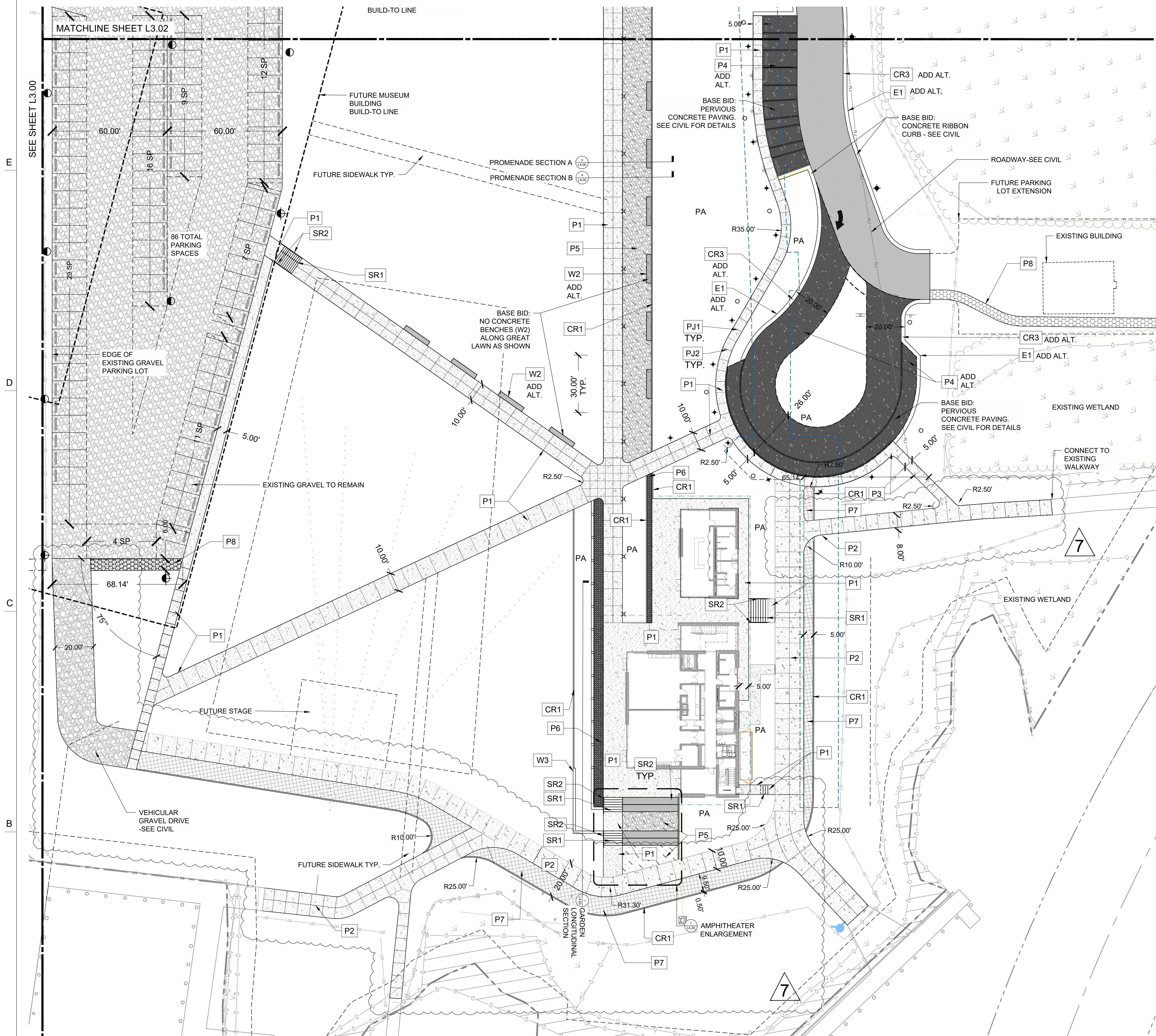
**LAYOUT AND MATERIALS  
PLAN ENLARGEMENT**

**L3.01**

PROJECT #: L22001

DESIGN: DA, GS  
DRAWN: KP  
REVIEW: DA

CN 10145



**FINISH SCHEDULE**

P - PAVEMENT		
KEY NAME	DESCRIPTION	DETAIL REF
P1	CONCRETE PAVEMENT - PEDESTRIAN - SP. FINISH	6/L4.00
P2	CONCRETE PAVEMENT - VEHICULAR	5/L4.00
P3	CONCRETE PAVEMENT - PEDESTRIAN - TYP.	6/L4.00
P4	ADD ALT. 10: CONCRETE UNIT PAVERS - VEHICULAR	4/L4.10
P5	DECOMPOSED GRANITE	1/L4.10
P6	STONE BAND AT GARDEN EDGE	
P7	GRASSPAVE2	8/L4.00
P8	MULCH PATHWAY	

CR - CURBS AND RAMPS		
CR1	FLUSH CURB	2/L4.20
CR2	SIDEWALK APRON	
CR3	ADD ALT. 9: RIVER ROCK DRIVEWAY EDGE	6/L4.20
CR4	MOUNTABLE CURB	

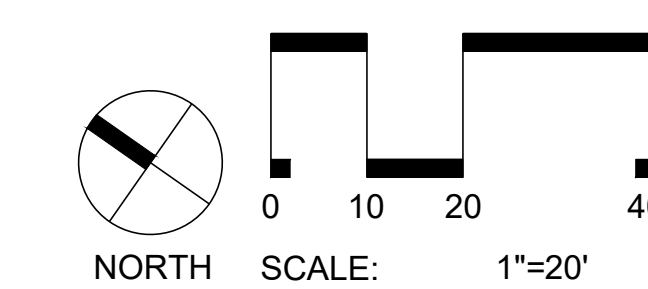
E - EDGING		
E1	ADD ALT. 9: STEEL EDGING	6/L4.20

SR - STAIRS, RAMPS, AND RAILINGS		
SR1	CAST-IN-PLACE CONCRETE STAIRS	4/L4.10
SR2	METAL HANDRAILS - STAIRS	5/L4.10
SR3	CONCRETE ACCESSIBLE RAMP	
SR4	METAL HANDRAILS - RAMPS	

W - WALLS		
W1	CIP CONCRETE AND WOOD AMPHITHEATER SEATWALL	7/L4.20
W2	ADD ALT. 3: CIP FREESTANDING CONCRETE AND WOOD SEATWALL	7/L4.20
W3	CIP CONCRETE GARDEN WALL	

L - LIGHTING		
KEY NAME	DESCRIPTION	DETAIL REF
L1	DUKE POLE LIGHT FIXTURE - 12' HT.	L8.00
L2	DUKE POLE LIGHT FIXTURE - 10' HT.	L8.00
L3	BOLLARD OPTION 1 - LIGHTHOUSE	L8.00
L3	BOLLARD OPTION 2 - BYSTEAD	L8.00
L3	BOLLARD OPTION 3 - PROFILE	L8.00
L4	GROUND-MOUNTED LUMINAIRE	L8.00
L6	RECEPTACLE LOCATION	L8.00

ALL PERVIOUS HARDSCAPE SURFACES ARE TO BE MAINTAINED BY THE DEVELOPER AND PROPERTY OWNER. THE TOWN OF BEAUFORT IS NOT RESPONSIBLE FOR REPAIRS TO PAVERS, PERVIOUS PAVEMENT, ETC.





**Maritime Education Center**

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ #: 10145  
SOD ID #: 24-27958-01A

DESIGNER

**CLARK NEXSEN**

421 NORTH HARRINGTON STREET, SUITE 600  
RALEIGH, NORTH CAROLINA 27603  
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

CONSULTANT



**STEWART**

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T 919.380.8750

PROFESSIONAL SEAL



SUBMITTAL

JUNE 7, 2024

**BID DOCUMENTS**

REVISIONS

1	07/24/2024	ADDENDUM 3
2	08/02/2024	ADDENDUM 5
3	08/16/2024	ADDENDUM 7

KEY PLAN

SHEET

**OVERALL PLANTING PLAN**

**L7.00**

PROJECT #: L22001

DESIGN: DA, GS

DRAWN: KP

REVIEW: DA

CN 10145

**LEGEND**

**SHRUB AND GRASS MIXES**

TEMPORARY SEED

**ENHANCED LANDSCAPE**

- Longleaf Pine (*Pinus palustris*)
- Switchgrass (*Panicum virgatum*)
- Eastern Gamagrass (*Tripsacum dactyloides*)
- Little Bluestem (*Schizachyrium scoparium*)
- Sweet Pepperbush (*Clethra alnifolia*)

**WETLAND TRANSITION**

- 31.0% *Panicum rigidulum*, PA Ecotype (Redtop Panicgrass, PA Ecotype)
- 30.0% *Carex albolutescens*, Coastal Plain NC Ecotype (Greenwhite Sedge, Coastal Plain NC Ecotype)
- 20.0% *Elymus virginicus*, AR Ecotype (Virginia Wildrye, AR Ecotype)
- 10.0% *Carex vulpinoidea*, PA Ecotype (Fox Sedge, PA Ecotype)
- 3.0% *Helianthus angustifolius*, Coastal Plain NC Ecotype (Narrowleaf Sunflower, Coastal Plain NC Ecotype)
- 3.0% *Juncus effusus*, 'Suther'-Piedmont NC Ecotype (Soft Rush, 'Suther'-Piedmont NC Ecotype)
- 1.0% *Juncus tenuis*, NC Ecotype (Path Rush, NC Ecotype)
- 1.0% *Ludwigia linearis*, Coastal Plain SC Ecotype (Narrowleaf Primrose Willow, Coastal Plain SC Ecotype)
- 0.5% *Scirpus cyperinus*, Coastal Plain NC Ecotype (Woolgrass, Coastal Plain NC Ecotype)
- 0.5% *Vernonia noveboracensis*, PA Ecotype (New York Ironweed, PA Ecotype)

**GARDEN**

- 40.4% *Schizachyrium scoparium*, Fort Indiantown Gap-PA Ecotype (Little Bluestem, Fort Indiantown Gap-PA Ecotype)
- 20.0% *Carex vulpinoidea*, PA Ecotype (Fox Sedge, PA Ecotype)
- 20.0% *Elymus virginicus*, Madison-NY Ecotype (Virginia Wildrye, Madison-NY Ecotype)
- 9.0% *Panicum clandestinum*, Tioga (Deertongue, Tioga)
- 5.5% *Panicum rigidulum*, PA Ecotype (Redtop Panicgrass, PA Ecotype)
- 4.0% *Chasmanthium latifolium*, WV Ecotype (River Oats, WV Ecotype)
- 0.5% *Carex scoparia*, PA Ecotype (Blunt Broom Sedge, PA Ecotype)
- 0.3% *Juncus effusus* (Soft Rush)
- 0.3% *Juncus tenuis*, PA Ecotype (Path Rush, PA Ecotype)

**COASTAL LANDSCAPE**

- 29.0% *Chasmanthium latifolium*, WV Ecotype (River Oats, WV Ecotype)
- 20.0% *Elymus virginicus*, AR Ecotype (Virginia Wildrye, AR Ecotype)
- 15.5% *Sorghastrum nutans*, 'Holt' (Indiangrass, 'Holt')
- 15.0% *Panicum virgatum*, 'Carthage', NC Ecotype (Switchgrass, 'Carthage', NC Ecotype)
- 8.0% *Panicum rigidulum*, PA Ecotype (Redtop Panicgrass, PA Ecotype)
- 3.0% *Carex vulpinoidea*, PA Ecotype (Fox Sedge, PA Ecotype)
- 2.0% *Agrostis hyemalis*, Piedmont NC Ecotype (Winter Bentgrass, Piedmont NC Ecotype)
- 2.0% *Carex albolutescens*, Coastal Plain NC Ecotype (Greenwhite Sedge, Coastal Plain NC Ecotype)
- 1.5% *Chamaecrista fasciculata*, PA Ecotype (Partridge Pea, PA Ecotype)
- 1.5% *Juncus effusus*, 'Suther'-Piedmont NC Ecotype (Soft Rush, 'Suther'-Piedmont NC Ecotype)
- 1.0% *Chamaecrista nictitans*, NC Ecotype (Sensitive Pea, NC Ecotype)
- 1.0% *Helianthus angustifolius*, Coastal Plain NC Ecotype (Narrowleaf Sunflower, Coastal Plain NC Ecotype)
- 0.5% *Ludwigia linearis*, Coastal Plain SC Ecotype (Narrowleaf Primrose Willow, Coastal Plain SC Ecotype)

**TURF MIXES**

**EVENT LAWN**

Stalok Fiber Reinforced Sod

**TURFGRASS**

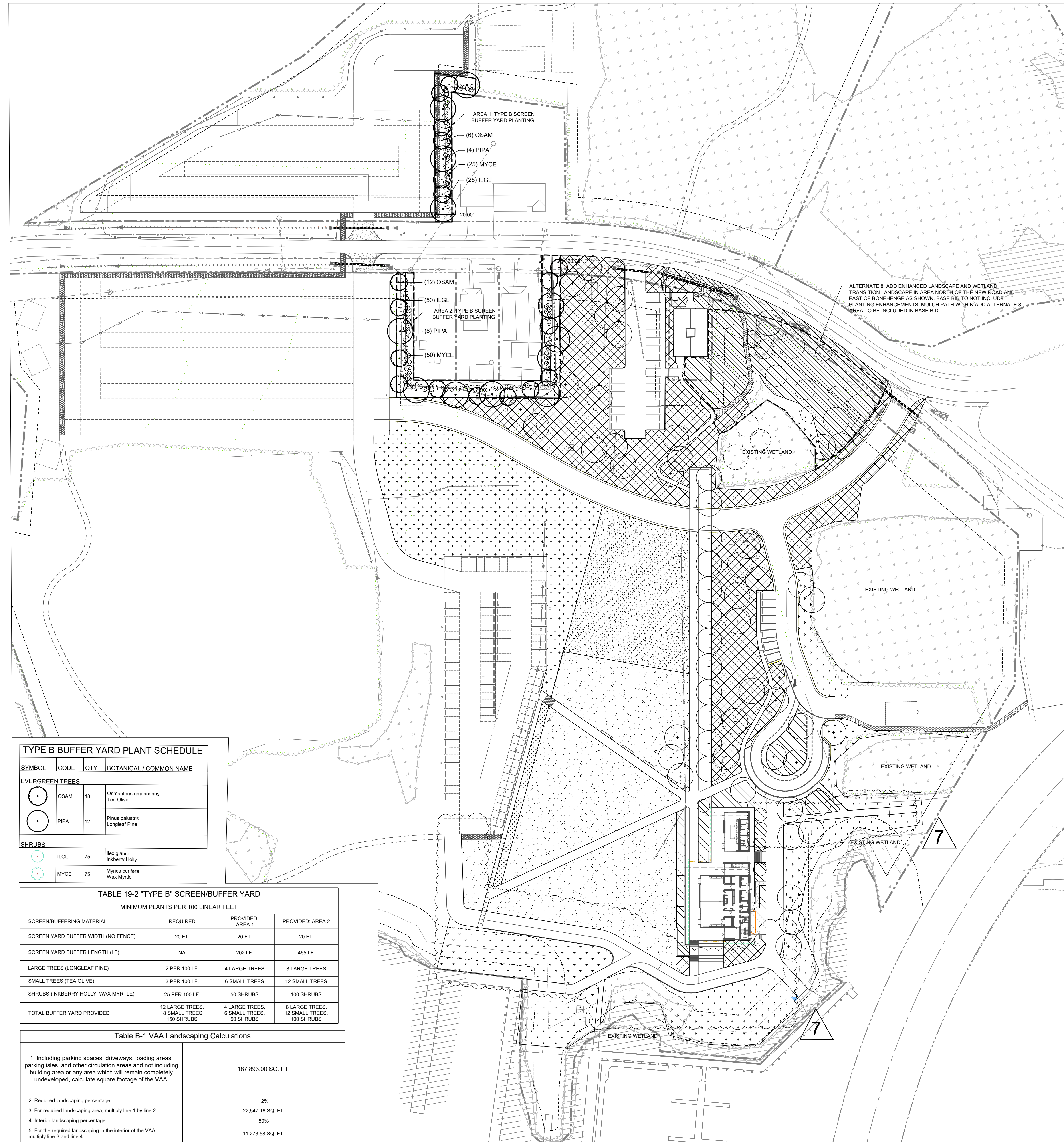
Seed

**TREES**

- Live Oak (*Quercus virginiana*)
- Bald Cypress (*Taxodium distichum*)
- American Hophornbeam (*Ostrya virginiana*)
- Longleaf Pine (*Pinus palustris*)
- Tea Olive (*Osmanthus americanus*)

**SHRUBS**

- Cherry Laurel (*Prunus caroliniana*)
- Southern Wax Myrtle (*Morella cerifera*)
- Sweet Pepperbush (*Clethra alnifolia*)
- Inkberry Holly (*Ilex glabra*)
- Wax Myrtle (*Myrica cerifera*)



ALTERNATE 8: ADD ENHANCED LANDSCAPE AND WETLAND TRANSITION LANDSCAPE IN AREA NORTH OF THE NEW ROAD AND EAST OF BONEHENGE AS SHOWN. BASE BID TO NOT INCLUDE PLANTING ENHANCEMENTS. MULCH PATH WITHIN ADD ALTERNATE 8 AREA TO BE INCLUDED IN BASE BID.

**TYPE B BUFFER YARD PLANT SCHEDULE**

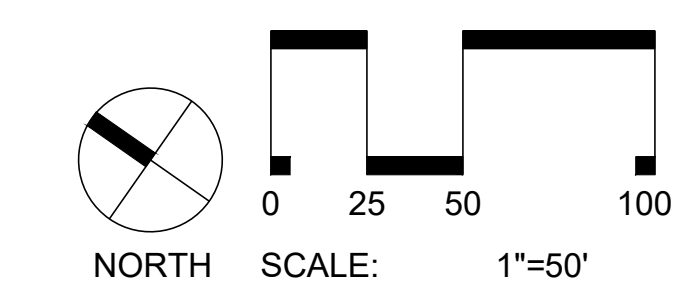
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME
<b>EVERGREEN TREES</b>			
	OSAM	18	<i>Osmanthus americanus</i> Tea Olive
	PIPA	12	<i>Pinus palustris</i> Longleaf Pine
<b>SHRUBS</b>			
	ILGL	75	<i>Ilex glabra</i> Inkberry Holly
	MYCE	75	<i>Myrica cerifera</i> Wax Myrtle

TABLE 19-2 "TYPE B" SCREEN/BUFFER YARD

MINIMUM PLANTS PER 100 LINEAR FEET			
SCREEN/BUFFERING MATERIAL	REQUIRED	PROVIDED: AREA 1	PROVIDED: AREA 2
SCREEN YARD BUFFER WIDTH (NO FENCE)	20 FT.	20 FT.	20 FT.
SCREEN YARD BUFFER LENGTH (LF)	NA	202 LF.	465 LF.
LARGE TREES (LONGLEAF PINE)	2 PER 100 LF.	4 LARGE TREES	8 LARGE TREES
SMALL TREES (TEA OLIVE)	3 PER 100 LF.	6 SMALL TREES	12 SMALL TREES
SHRUBS (INKBERRY HOLLY, WAX MYRTLE)	25 PER 100 LF.	50 SHRUBS	100 SHRUBS
TOTAL BUFFER YARD PROVIDED	12 LARGE TREES, 18 SMALL TREES, 100 SHRUBS	4 LARGE TREES, 6 SMALL TREES, 50 SHRUBS	8 LARGE TREES, 12 SMALL TREES, 100 SHRUBS

Table B-1 VAA Landscaping Calculations

1. Including parking spaces, driveways, loading areas, parking isles, and other circulation areas and not including building area or any area which will remain completely undeveloped, calculate square footage of the VAA.	187,893.00 SQ. FT.
2. Required landscaping percentage.	12%
3. For required landscaping area, multiply line 1 by line 2.	22,547.16 SQ. FT.
4. Interior landscaping percentage.	50%
5. For the required landscaping in the interior of the VAA, multiply line 3 and line 4.	11,273.58 SQ. FT.
6. Existing landscaping area, if any, to be retained in and around the VAA.	---
7. Subtract line 3 from line 6. This is the landscape area required.	22,547.16 SQ. FT.
TOTAL LANDSCAPE AREA PROVIDED	130,500.00 SQ. FT.





**Maritime Education Center**

293 W BEAUFORT ROAD EXT., BEAUFORT, NC 28516

CN PROJ # : 10145

SCO ID # : 24-27956-01A

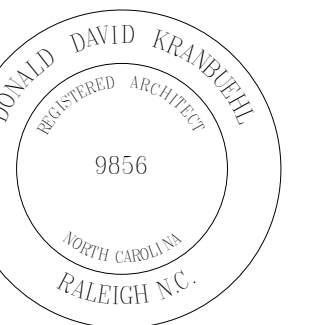
DESIGNER

**CLARK NEXSEN**

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RALEIGH, NORTH CAROLINA 27603  
919-828-1876

CLARK NEXSEN LICENSE NUMBER C-1028

PROFESSIONAL SEAL



SUBMITTAL

JUNE 7, 2024

**BID DOCUMENTS**

REVISIONS

3 08.16.24 ADDENDUM 07

KEY PLAN

SHEET

**EXTERIOR SECTION DETAILS**

**AE514**

DESIGN: DDK  
DRAWN: AST/WMP  
REVIEW: DDK

CN 10145

1 2 3 4 5 6

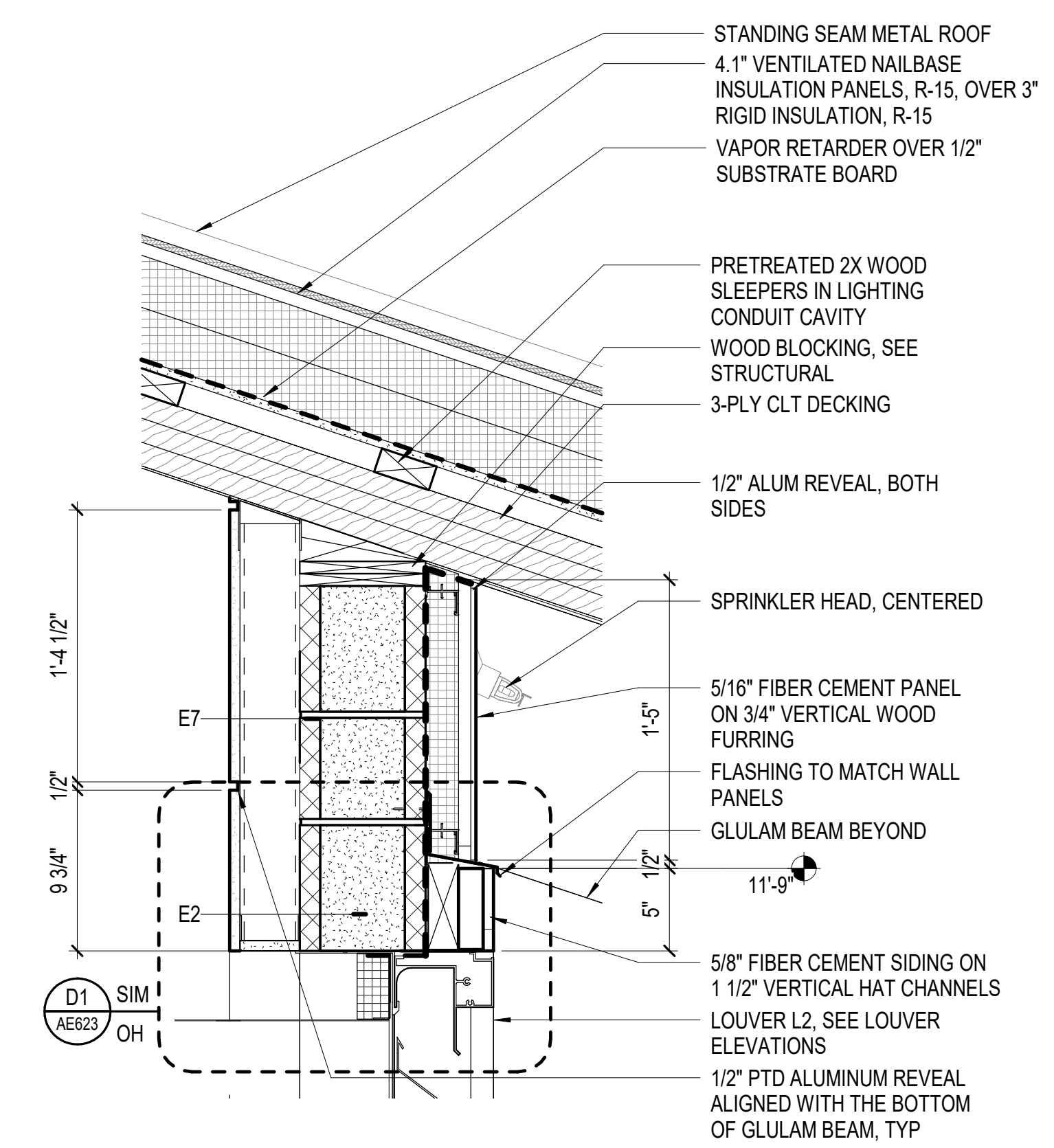
E

D

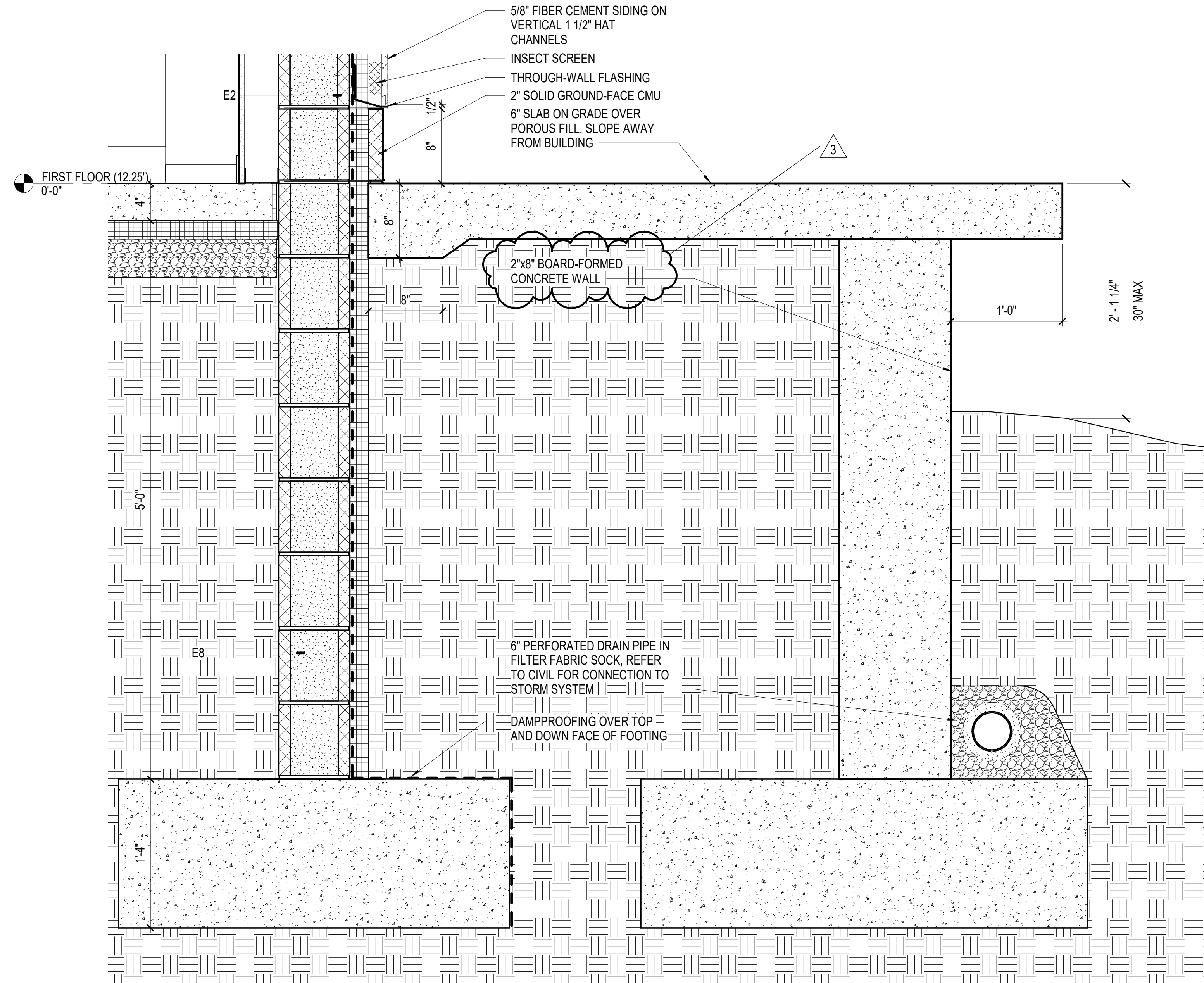
C

B

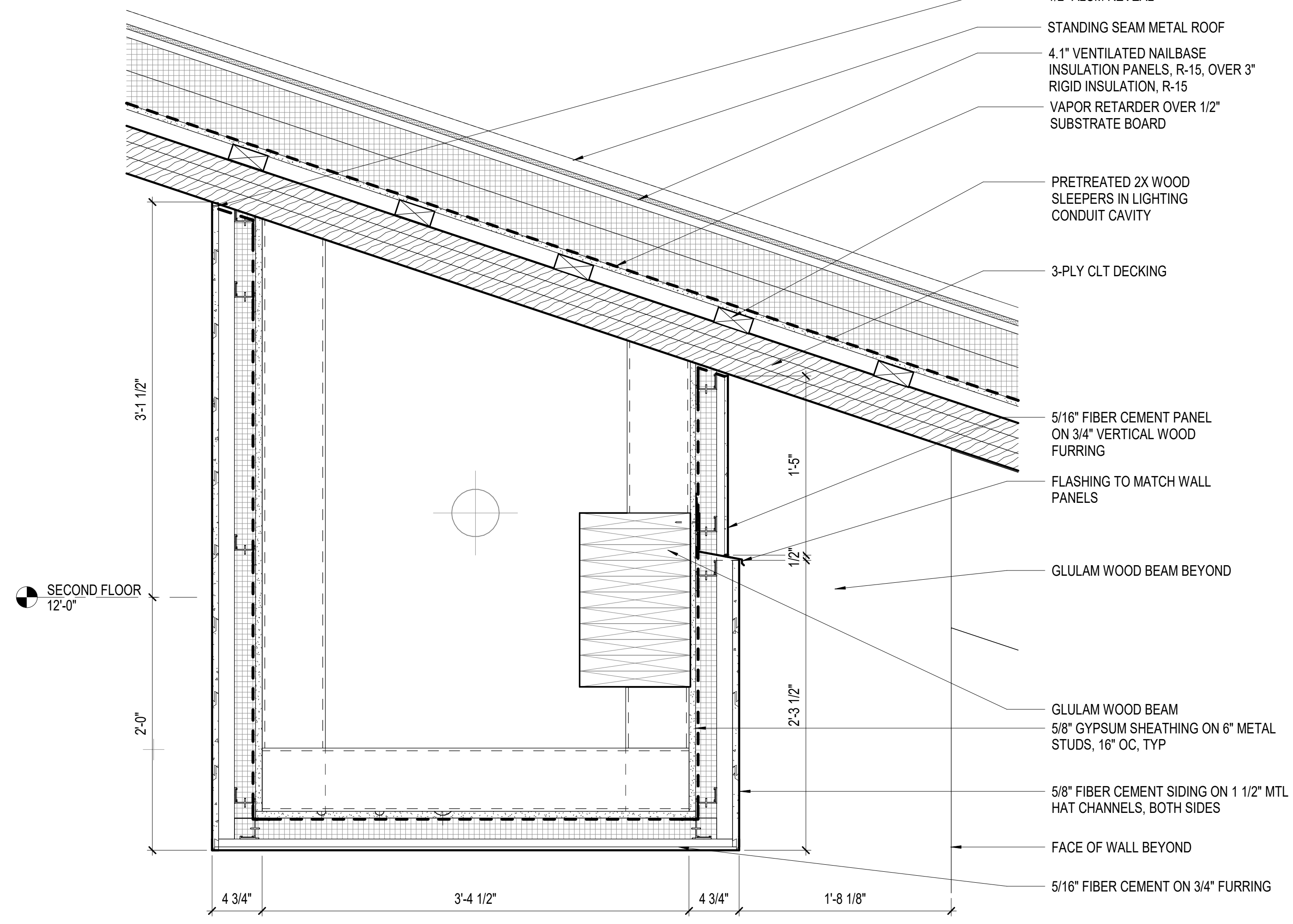
A



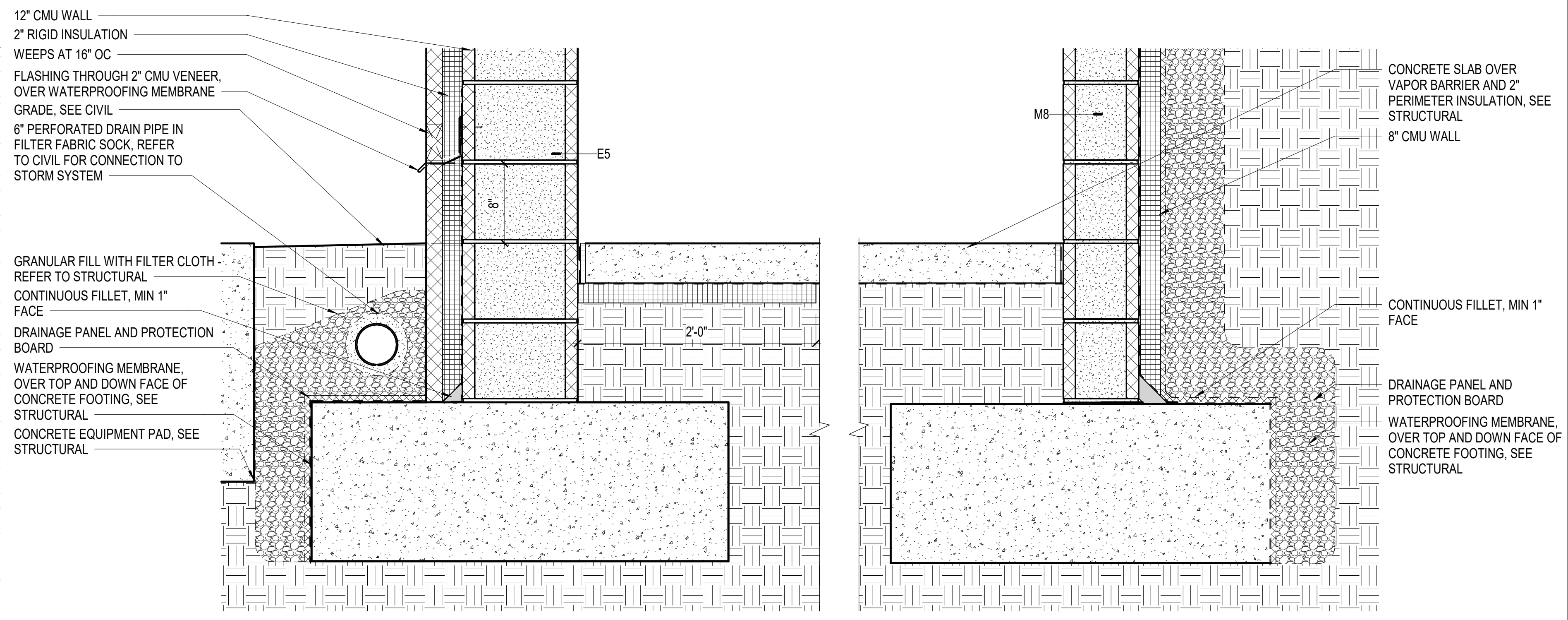
**D1 SECTION DETAIL**  
SCALE: 1 1/2" = 1'-0"



**A1 SECTION DETAIL**  
SCALE: 1 1/2" = 1'-0"

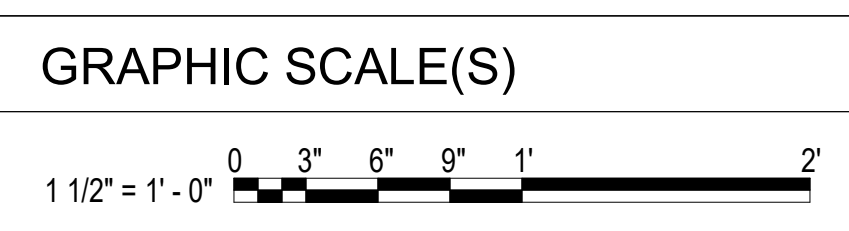


**C4 SECTION DETAIL**  
SCALE: 1 1/2" = 1'-0"



**A3 SECTION DETAIL**  
SCALE: 1 1/2" = 1'-0"

1. REFER TO SHEETS AE621 AND AE622 FOR TYPICAL CURTAIN WALL DETAILS.



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## SECTION 102239 – FOLDING PARTITIONS

### PART 1 - GENERAL

#### 1.1 SUMMARY

##### A. Section Includes:

1. Operable Acoustical Panel Partitions - Section includes motorized electrically operated continuously hinged (train) panel type partition, including ceiling track, ceiling guards, and operating hardware. Contractor shall provide labor and materials necessary to install operable partitions in location as indicated on the drawings

##### B. Related Requirements:

1. Section 055000 "Metal Fabrications" for supports that attach supporting tracks to overhead structural system.
2. Section 092916 "Non-Structural Metal Framing" for construction around the ceiling track
3. Electrical and communications Sections for electrical service and connections for motor operators, controls, and limit switches and for system disconnect switches.

#### 1.2 DEFINITIONS

- A. NIC: Noise Isolation Class.
- B. NRC: Noise Reduction Coefficient.
- C. STC: Sound Transmission Class.

#### 1.3 PRE-INSTALLATION MEETINGS

- A. Pre-installation Conference: Conduct conference at Project site, at a minimum of 2-weeks prior to the start of installation.

#### 1.4 ACTION SUBMITTALS

- A. Product Data: For each type of product, include material descriptions, construction details, finishes, installation details and operating instructions for each type of operable partition, component and accessory specified.
- B. Shop Drawings: For operable panel partitions.
  1. Include plans, elevations, sections, details, and attachments to other work.



2. Indicate stacking and operating clearances. Indicate location and installation requirements for hardware and track, blocking, and direction of travel.
  3. Include dimensions, weights, conditions at openings and at storage areas, and required installation, and storage clearances.
  4. Include diagrams for power, signal, and control wiring.
- C. Samples for Initial Selection: For each type of exposed material, finish, covering, or facing. Selection samples shall be provided demonstrating the manufacturer's full range of finishes available.
1. Include Samples of accessories involving color selection.
- D. Samples for Verification: For each type of exposed material, finish, covering, or facing, prepared on Samples of size indicated below:
1. Textile Facing Material: Provide minimum 24-inch square section of carpet from dye lot to be used for the Work, with specified treatments applied. Show complete pattern repeat.
  2. Vinyl Wallcovering Facing Material: Manufacturer's standard-size unit, not less than 24 inches square.
  3. Panel Edge Material: Not less than 3 inches long.
  4. Hardware: One of each exposed door-operating device.
- E. Delegated-Design Submittal: For operable panel partitions.
1. Include design calculations for seismic restraints that brace tracks to structure above.

## 1.5 INFORMATIONAL SUBMITTALS

- A. Coordination Drawings: Reflected ceiling plans, drawn to scale, on which the following items are shown and coordinated with each other, using input from installers of the items involved:
1. Partition track, track supports and bracing, switches, turning space, and storage layout.
  2. Suspended ceiling components.
  3. Structural members to which suspension systems are attached.
  4. Size and location of initial access modules for acoustical tile.
  5. Items penetrating finished ceiling, including the following:
    - a. Lighting fixtures.
    - b. HVAC ductwork, outlets, and inlets.
    - c. Speakers.
    - d. Sprinklers.
    - e. Smoke detectors.
- B. Setting Drawings: For embedded items and cutouts required in other work, including support-beam, mounting-hole template.
- C. Qualification Data: For qualified Installer and manufacturer.



- D. Product Certificates: For each type of operable panel partition.
  - 1. Include approval letter signed by manufacturer acknowledging Owner-furnished panel facing material complies with requirements.
- E. Product Test Reports: For each operable panel partition, for tests performed by a qualified testing agency.
- F. Sample Warranty: For manufacturer's special warranty.

#### 1.6 CLOSEOUT SUBMITTALS

- A. Operation and Maintenance Data: For operable panel partitions to include in maintenance manuals.
  - 1. In addition to items specified in Section 017823 "Operation and Maintenance Data," include the following:
    - a. Panel finish facings and finishes for exposed trim and accessories. Include precautions for cleaning materials and methods that could be detrimental to finishes and performance.
    - b. Seals, hardware, track, track switches, carriers, and other operating components.
    - c. Electric operator and controls.

#### 1.7 QUALITY ASSURANCE

- A. Installer Qualifications: Provide an experienced installer, certified by the operable partition manufacturer as qualified to install the manufacturer's partition system for work similar in material, design, and extent to that indicated for this project. Installer shall have a minimum of 5-years' successful experience on projects of similar scope and complexity.
- B. Manufacturer's Qualifications: Manufacturer's shall have a minimum of 5 years in producing type of operable partitions specified of similar type and complexity.

#### 1.8 DELIVERY, STORAGE, AND HANDLING

- A. Protectively package and sequence panels in order for installation. Clearly mark packages and panels with numbering system used on Shop Drawings. Do not use permanent markings on panels.

#### 1.9 WARRANTY

- A. Special Warranty: Manufacturer agrees to repair or replace components of operable panel partitions that fail in materials or workmanship within specified warranty period.
  - 1. Failures include, but are not limited to, the following:

- a. Faulty operation of operable panel partitions.
  - b. Deterioration of metals, metal finishes, and other materials beyond normal use.
2. Warranty Period: Ten years from date of Final Acceptance.

## PART 2 - PRODUCTS

### 2.1 PERFORMANCE REQUIREMENTS

- A. Delegated Design: Engage a qualified professional engineer, as defined in Section 014000 "Quality Requirements," to design seismic bracing of tracks to structure above.
- B. Acoustical Performance: Provide operable panel partitions tested by a qualified testing agency for the following acoustical properties according to test methods indicated:
  1. Sound-Transmission Requirements: Operable panel partition assembly tested for laboratory sound-transmission loss performance according to ASTM E 90, determined by ASTM E 413, and rated for not less than the STC indicated.
  2. Noise-Reduction Requirements: Operable panel partition assembly, identical to partition tested for STC, tested for sound-absorption performance according to ASTM C 423, and rated for not less than the NRC indicated.
  3. Noise-Isolation Requirements: Installed operable panel partition assembly, identical to partition tested for STC, tested for NIC according to ASTM E 336, determined by ASTM E 413, and rated for 10 dB less than STC value indicated.
- C. Fire-Test-Response Characteristics: Provide panels with finishes complying with one of the following as determined by testing identical products by UL or another testing and inspecting agency acceptable to authorities having jurisdiction:
  1. Surface-Burning Characteristics: Comply with ASTM E 84 or UL 723; testing by a qualified testing agency. Identify products with appropriate markings of applicable testing agency.
    - a. Flame-Spread Index: 25 or less.
    - b. Smoke-Developed Index: 450 or less.
  2. Fire Growth Contribution: Complying with acceptance criteria of local code and authorities having jurisdiction when tested according to NFPA 286.
- D. Install panel partition system track capable of supporting imposed loads, with a maximum deflection of L/360 of span.

### 2.2 MANUFACTURERS

- A. Provide product lines of the following manufacturer provided they comply with the requirements of the contract documents.



1. BASIS OF DESIGN: "KWIK-WALL – Series 3050 – Electrically Operated Continuously Hinged Train Panel"
2. Panelfold
3. Modernfold

### 2.3 OPERABLE ACOUSTICAL PARTITIONS

- A. Operable Acoustical Panels: Partition system, including panels, seals, finish facing, suspension system, operators, and accessories.
- B. Panel Operation: Electrically Operated Continuously Hinged, top supported individual panels.
- C. Panel Construction: As required to support panel from suspension components and with reinforcement for hardware attachment. Fabricate panels with tight hairline joints and concealed fasteners. Fabricate panels so finished in-place partition is rigid; level; plumb; aligned, with tight joints and uniform appearance; and free of bow, warp, twist, deformation, and surface and finish irregularities.
- D. Dimensions: Fabricate operable acoustical panel partitions to form an assembled system of dimensions indicated and verified by field measurements.
  1. Panel Width: Standard widths.
- E. STC: Not less than 49 per ASTM E90-85.
- F. NRC: Not less than 0.50
- G. NIC: Not less than 42
- H. Panel Weight: Minimum 8.5 lbs./sq. ft. and maximum 12 lbs./sq. ft.
- I. Panel Thickness: Not less than 4 inches.
- J. Panel Materials:
  1. Steel Frame: Steel sheet, 16 gauge formed steel with overlapped and welded corners for rigidity. Top channel shall be reinforced to support suspension components. Provide internal steel stiffeners as required for backing installation.
  1. Aluminum: Alloy and temper recommended by aluminum producer and finisher for type of use, corrosion resistance, and finish indicated; ASTM B221 for extrusions; manufacturer's standard strengths and thicknesses for type of use.
  2. Steel Face/Liner Sheets: Rolled formed steel wrapping around panel edge, with panel skins lock-formed and welded directly to the frame for unitized construction.
  3. Gypsum Board: Material as required for backing and to achieve specified acoustical ratings, per ASTM C 1396.
  4. Cement Board: ASTM C 1288.
- K. Panel Closure: Manufacturer's standard unless otherwise indicated.

- L. Hardware: Manufacturer's standard as required to operate operable panel partition and accessories; with decorative, protective finish.

## 2.4 SEALS

- A. General: Provide seals that produce operable panel partitions complying with performance requirements and the following:
  - 1. Manufacturer's standard seals unless otherwise indicated.
  - 2. Seals made from materials and in profiles that minimize sound leakage.
  - 3. Seals fitting tight at contact surfaces and sealing continuously between adjacent panels and between operable panel partition perimeter and adjacent surfaces, when operable panel partition is extended and closed.
- B. Vertical Seals: Deep-nesting, interlocking astragals mounted on each edge of panel, with continuous PVC acoustical seal.
- C. Horizontal Top Seals: PVC-faced, mechanical, retractable, constant-force-contact seal exerting uniform constant pressure on track when extended.
- D. Horizontal Bottom Seals: PVC-faced, mechanical, retractable, constant-force-contact seal exerting uniform constant pressure on floor when extended, ensuring horizontal and vertical sealing and resisting panel movement.
  - 1. Mechanically Operated for Acoustical Panels: Extension and retraction of bottom seal by operating handle or built-in operating mechanism, with operating range not less than 1-1/2 inches between retracted seal and floor finish.

## 2.5 PANEL FINISH FACINGS

- A. General: Provide finish facings for panels that comply with indicated fire-test-response characteristics and that are factory applied to operable panel partitions with appropriate backing, using mildew-resistant non-staining adhesive as recommended by facing manufacturer's written instructions.
  - 1. Apply one-piece, seamless facings free of air bubbles, wrinkles, blisters, and other defects, with edges tightly butted, and with no gaps or overlaps. Tightly secure and conceal raw and selvage edges of facing for finished appearance.
  - 2. Where facings with directional or repeating patterns or directional weave are indicated, mark facing top and attach facing in same direction.
- B. Provide panel finishes as follows:
  - 1. On panels, provide vinyl coated fabric wall covering from the finished floor to 96-inches above finished floor. From 96-inches and above, provide the carpet wall covering. Provide this configuration on both sides of the panel.



- C. Vinyl-Coated Fabric Wall Covering: Manufacturer's standard, mildew-resistant, washable, vinyl-coated fabric wall covering; complying with CFFA-W-101-D for type indicated; Class A.
  - 1. Total Weight: 20 ounces per square yard
  - 2. Antimicrobial Treatment: Additives capable of inhibiting growth of bacteria, fungi, and yeasts.
  - 3. Color/Pattern: As selected by Architect from manufacturer's full range of offerings.
- D. Carpet Wall Covering: Manufacturer's standard non-woven, needle-punched carpet with fibers fused to backing, from same dye lot, treated to resist stains.
  - 1. Color/Pattern: Acousti-rib
- E. Paint: Manufacturer's standard factory painted finish.
  - 1. Color: As selected by Architect from manufacturer's full range
- F. Cap-Trimmed Edges: Protective perimeter-edge trim with tight hairline joints concealing edges of panel and finish facing, finished as follows:
  - 1. Aluminum: Finished with manufacturer's standard clear anodic finish.

## 2.6 SUSPENSION SYSTEMS

- A. Tracks: Aluminum with adjustable steel hanger rods for overhead support, designed for operation, size, and weight of operable panel partition indicated. Size track to support partition operation and storage without damage to suspension system, operable panel partitions, or adjacent construction. Limit track deflection to no more than 1/360 between bracket supports. Provide a continuous system of track sections and accessories to accommodate configuration and layout indicated for partition operation and storage.
  - 1. Panel Guide: Aluminum guide on both sides of the track to facilitate straightening of the panels; finished with factory-applied, decorative, protective finish.
  - 2. Head Closure Trim: As required for acoustical performance; with factory-applied, decorative, protective finish.
- B. Carriers: Trolley system as required for configuration type, size, and weight of partition and for easy operation; with ball-bearing wheels.
  - 1. For each panel, provide four independently replaceable steel wheels and tires with thrust type roller bearings, and layout indicated for operable panel partitions, and compatible with partition assembly specified. Fabricate track intersections and switches from steel or aluminum.
- C. Track Intersections, Switches, and Accessories: As required for operation, storage, track configuration, and layout indicated for operable panel partitions, and compatible with partition assembly specified. Fabricate track intersections and switches from steel or aluminum.

1. Curve-and-Diverter Switches: Allow radius turns to divert panels to an auxiliary track.
2. Center carrier stop.

D. Aluminum Finish: Mill finish or manufacturer's standard, factory-applied, decorative finish unless otherwise indicated.

## 2.7 ELECTRIC OPERATORS

A. Factory-assembled electric operation system of size and capacity recommended and provided by operable panel partition manufacturer for partition specified; with electric motor and factory-prewired motor controls, speed reducer, chain drive, control stations, control devices, and accessories required for operation. Include wiring from control stations to motor. Coordinate operator wiring requirements and electrical characteristics with building electrical system.

B. Comply with NFPA 70.

C. Control Equipment: Comply with NEMA ICS 1, NEMA ICS 2, and NEMA ICS 6.

D. Motor Electrical Characteristics:

1. Horsepower: Manufacturer's standard
2. Volts: 208
3. Phase: Single phase
4. Hertz: 60.

E. Control Stations: Two single-key-operated, constant-pressure control stations located remotely from each other on opposite sides and opposite ends of partition run. Wire in series to require simultaneous activation of both key stations to operate partition. Each three-position control station labeled "Open," "Close," and "Stop." Furnish two keys per station.

F. Obstruction-Detection Devices: Equip each motorized operable panel partition with indicated automatic safety sensor that causes operator to immediately stop and reverse direction.

1. Sensor Edge: Contact-pressure-sensitive safety edge along partition's leading edge.
2. Sensor Mat: Electrically operated, contact-weight-sensitive safety mat in storage pocket area.
3. Infrared Sensor System: Designed to detect an obstruction in partition's path and sound an audible alarm, without obstruction contacting partition.

G. Limit Switches: Adjustable switches, interlocked with motor controls and set to automatically stop operable panel partition at fully extended and fully stacked positions.

H. Emergency Release Mechanism: Quick disconnect-release of electric-motor drive system, permitting manual operation in event of operating failure.

I. Electric Interlock: Equip each motorized operable panel partition with electric interlocks at locations indicated, to prevent operation of operable panel partition under the following conditions:



1. On storage pocket door, to prevent operation if door is not in fully open position.
2. On partitions at location of convergence by another partition, to prevent operation if merging partitions are in place.

## 2.8 ACCESSORIES

- A. Storage Pocket Door: Full height at end of partition runs to conceal stacked partition; of same materials, finish, construction, thickness, and acoustical qualities as panels; complete with operating hardware and acoustical seals at soffit, floor, and jambs. Hinges in finish to match other exposed hardware.
  1. Manufacturer's standard method to secure storage pocket door in closed position.
  2. Rim Lock: Deadlock to receive cylinder, to secure storage pocket door in closed position. Provide two keys per lock.

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Examine flooring, structural support, and opening, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance of operable panel partitions.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

### 3.2 INSTALLATION

- A. General: Comply with ASTM E 557 except as otherwise required by operable panel partition manufacturer's written installation instructions.
- B. Install operable panel partitions and accessories after other finishing operations, including painting, have been completed in area of partition installation.
- C. Install panels from marked packages in numbered sequence indicated on Shop Drawings.
- D. Broken, cracked, chipped, deformed, or unmatched panels are not acceptable.
- E. Light-Leakage Test: Illuminate one side of partition installation and observe vertical joints and top and bottom seals for voids. Adjust partitions for alignment and full closure of vertical joints and full closure along top and bottom seals.

### 3.3 ADJUSTING

- A. Adjust operable panel partitions, hardware, and other moving parts to function smoothly, and lubricate as recommended by manufacturer.

- B. Adjust storage pocket doors to operate smoothly and easily, without binding or warping.

#### 3.4 DEMONSTRATION

- A. Engage a factory-authorized service representative to train Owner's maintenance personnel to adjust, operate, and maintain operable panel partitions.

END OF SECTION 102236

## SECTION 113034 – CEILING FAN

### PART 1 - GENERAL

#### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

#### 1.2 SUMMARY

- A. Section Includes:
  - 1. Ceiling Fans.

#### 1.3 ACTION SUBMITTALS

- A. Product Data: For each type of product.
  - 1. Include installation details, material descriptions, dimensions of individual components, and finishes for each appliance.
  - 2. Include operating characteristics and electrical characteristics.

#### 1.4 INFORMATIONAL SUBMITTALS

- A. Qualification Data: For manufacturer.
- B. Product Certificates: For each type of appliance.
- C. Field quality-control reports.
- D. Sample Warranties: For manufacturers' special warranties.

#### 1.5 CLOSEOUT SUBMITTALS

- A. Operation and Maintenance Data: For each ceiling fan to include in operation and maintenance manuals.

#### 1.6 WARRANTY

- A. Warranties: Manufacturer agrees to repair or replace components that fail in materials or workmanship within specified warranty period.



1. Warranty Period: Five years from date of Final Acceptance.

## PART 2 - PRODUCTS

### 2.1 PERFORMANCE REQUIREMENTS

- A. Accessibility: Where ceiling fan controls are indicated to comply with accessibility requirements, comply with applicable provisions in the DOJ's 2010 ADA Standards for Accessible Design, the ABA standards of the Federal agency having jurisdiction and ICC A117.1

### 2.2 CEILING FANS:

#### A. FAN 1

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to the following:
  - a. Basis of Design: Modern Forms; Wynd.
  - b. Hunter Fan; Downtown Outdoor.
  - c. Modern Forms; Aura.
2. Dimensions:
  - a. Width: As indicated on Drawings
3. Electric Power Supply: As indicated on Drawings.
4. Downrod: Refer to drawings for information.
5. Controls: Wall mount controller.
6. Material: Manufacturer's standard.
  - a. Color/Finish: black.

#### B. FAN 2

1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to the following:
  - a. Basis of Design: Hinkley; Chet.
  - b. Modern Forms; Vox
  - c. Wind River; Mini Indoor/Outdoor.
2. Dimensions:

- a. Width: As indicated on Drawings
- 3. Electric Power Supply: As indicated on Drawings
- 4. Controls: Wall mount controller.
- 5. Material: Manufacturer's standard.

- a. Color/Finish: black.

## 2.3 GENERAL FINISH REQUIREMENTS

- A. Protect finishes on exposed surfaces from damage by applying a strippable, temporary protective covering before shipping.
- B. Appearance of Finished Work: Noticeable variations in same piece are not acceptable. Variations in appearance of adjoining components are acceptable if they are within the range of approved Samples and are assembled or installed to minimize contrast.

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Examine substrates, areas, and conditions, with Installer present, for compliance with requirements for installation tolerances, power connections, and other conditions affecting installation and performance of residential appliances.
- B. Examine walls, ceilings, and roofs for suitable conditions where products will be installed.
- C. Prepare written report, endorsed by Installer, listing conditions detrimental to performance of the Work.
- D. Proceed with installation only after unsatisfactory conditions have been corrected.

### 3.2 INSTALLATION

- A. Install according to manufacturer's written instructions.
- B. Securely anchor units with concealed fasteners. Verify that clearances are adequate for proper functioning and that rough openings are completely concealed.

### 3.3 FIELD QUALITY CONTROL

- A. Perform the following tests and inspections:

1. Perform visual, mechanical, and electrical inspection and testing for each fixture according to manufacturers' written recommendations. Certify compliance with each manufacturer's performance parameters.
2. Operational Test: After installation, start units to confirm proper operation.
3. Test and adjust controls and safeties. Replace damaged and malfunctioning controls and components.

B. A fixture will be considered defective if it does not pass tests and inspections.

C. Prepare test and inspection reports.

### 3.4 DEMONSTRATION

- A. Engage a factory-authorized service representative to train Owner's maintenance personnel to adjust, operate, and maintain fixtures.

END OF SECTION 113034